



Pre-Designated Sites For Sale by Public Tender



Sealed tenders addressed to the Sales Section, Saskatoon Land, 201 Third Avenue North, Saskatoon, SK S7K 2H7, and plainly marked on the envelope “**Tender for Purchase of Residential Care Home Type 2, Child Care Centre, or Pre-School Lots**” will be received until **2:00 p.m. Saskatchewan Time, on June 20, 2018**, for the following property:

CIVIC ADDRESS:	307 Fast Court
ZONING DISTRICT:	R1A
LEGAL DESCRIPTION:	Lot 2, Block 701, Plan 102201769
RESERVE BID:	\$181,000.00

INSTRUCTIONS TO BIDDERS

Bids must be accompanied by a certified cheque or bank draft payable to the City of Saskatoon for twenty-five percent (25%) of the tendered price, and must be submitted on the attached tender form. Should the successful bidder not purchase the property, the deposit will be forfeited.

All bids are irrevocable for a period of fourteen (14) days from tender closing date. All tenders become the property of the City of Saskatoon until such time as a tender is awarded or rejected. The highest or any tender not necessarily accepted. The deposit cheques from unsuccessful bidders will be returned.

No multiple bids for a single property will be accepted. The twenty-five percent (25%) non-refundable deposit will be forfeited on any awarded but non-purchased property.

Bids must be determined independently from any other bidder, or potential bidder. If in the opinion of the City, there is any appearance that a bidder has consulted another bidder or potential bidder regarding:

- (a) prices;
- (b) methods, factors or formulas used to calculate prices;
- (c) the intention or decision to submit, or not submit, a bid; or
- (d) any other indication of collusion regarding bid prices.

The City may, in its discretion, take any action it considers appropriate including rejecting any bid, or disqualifying any bidder from bidding on this tender or another tender.

No conditional bids will be accepted.

No bids less than the Reserve Bid will be accepted.

The successful bidder will be required to have a lawyer transfer the land title into the successful bidder's name as the individual name or company submitting the bid is who will be named on the Sale Agreement. No amendment to the original entered bid will be accepted.

Bidders who are either a councillor or official with the City of Saskatoon must identify they are employed by the municipality on the front of the sealed bid.

Property sold "As Is".

Aspen Ridge Neighbourhood Architectural Controls

To read a full list of the required Architectural Controls please visit www.saskatoonland.ca

307 Fast Court

Lot 2, Block 701, Plan 102201769

- a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:
 - i. 1,000 square feet in the case of a bungalow, bi-level or split-level dwelling;
 - ii. 1,200 square feet in the case of a two-storey dwelling;
- b) All dwellings must be constructed with a minimum single-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 3.5 metres wide and 6.0 metres long;
- c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch except when it can be demonstrated that a lesser sloped roof pitch is integral to any architectural style and consistent with the intent of strengthening the streetscape and harmonizing the interface between housing forms;
- d) Attached garages shall not protrude more than 2.4 metres (8 ft) from the façade of any habitable floor area of the dwelling;
- e) All attached garages require architecturally significant garage doors consistent with the architectural style of the dwelling;
- f) All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 50 square feet in area or a minimum of three exterior building materials with each material being no less than 25 square feet in area; and
- g) The garage must be attached to the front of the house and must be located on the **left side** of the property when facing from the street.

Services

Tenders include the sum required to prepay services.

Services are at the perimeter of the site only, and include curb and sidewalk, boulevard, street paving, street lighting, street signing, watermains, sanitary sewer mains, trunk sewer levies and primary watermain levies. Any costs associated with service connections or private crossings are not included in the tendered price and are the responsibility of the successful bidder.

Final site grading is the responsibility of the purchaser. The purchaser is also responsible for top soiling and seeding or sodding all boulevard areas between their property and the roadway curb.

Easements

Please see attached map showing the easements. The successful bidders will be required to grant the utility agencies any additional easements at no cost.

Discretionary Use Application for Residential Care Home Type 2, Child Care Centre and Pre-School

This lot has been pre-designated by the City of Saskatoon as a potential location for Residential Care Home Type 2, Child Care Centre or Pre-School. It should be noted; however, that it would be the sole-responsibility of the successful bidder to make an application to the City of Saskatoon for a discretionary use approval to operate a Residential Care Home Type 2, Child Care Centre or Pre-School on this lot. Information regarding the application process and fees can be obtained from Planning & Development (306-975-2645). The successful bidder shall be responsible for all fees and related expenses.

A period of no longer than eight (8) months will be permitted for the successful bidder to gain approval from Planning & Development. If the successful bidder is unable to gain approval within eight (8) months from the close of tenders, they shall forfeit their non-refundable deposit and the lot will be made available for purchase over-the-counter on a first-come, first-serve basis.

Please note if after one (1) year from the date of the public tender, if the property identified in this public tender is not purchased for the purpose of a Residential Care Home Type 2, Child Care Centre or Pre-School, it may be made available for sale over-the-counter for the purpose of one-unit dwelling units, on a first-come, first-serve basis.

Transfer of title to the successful bidder's name will not occur until the discretionary use permit has been approved by Planning & Development, the purchase price has been paid in full, and a Letter of Credit representing ten percent (10%) of the full purchase price is received.

