



Aspen Ridge

Presale Pilot Architectural & Development Controls



# ARCHITECTURAL & DEVELOPMENT CONTROLS

To enhance the appeal of Aspen Ridge, Saskatoon Land has selected a variety of architectural and development controls aimed at creating an aesthetically pleasing streetscape and encouraging a variety of different exterior dwelling materials visible from public spaces.

The architectural and development controls selected by Saskatoon Land are an integral component in strengthening neighbourhood streetscapes and fostering diversity amongst housing choices, creating a warm and inviting environment.

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## GENERAL DESIGN CONSIDERATIONS - ALL LOT TYPES

These controls are in addition to the controls for each lot type in the following sections. The requirements listed in each lot type section are an absolute minimum. Saskatoon Land reserves the right to require further architectural treatment to any facade in order to satisfy the intention of the Presale Pilot Architectural and Development controls.

### Massing and Relief

All dwelling facades and any other building face that is highly visible, must incorporate intermittent variances in plane to encourage shadow lines and visual interest.



### Repetition

The same elevations cannot be repeated on adjacent properties or directly across the street. For adjacent properties, a notable change in architectural detailing is required.

Examples of acceptable changes could include a combination of, but are not limited to, the following: roof and dormer orientation and slope; front attached garage roof style or orientation; the size and location of windows and doors; colours and finish materials.



### Front-Door Placement

It is strongly encouraged that the front door of a dwelling is placed on the front facade and is visible from the fronting street. The front door needs to be a significant architectural element.

If the front door does not face the street, significant architectural elements are required to visually enhance the front entry area as viewed from the street. These elements could be a combination of front verandas, entry pergolas, feature windows and alternate materials and colours.



Depending on the quality of the submitted plans, especially those that satisfy only the “minimum” requirements of this document, Saskatoon Land’s Design Review Committee may require architectural details such as the following:

- Accented wall build-outs or interruptions in wall planes.
- Window and door accents.
- Break-ups in roof massing or roof lines such as dormers or cross gables.
- Other accents or placement of additional materials and/or colour.

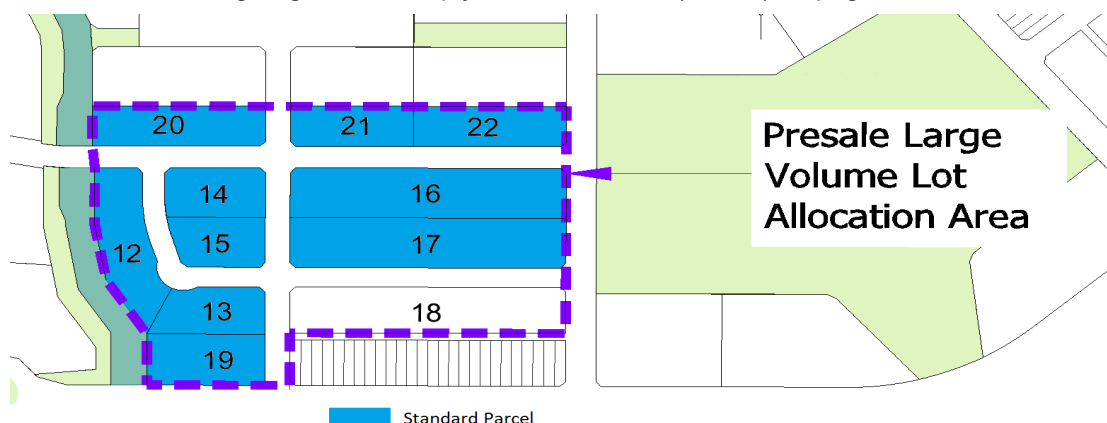


## ARCHITECTURAL CONTROLS BY LOT TYPE

The architectural controls for each type are noted below:

### Standard Parcel

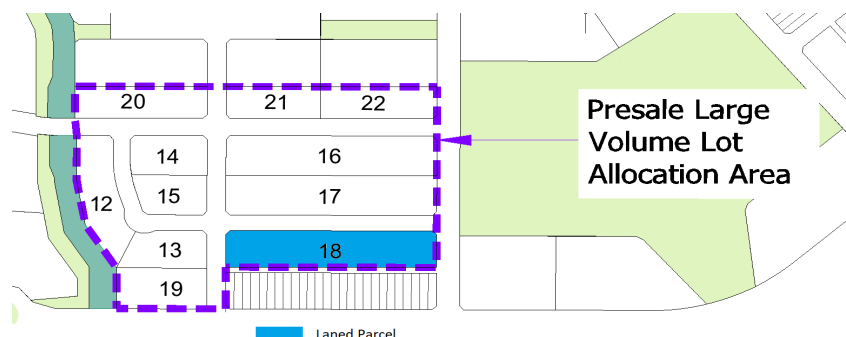
- a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:
  - i. 1,000 square feet in the case of a bungalow, bi-level or split-level dwelling; or
  - ii. 1,000 square feet in the case of a two-storey dwelling.
- b) For multi-unit dwellings, these minimum floor areas apply to each dwelling. Split-level dwellings are not permitted.
- c) All dwellings must be constructed with a minimum single-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 3.5 metres wide and 6.0 metres deep.
- d) All dwellings shall be constructed with an architecturally significant entry feature which may include a covered veranda, a covered entry feature or a modern contemporary interpretation of a pergola. For multi-unit dwellings, the same front elevation shall not be repeated on the adjoining dwelling. In the event that columns are used, column styles should be consistent with the overall architectural style of the dwelling, preferably 10 inches X 10 inches or greater. See page 12 for examples.
- e) There is no roof pitch requirement; however, the roof pitch should complement the architectural style of the dwelling and be consistent with the intent of strengthening the streetscape and harmonizing the interface between housing forms.
- f) All attached or side facing detached garages on standard parcels require architecturally significant garage doors consistent with the architectural style of the dwelling. See page 11 for examples.
- g) The undersides of raised entries, verandas, and stair systems must be fully enclosed.
- h) All dwellings require a minimum of two different exterior building materials of different colour on the front elevation with each material being no less than 50 square feet in area, or a minimum of three different exterior building materials with each material being no less than 25 square feet in area. For additional information on building materials and highly visible lots, please see pages 7-9.
- i) A corner lot with detached rear garage must comply with conditions d) and e) on page 7.





## Laned Parcel

- a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:
- i. 1,000 square feet in the case of a bungalow or bi-level; or
  - ii. 1,000 square feet in the case of a two-storey dwelling.
- b) For multi-unit dwellings, these minimum floor areas apply to each dwelling. Split-level dwellings are not permitted.
- c) Dwellings with a front attached garage must construct a minimum single-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 3.5 metres wide and 6.0 metres deep.
- d) All dwellings shall be constructed with an architecturally significant entry feature which may include a covered veranda, a covered entry feature or a modern contemporary interpretation of a pergola. For multi-unit dwellings, the same front elevation shall not be repeated on the adjoining dwelling. In the event that columns are used, column styles should be consistent with the overall architectural style of the dwelling, preferably 10 inches X 10 inches or greater. See page 12 for examples.
- e) There is no roof pitch requirement; however, the roof pitch should complement the architectural style of the dwelling and be consistent with the intent of strengthening the streetscape and harmonizing the interface between housing forms.
- f) All dwellings that do not have a front attached garage must be constructed with a concrete garage pad with access from the rear lane. The garage pad must conform to the accessory building Zoning Bylaw 8770 regulations (section 5.7). The garage pad must be constructed at the same time the dwelling is built. The garage pad shall not be built over any existing or required utility easements. The garage pad must include a paved apron to connect it to the paved lane. An attached rear garage shall include a paved driveway that connects it to the paved lane.
- g) For laned corner lots, all dwellings must be constructed with a garage. The garage must be constructed at the same time as the dwelling is built. See pages 7 and 8 for more details.
- h) The undersides of raised entries, verandas, and stair systems must be fully enclosed.
- i) All dwellings require a minimum of two different exterior building materials of different colour on the front elevation with each material being no less than 50 square feet in area, or a minimum of three different exterior building materials with each material being no less than 25 square feet in area. For additional information on building materials and highly visible lots, please see pages 7-9.
- j) A corner lot with detached rear garage must comply with conditions d) and e) on page 7.





### Highly Visible Lots - Dwelling Elevations that are Street Flanking and Highly Visible from Open Space

These controls are in addition to the controls noted in the previous sections. The intent of these controls is to avoid the monotony and the perceived cheapness of large expanses of blank walls on side and rear facades that are highly visible from streets and open spaces. The lots that are relevant to these highly visible lot controls are identified in the map below. The following requirements listed are an absolute minimum. Saskatoon Land reserves the right to require further treatment to any facade in order to satisfy the intention of the Presale Pilot Architectural and Development Controls.