Sale Agreement

The successful bidder must enter into a Sale Agreement within 30 days of the conditional Award of Tender. Failure to enter into the Sale Agreement within the prescribed time period will be deemed in default of the terms of the tender and the bid deposit will be forfeited.

The conditions of possession are as follows:

On or before the possession date, the successful bidder will deliver to the City of Saskatoon, Saskatoon Land Office the following:

- 1) Approved Discretionary Use Development Permit;
- 2) Certified cheque, bank draft or solicitor's trust cheque for the balance of the purchase price;
- 3) A written statement acknowledging acceptance of the environmental condition of the property; and
- 4) Letter of Credit representing ten percent (10%) of the full purchase price.

The Letter of Credit will be returned to the successful bidder when the construction of the unit has passed inspection at the back-fill stage. The Letter of Credit will be forfeited if the successful bidder does not build as outlined in the approved Discretionary Use Development Permit for a Residential Care Home Type 2, Child Care Centre or Pre-School.

All lots purchased have a three-year time requirement to complete construction. Construction may begin once possession of the lot is granted. The build requirement will commence from the date of possession.

Taxes will be adjusted at the possession date.

There will be no exceptions as to the conditions of this tender.

Please consult our office or the website prior to the tender closing date for any amendments to this package.

Saskatoon Land
201 Third Avenue North
Saskatoon, SK S7K 2H7
Phone: (306) 975-3278 ● Fax: (306) 975-3070
Website: www.saskatoonland.ca/
E-mail: land@saskatoon.ca



Tender Form



I wish to submit the following tender:

❶ Lot: _____ Block: _____ Plan: _____

Civic Address: _____

❷ Amount Tendered: \$ _____

❸ Certified cheque made out to the City of Saskatoon in the amount of \$ _____ which represents exactly twenty-five percent (25%) of the amount tendered.

All bids are subject to Goods and Services Tax (GST). The successful bidder will be required to pay the GST when forwarding the balance of the purchase price or provide a GST Registration Number.

Company: _____

Contact Name: _____

Address: _____

_____ (postal code)

Telephone No: _____ Fax No.: _____

E-mail Address: _____

I acknowledge the conditions in the attached Instructions to Bidders and have reviewed and acknowledge the Lot Information Package.