In addition to the front facade requirements, any dwelling elevation which flanks a street or open space:

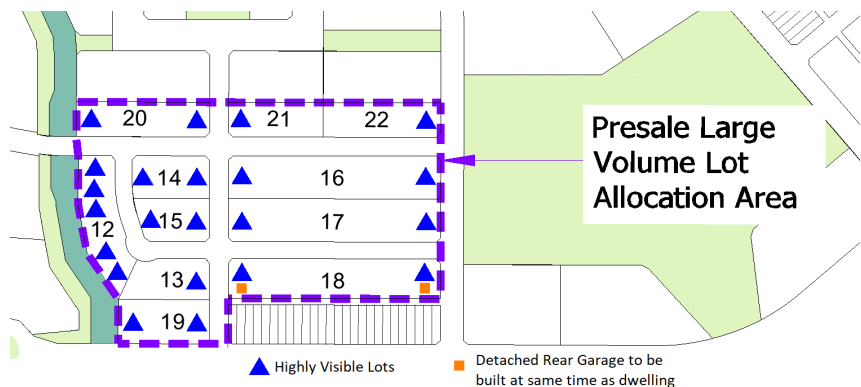
a) Requires a secondary exterior dwelling material that covers no less than one third (33%) of the elevation defined as the total area of elevation from ground to under the eaves. For the purpose of this calculation, window and door areas shall be subtracted. A third material may also be used provided that the second and third materials, when combined, cover no less than one third (33%) of the subject elevation. Horizontal banding of the base of the dwelling is discouraged as landscaping and fences tend to hide the material. See pages 8 and 9 for more information.

b) Requires a secondary exterior colour that covers no less than one third (33%) of the elevation defined as the total area of elevation from ground to under the eaves. For the purpose of this calculation, window and/or door areas shall be subtracted. A third colour may also be used provided that the second and third colours, when combined, cover no less than one third (33%) of the subject elevation.

c) Requires the windows and doors to occupy no less than 5% of the elevation defined as the total area of elevation from ground to under the eaves.

d) For laned corner lots marked with an orange square on the adjacent image, if a dwelling does not have an attached garage, a detached garage must be constructed at the same time as the principal dwelling. The rear garage elevation which flanks a street, will require a second exterior dwelling material that is comparable to the materials used on the dwelling. The second material must cover no less than 20 square feet of the garage side closest to the lane or must band the top of the garage. Corner lots with a second detached garage will also need to comply with the second exterior dwelling material requirement noted above.

e) Garage doors facing streets are required to meet the controls listed on page 11. Added architectural details such as doors and/or windows are encouraged for garage elevations that flank streets.



Depending on the quality of the submitted plans, especially those that satisfy only the “minimum” requirements of this document, the Design Review Committee may require more architectural details such as the following:

- Accented wall build-outs or other interruptions in wall planes.
- Window and door accents.
- Break-ups in roof massing or roof lines such as dormers or cross gables.
- Other accents or placement of additional materials and/or colour.



## HIGHLY VISIBLE LOTS - EXAMPLES



The area of the rear elevation (minus window area) totals 270 square feet. Ninety (90) square feet of stone has been provided, which satisfies the secondary material requirement. One hundred-forty (140) square feet of window/door placement has also been provided, which satisfies the window and/or door placement requirement on highly visible lots.



The area of side elevation (minus window area) totals 300 square feet. One hundred (100) square feet of stone has been provided, which satisfies the secondary material requirement. Forty (40) square feet of window placement has also been provided, which satisfies the window and/or door requirement on highly visible lots.



The garage side that flanks the street has two materials 20 square feet or greater and one window.



The garage side that flanks the street has two materials greater than 20 square feet and is installed closest to the lane.





## EXTERIOR DWELLING MATERIAL REQUIREMENTS

### Standard Lots and Laned Lots

All dwellings require a minimum of two different exterior dwelling materials of different colour on the front elevation. Each material being no less than 50 square feet in area, or a minimum of three different exterior dwelling materials with each material being no less than 25 square feet in area. For additional material requirements on highly visible lots, see page 7.

Note: Material types and square footage must be clearly identified on the drawings submitted in support of your application. Failure to do so may result in delays to the approval of your application.

Front Elevation Material Calculations  
(Standard Lot and Laned Lot)

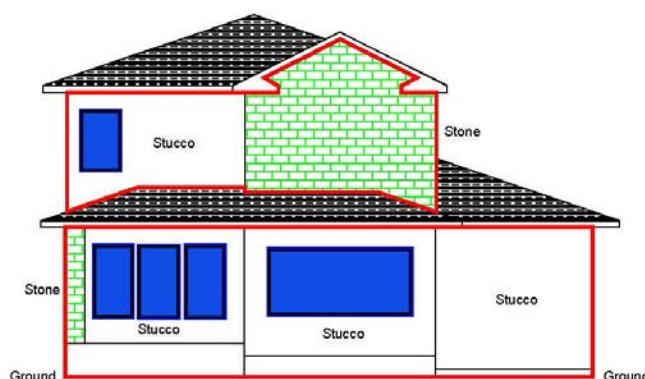


Three Materials Example:

- 1) Stucco = 100 square feet
- 2) Stone Column = 10 square feet  
Stone Garage = 70 square feet
- 3) Hardie Siding = 60 square feet

The stone and Hardie siding exceed the minimum three material requirement of 25 square feet (standard and laned lots).

Highly Visible Lot Side or Rear Material Calculations  
(Flanking Street and Open Space Lots)



Two Materials Example:

- Red (elevation) = 130 square feet (1st storey)  
85 square feet (2nd storey)
- Blue (windows and doors) = 120 square feet
- Green (secondary material) = 126 square feet provided

Secondary Material Required

215 square feet (elevation) minus 120 square feet (windows/doors) = 95 square feet X 33% = 31 square feet required

- Trim features, roof shingles, and parging will not be counted as a material. In order to be included toward the required material amount, the material must be visibly shown on the 2D elevation plan. Material wrapped around a column or architectural feature is encouraged to provide cleaner edges, but will not count towards the required material total for the elevation in review.
- The materials being used need to be distinctly different and discernible from each other (texture and colour). Two similar materials with visually different textures will be considered two materials. For example, Hardie siding and Hardie shakes are two materials or vinyl siding and vinyl board and batten are two materials. Contrasting the trim materials and exterior materials is encouraged.
- For the purpose of the material calculation, the total area of elevation is from the ground to under the eaves. Windows and doors shall be subtracted.



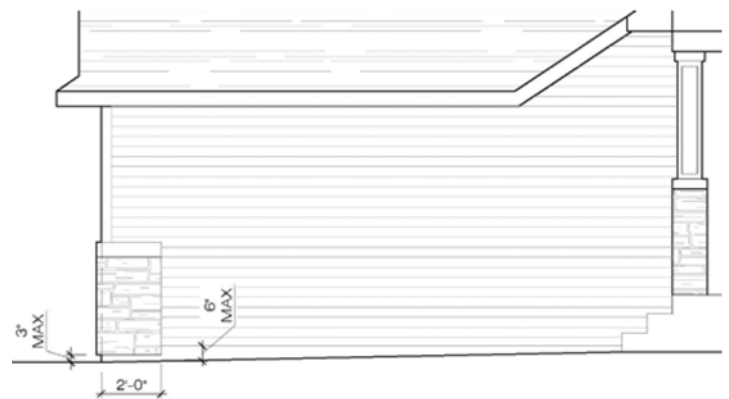


## PARGING

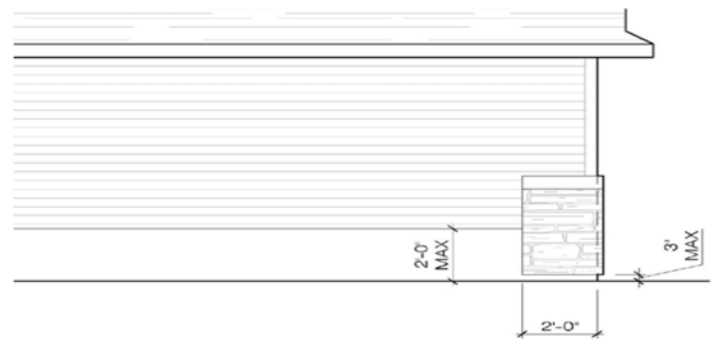
On the front face of the home all materials are to go down to as close to finished grade as possible, to a maximum of 3" from grade.