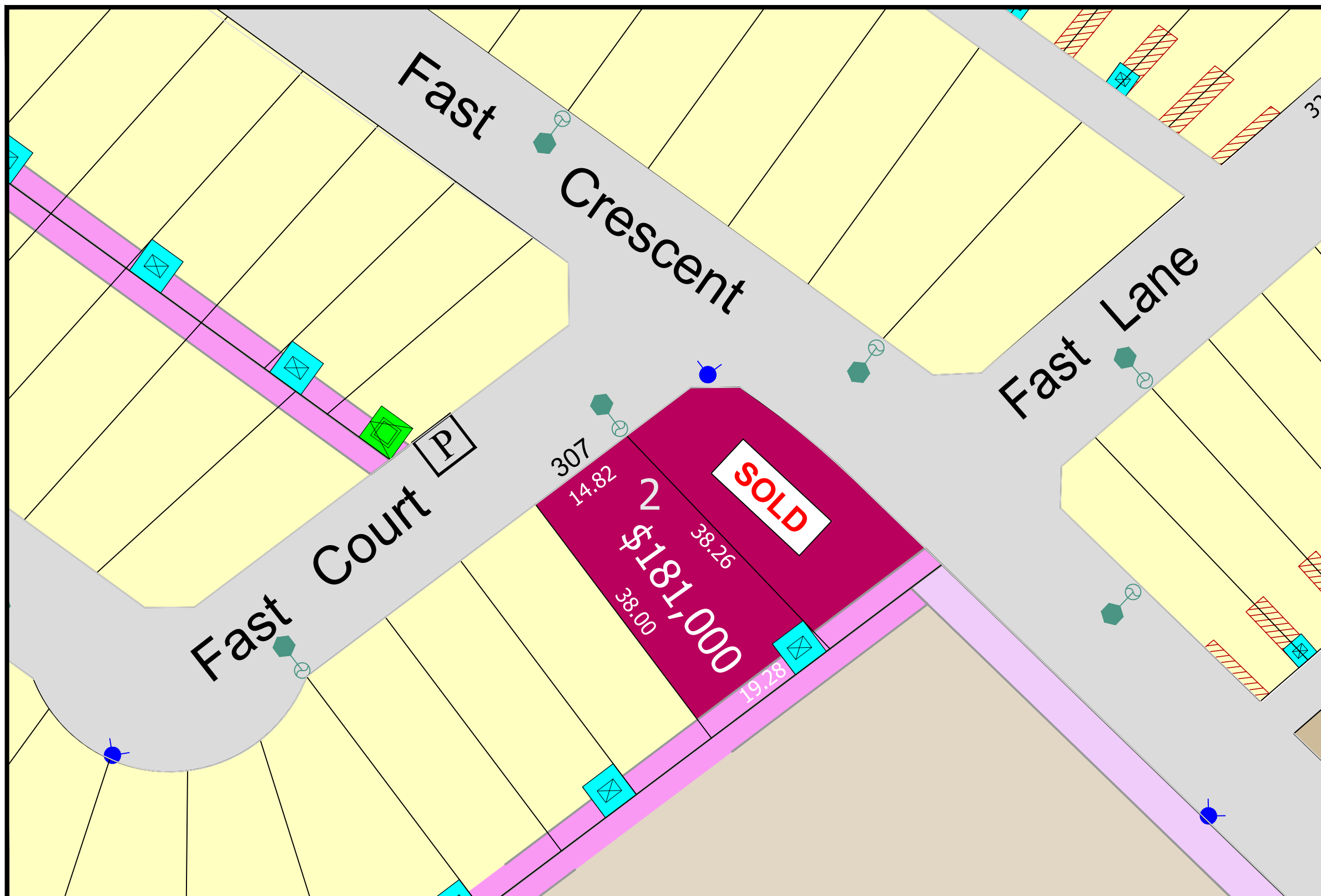
Signature _____

Date _____



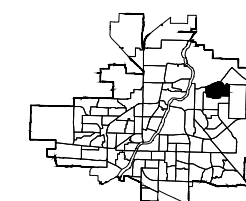
Residential Care Home Type