On the inside/front entrance side of Front Drive Garage homes, parging should go down to close to finished grade as possible, to a maximum of 3" from grade for a 2 foot return, and then is permitted to step up to 6" maximum.



On the exterior side of the garage a maximum of 24" of parging is permitted after a 2 foot return. 24" of parging is permitted on all other elevations.



In cases of walkouts where the side elevations are sloping, parging should be tiered or sloped to follow the grade. Parging is not considered a material and will not be counted towards the material calculations.

## MASONRY

- Where masonry is proposed, it must portray structural integrity.
- Masonry returns are to be a minimum of 2 feet.
- All masonry is to go down to as close to finished grade as possible, to a maximum of 3" from grade.



*Appropriate use of masonry*



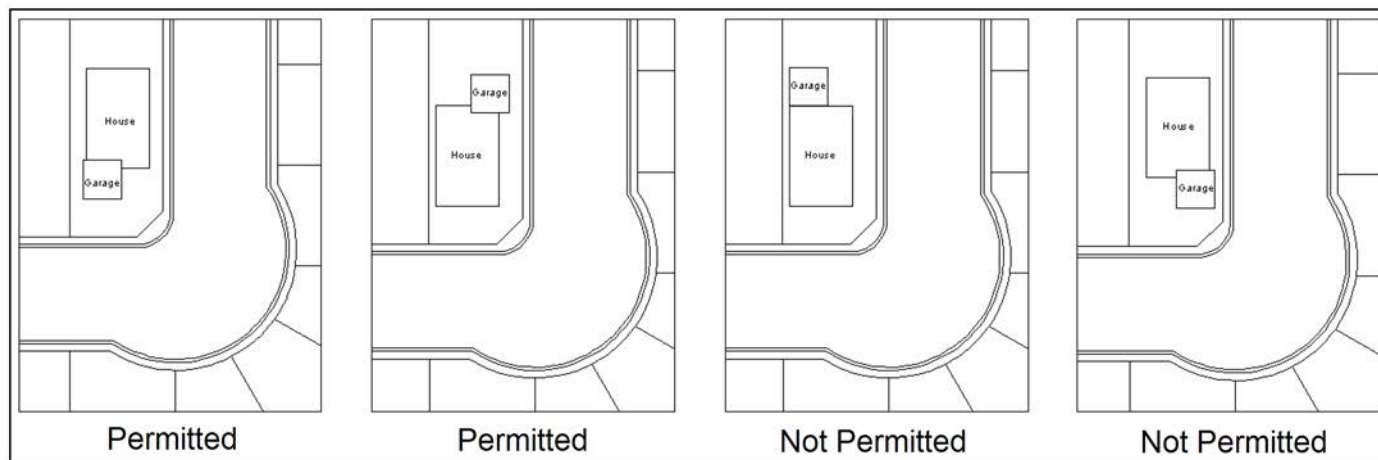
## GARAGE PLACEMENT

For front attached garage lots, a garage side location is required prior to the water and sewer line being stubbed to the front lot line. There are special provisions for corner lot attached garage locations as illustrated below.

Garage sides on a given block are paired together against a common property line in order to provide a better streetscape appearance.

Figure 1 demonstrates the permitted options for the placement of an attached garage on a corner lot, attached to the front of the dwelling furthest from the street corner or attached to the rear of the dwelling closest to the side street.

Figure 1 - Corner Lot Garage Placement



Lot purchasers should check curb design, street light pole locations, utility pedestal locations, fire hydrants, and mailbox locations, prior to designing a dwelling with a garage on the side.





## ARCHITECTURALLY SIGNIFICANT GARAGE DOORS

A dwellings design contributes to the general appeal of any residential area. Garage doors make up a significant portion of the facade of any garage. Any lot with a garage facing a street requires garage door styles that complement the dwelling's exterior. The garage door must include some architectural elements. Examples of garage door types, design elements and corresponding architectural styles are as follows:

- Inset Windows:
  - Double Door: Minimum of three windows.
  - Single Door: Minimum of three windows unless installing two windows horizontally at the top.
- Decorative pane glass.
- Wide trim pieces (e.g. carriage style).
- Natural woods.
- Aluminum and glass.

Hardware and handles can be used on garage doors but are not counted towards the garage door architectural elements.

Windows above garage doors are permitted and count towards the garage door architectural elements.

Garage door supplier and model information must be submitted along with your application. Please include photos or brochures to help explain the garage door

### Examples of Desirable Garage Doors



### Non-acceptable Garage Doors



Garage doors with no architectural elements are not permitted.



Flush garage doors with minimum architectural elements are not permitted.



Coloured garage doors are permitted but still need architectural elements. Garage doors that look like wood but are not wood are not permitted without other architectural elements.



Garage doors with random window spacings are not permitted.





## COLUMNS & ENTRY FEATURES

For laned lots which require an architecturally significant entry feature, features should be consistent with the overall architectural style of the dwelling. This may include the use of covered verandas, modern contemporary interpretations of pergolas or covered entry features.

In the event that columns are used, column styles should be consistent with the overall architectural style of the dwelling. This might include the use of wide-based, tapered columns with stone detailing at the column base for craftsman style homes, cedar clad columns for modern contemporary style homes, or columns with masonry cladding along the full length of the column for traditional style homes.

All railing material is to be metal or approved low maintenance material.



Modern interpretation of a pergola entry.



Covered entry feature with supporting column. Preferred 10 inches x 10 inches columns or greater.



Covered entry feature with supporting column.



Covered veranda with substantial columns.



Wide-based, tapered columns with stone detailing. Preferred tapered columns with 12 inches x 12 inches base and 8 inches x 8 inches top.



Wide-based columns with stone detailing. Preferred 10 inches x 10 inches columns or greater.



## STAIRS & ENTRY FEATURES

Stair systems, landings and verandas must be enclosed on all sides.





## ROOF PITCH

There is no roof pitch requirement; however, the roof pitch should complement the architectural style of the dwelling and be consistent with the intent of strengthening the streetscape and harmonizing the interface between housing forms.

Approval of roof pitches will be at the discretion of Saskatoon Land. Some examples that outline the acceptable use of roof pitches less than 6-in-12 are identified below.



The use of a low-pitched gabled roof for a craftsman style home.



The use of a flat roof or low-sloped roof in a modern contemporary style home.



The use of a low-pitched hip roof with wide overhanging eaves in a prairie style home.





## LANDSCAPING AND DRIVEWAYS

### LANDSCAPING

To create a standard streetscape framework and a more unified image of the community, each builder will be required to comply with mandatory landscaping requirements.

The program shall consist of a minimum depth of 4" of topsoil, sod, one deciduous tree (min. 1 3/4" caliper measured 6" from the ground) or one coniferous tree (min. 6' in height), and three shrubs supplied in the front yard of each dwelling.

Landscaping is to be completed within the first growing season once the exterior material finishes are completed on the dwelling or within 18 months of the pre-backfill inspection approval.

Combined walk and curb lots - The boulevard between the property line and the inside edge of the sidewalk must be landscaped with the same material as the front yard.

Separate walk and curb lots - The boulevard between the property line and the inside edge of the sidewalk and the boulevard between the outside edge of the sidewalk and curb must be landscaped with the same material as the front yard. If required, irrigation must be installed to go under the sidewalk.

### DRIVEWAYS

Concrete driveways are to be broom finished or other acceptable concrete finish. Exposed aggregate, stamped concrete and coloured or patterned concrete driveways are also permitted. If these types of driveways are used they are required to be sealed. Pavers used for driveways may be permitted at the discretion of the Design Review Committee.