II, Pre-School and Child Care Centre Lots

307 Fast Court

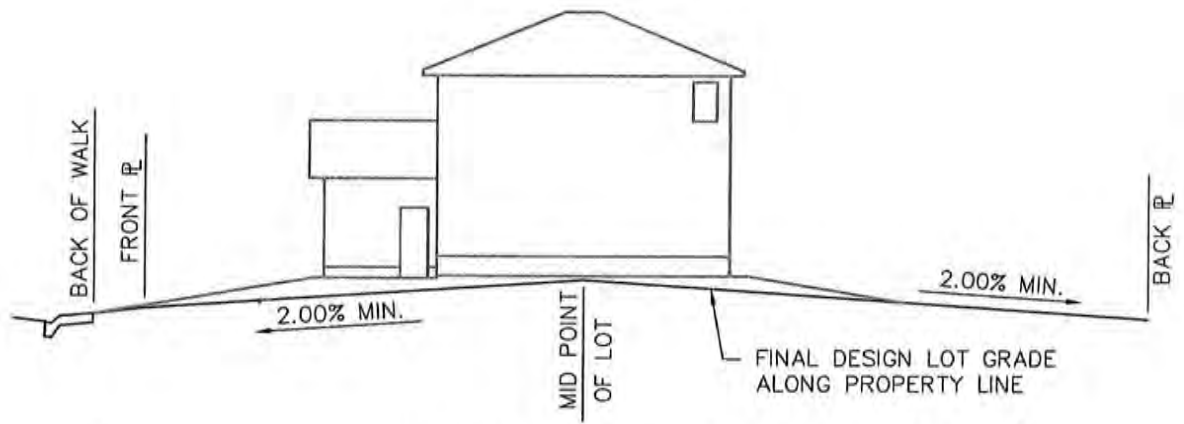
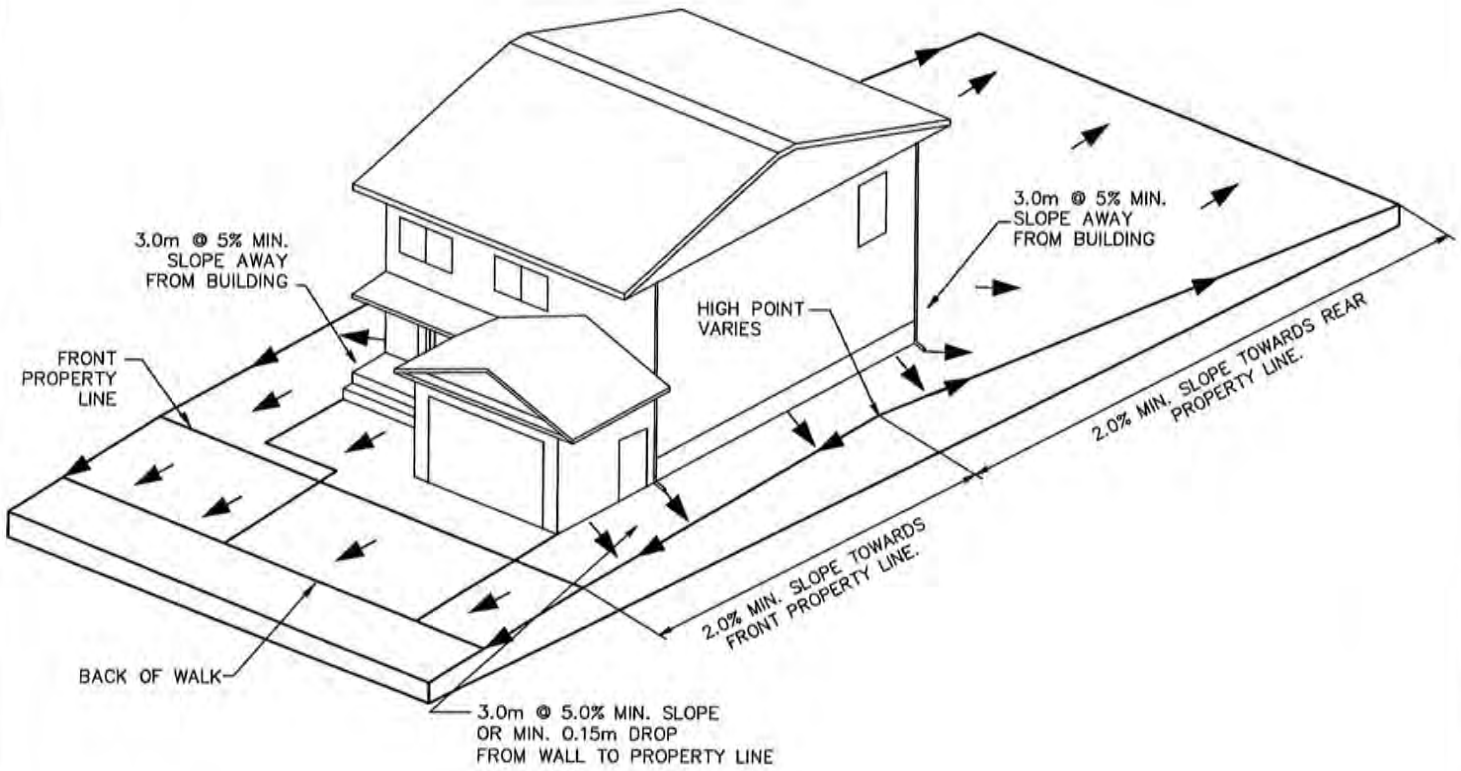


Legend:

- Single Family
- Residential Care Home
- Low Density Dwelling Group
- Easement 3m
- Easement 5m
- Utility Corridor
- Civic Addresses
- Lot Number
- Mail Boxes
- Fire Hydrant
- Transformer(2.0m x 2.0m)
- Utility Pedestal (2.75m x 2.0m)
- Light Standard



Note: The Land Branch does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Plan of Survey. This plan is not to scale. Distances are in meters unless shown otherwise. This is not a legal plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. For verification please check with the appropriate authority. Do not scale.



SIDE VIEW
SPLIT DRAINAGE

REVISIONS	
1	
2	
3	
DRAWN BY <u> LMD </u>	
DATE <u> 04-OCT-2010 </u>	
CHECKED BY <u> </u>	
DATE <u> </u>	

CITY OF SASKATOON
INFRASTRUCTURE SERVICES DEPARTMENT

LOT GRADING
TYPE D

APPROVED

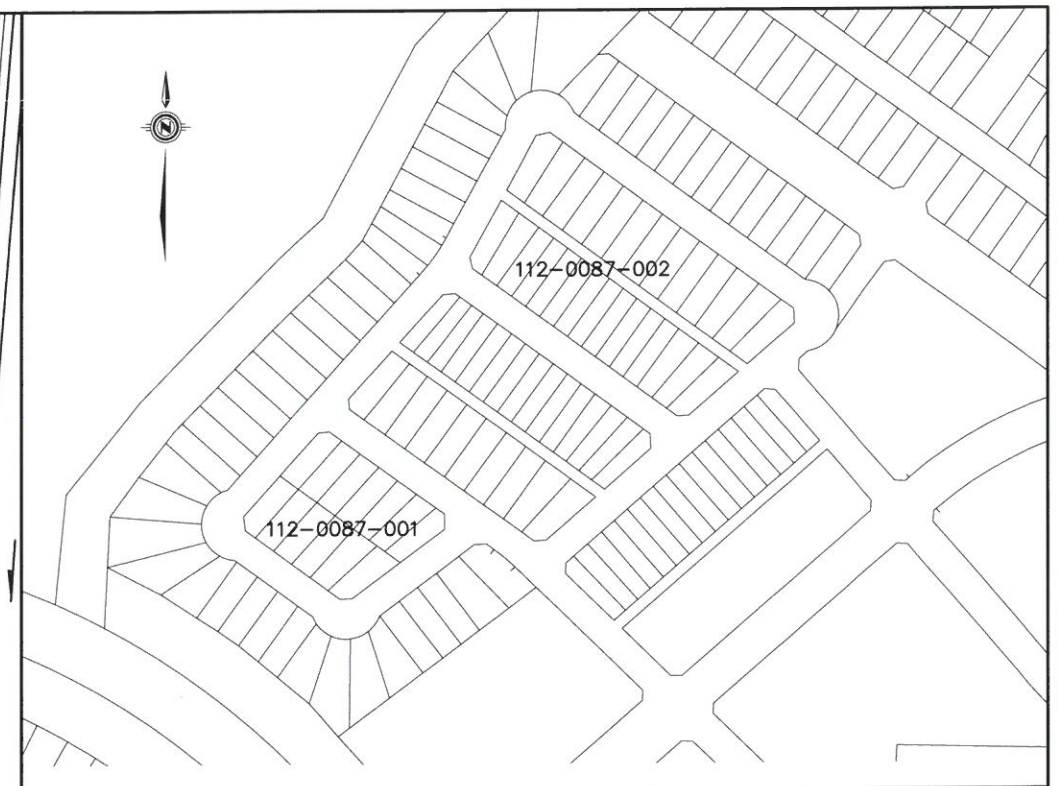
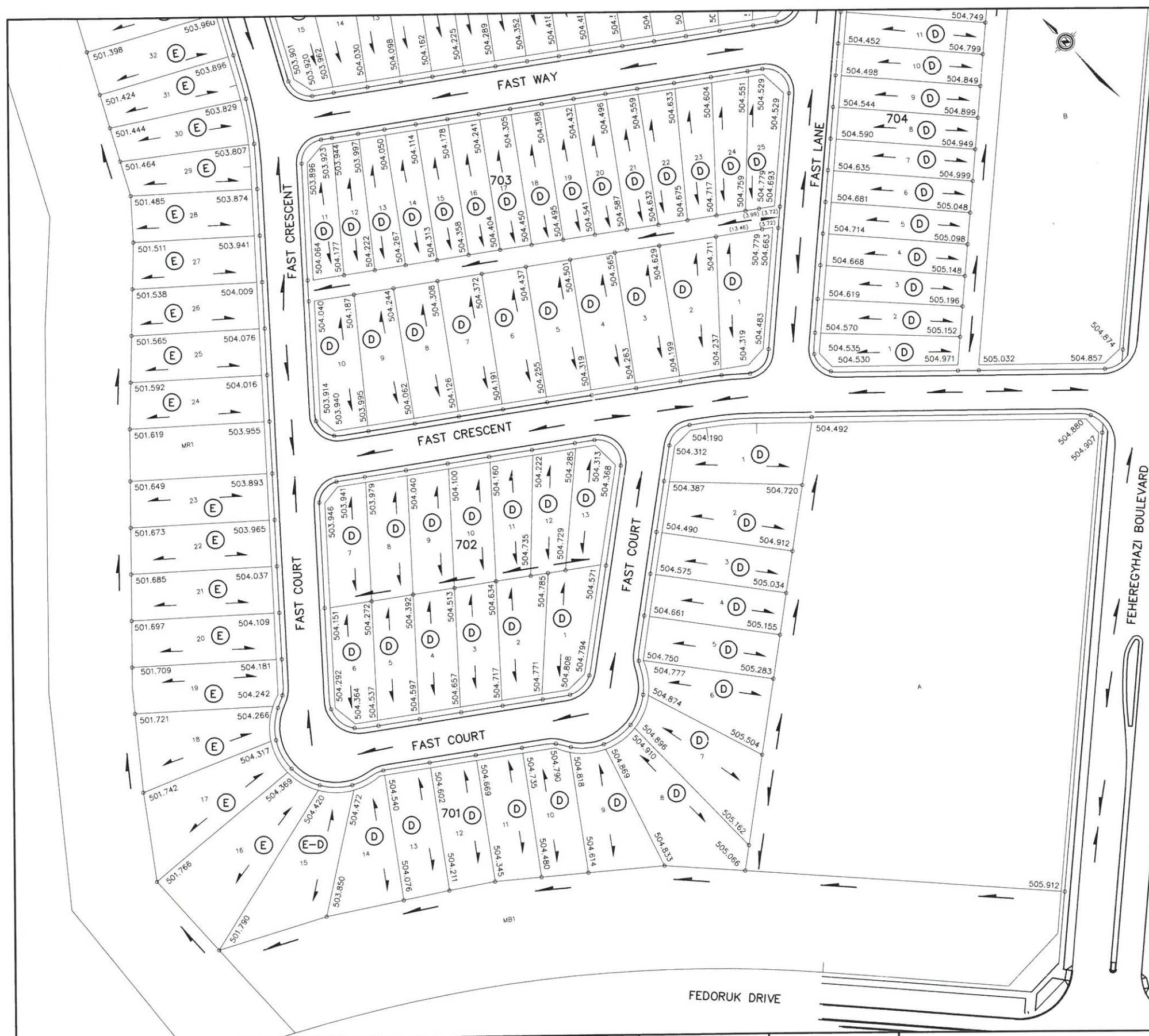
[Signature] **NOV 3 10**
CITY ENGINEER P. ENG.

[Signature]
ENGINEER

ENGINEER _____

SCALES : HOR. N.T.S. VERT. N.T.S.

PLAN NO. 102-0022-017r001

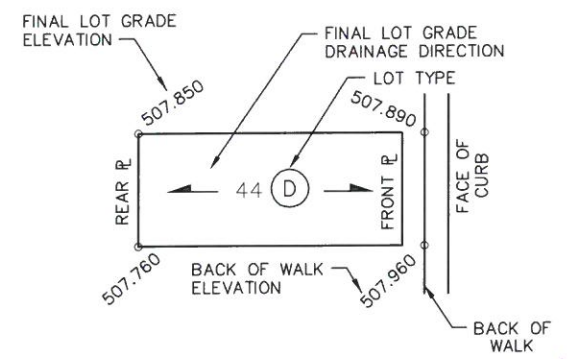
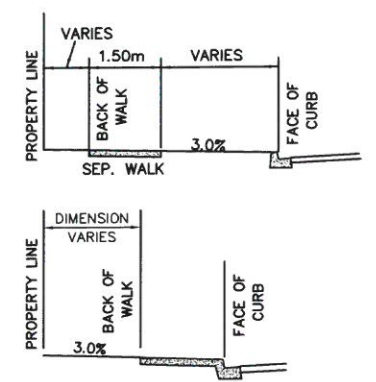


KEY PLAN

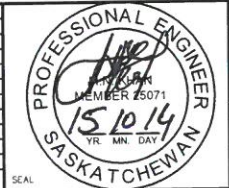
LEGEND

- NOTE:**
- FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
 - DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.
- LOT TYPE 'E' - SEE DRAWING 102-0022-019**
LOT TYPE 'D' - SEE DRAWING 102-0022-017
LOT TYPE 'E-D', 'D-E' - SEE DRAWING 102-0022-015