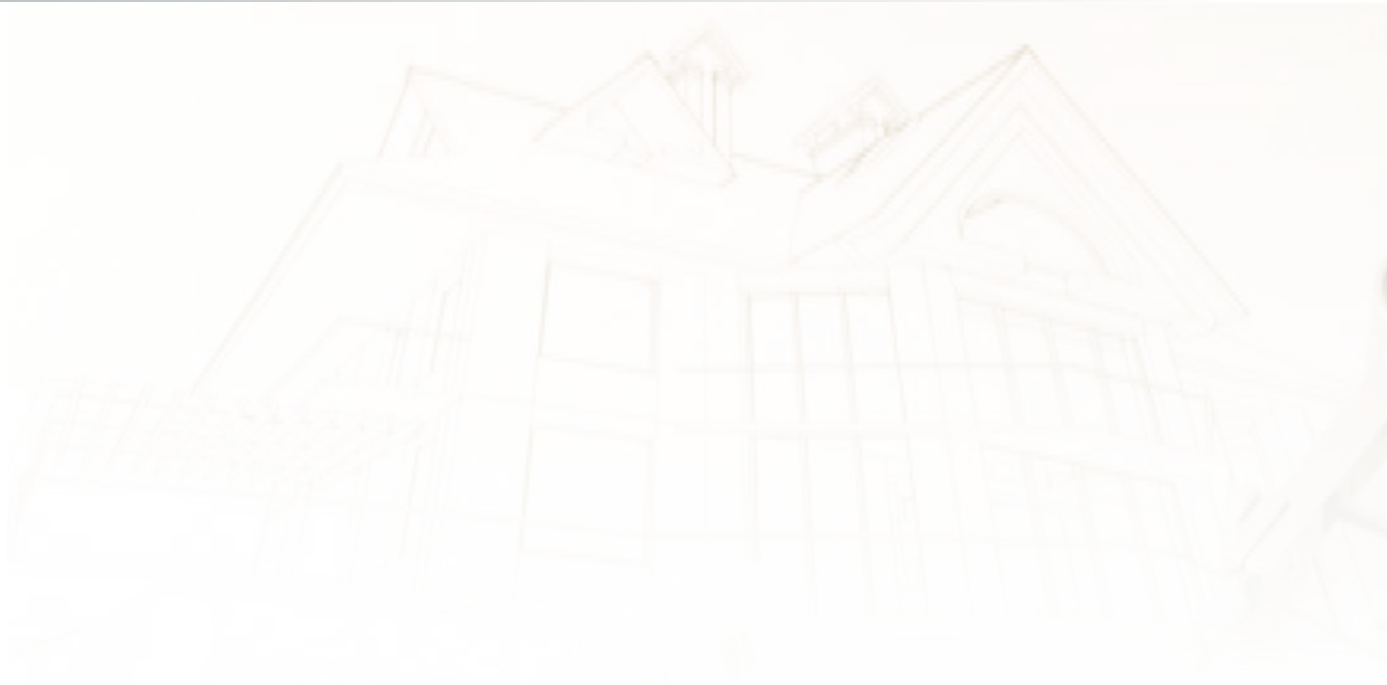
Entry walkways must be poured in place. Sidewalk blocks are not permitted. Architectural pavers may be permitted at the discretion of the Design Review Committee.

Front driveways and entry walkways are mandatory and are to be constructed concurrent with the construction of the dwelling or within 18 months of the pre-backfill inspection approval.

Dwellings without front driveways and are adjacent to a lane, are required to have a garage pad with apron constructed concurrently with the construction of the dwelling.



## PLAN APPROVAL PROCESS



Saskatoon Land's approval of dwelling plans is required prior to the submission of a building permit application. Builders are encouraged to meet with Saskatoon Land during the design stage to avoid potential delays.

The following information must be submitted to Saskatoon Land prior to the submission of a Building Permit Application:

- Completed Application Form.
- One hard or digital copy of the working drawings, including site plan, floor plan, and dwelling elevations. All exterior dwelling materials and square footage must be identified on the elevation plans. All plans with garages must illustrate the type of garage door style and architecturally significant features on the elevation plans.

To avoid delays, application forms and dwelling plans should be submitted to Saskatoon Land well in advance of applying for a Building Permit. Incomplete submissions will be held until the complete application is submitted. Plans will be reviewed for adherence to the architectural and development controls, and Saskatoon Land may contact the applicant to discuss any required revisions. Plans which do not meet all the architectural and development controls will be reviewed by Saskatoon Land's Design Review Committee. The Design Review Committee's decision is final and any revisions will be required to be made before approval.

Upon approval of the drawing set, Saskatoon Land will issue an approval letter to the applicant. Following this, builders may apply for their respective Building Permit. At the building permit stage, Saskatoon Land may review the Building Permit drawings again to ensure they are substantially consistent with the plans submitted during the review process.

If any exterior changes are made to the design of the building after the approval letter is issued, the applicant must re-submit revised drawings to Saskatoon Land to be reviewed and re-approved for Architectural Controls compliance.

Periodically, Saskatoon Land will inspect the project to ensure it is in substantial accordance with the approved plans. Builders/homeowners will be responsible for correcting any deficiencies to dwelling elevations which deviate from the approved plans.