LOT DRAINAGE DETAILS



NO.	PLAN DESCRIPTION/REVISION	DATE	BY	SEAL
11				
10				
9				
8				
7				
6				
5				
4				
3	REVISED LOT GRADE ELEVATIONS	2015-OCT-08	JVS	
2	ISSUED FOR CONSTRUCTION	2015-MAY-21	JVS	
1				

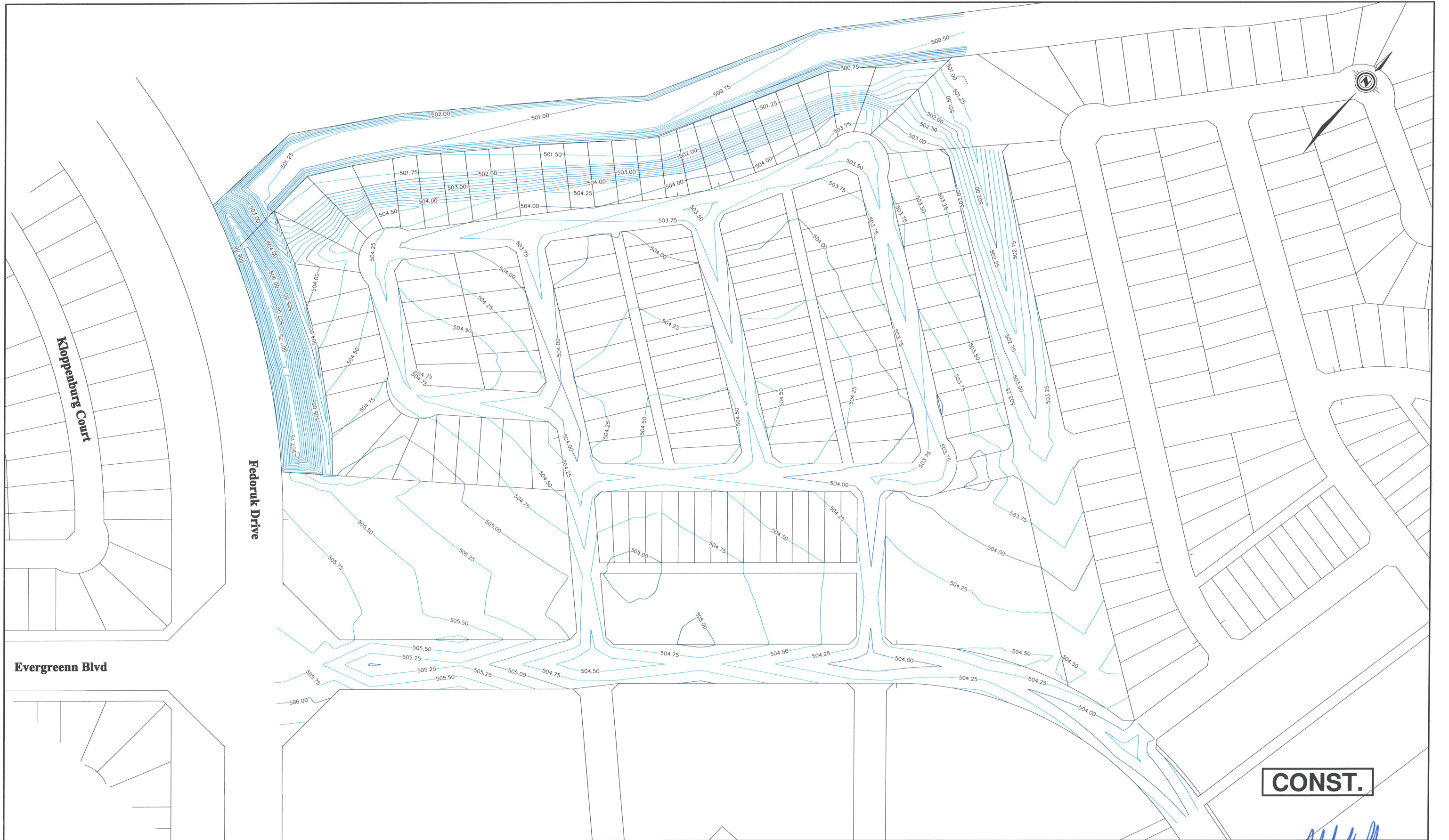


CHECKED BY:	CHECKED BY:
<i>W. Tom</i>	<i>B. Se</i>
DATE: Oct 14, 2015	DATE: 15/10/14
DRAWN BY: JVS	DATE: 2015-MAY-21



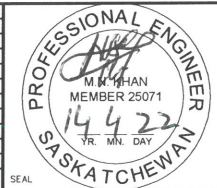
ASPEN RIDGE - PHASE A1
 LOT GRADES
 FAST COURT, FAST CRESCENT
 FAST LANE

CHIEF ENGINEER	
SCALE: HOR. 1:1250	DATE: Oct 15, 15
VERT. NA	
SHEET NO.	PLAN NO.
	112-0087-001r002



CONST.

11			
10			
9			
8			
7			
6			
5			
4			
3			
2			
1	ISSUED FOR CONSTRUCTION	2014-APR-22	RWD
	PLAN DESCRIPTION/REVISION	DATE	BY



CHECKED BY:	CHECKED BY:
<i>Bk</i>	<i>B. J.</i>
14/06/06	14/05/12
DATE	DATE
DRAWN BY: RWD	DATE: 2014-APR-22



ASPEN RIDGE LAND DEVELOPMENT PHASE A-1

AREA GRADING
DESIGN CONTOURS

M. Khan
CHIEF ENGINEER
SCALES:
HOR. 1:2000
VERT. 1:2000
DATE: *Jun 2014*
SHEET NO. 113-0087-300001
PLAN NO. 113-0087-300001



LEGEND:

- -0.25 CUT CONTOUR
- 0.25 FILL CONTOUR
- 0.0 O.O CUT/FILL CONTOUR

NOTE:

1. CUT/FILL CONTOURS DERIVED FROM A VOLUMETRIC COMPARISON OF "POST TOPSOIL" (COS SURVEY MAY 5 2014) vs "FINAL GROUND" (COS SURVEY OCT 16 2014)

11			
10			
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8			
7			
6			
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4			
3			
2			
1			
PLAN DESCRIPTION/REVISION	DATE	BY	SEAL

CHECKED BY:	CHECKED BY:
_____	_____
DATE	DATE
_____	_____
DRAWN BY: RWDT	DATE: 2015-SEP-29

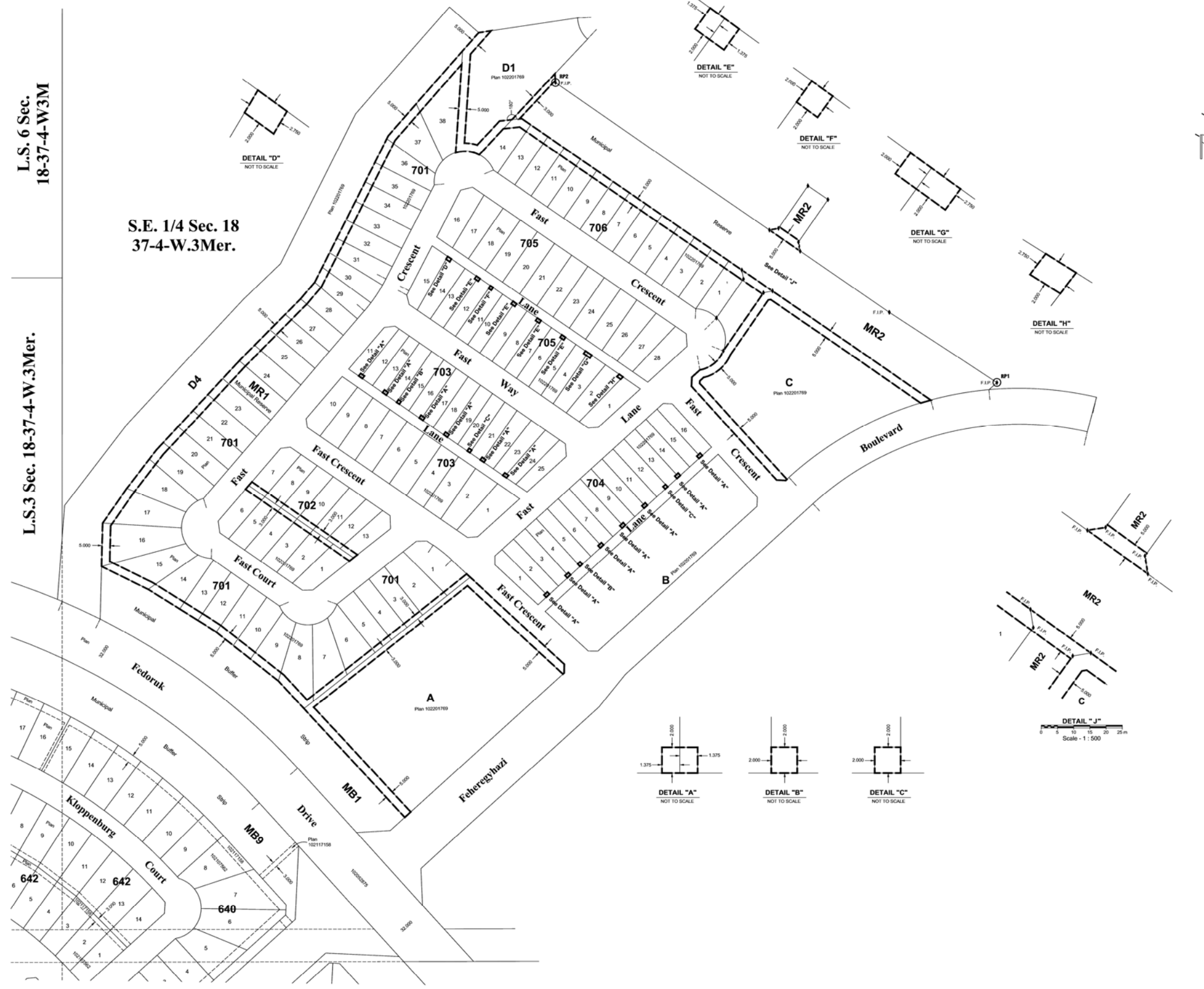


City of Saskatoon
Transportation & Utilities Department

ASPEN RIDGE LAND DEVELOPMENT PHASE A-1

AREA GRADING
CUT & FILL CONTOURS
POST TOPSOIL VS FINAL GROUND

CHIEF ENGINEER	
_____	_____
SCALES:	
HOR. 1:2000	DATE _____
VERT. 1:2000	
SHEET NO.	PLAN NO.
_____	_____



LEGEND:
 Standard Road Allowances on this plan are 20.117 metres in width.
 Measurements are in metres and decimals thereof.
 Area to be approved is outlined by a heavy dashed line.
 The extensions of all parcels affected by this feature are 0 unless otherwise shown.
 Monuments found are shown thus
 Reference points are shown thus
 The Datum Used: NAD83 (CSRS)
 The Projection Used: UTM Zone 13N Extended
 Geo-referenced points derived from GPS observations
 RP Coordinates were derived on June 19, 2015

**CITY OF SASKATOON
ASPEN RIDGE PHASE 1**

Descriptive Plan - Type 2
 Showing
FEATURE UTILITY RIGHT-OF-WAY
 Within

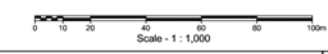
- Lots 1-38, Block 701
- Lots 1-13, Block 702
- Lots 11-24, Block 703
- Lots 1-16, Block 704
- Lots 2-14, Block 705
- Lots 1-14, Block 706
- Parcels A, C, D1 and

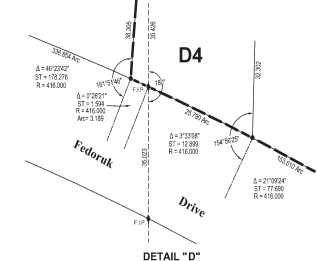
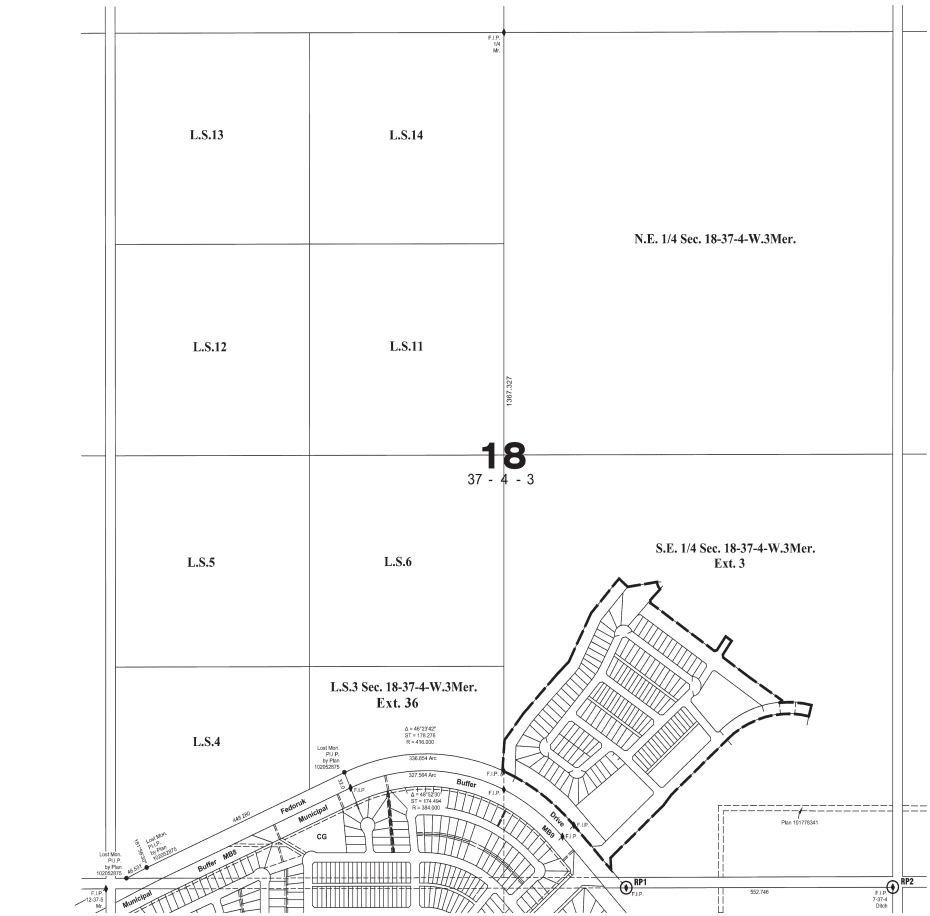
Municipal Reserves MR1 & MR2
 Plan 102201769

In S.E. 1/4 Section 18
 Twp. 37 - Rge. 4 - W.3Mer.

City of Saskatoon
 Saskatchewan

By: Calvin W.A. Bourassa, S.L.S.
 Date: September 22nd, 2015





LEGEND:
 Standard Road Allowances on this plan are 20.117 metres in width. Measurements are in metres and decimals thereof.
 The Unique Identifier of S064 has been stamped on all established standard iron posts.
 Area to be approved is outlined by a heavy dashed line.
 All lot corners not marked by a standard post are marked by 0.013 x 0.450 small iron posts.
 All parcels within the line of approval have an extension 0 unless otherwise shown.
 Monuments found are shown thus ————
 Standard iron posts planted are shown thus ————
 Reference points are shown thus ————
 The Datum Used: NAD83 (CSRS)
 The Projection Used: UTM Zone 13N Extended
 Geo-referenced points derived from GPS observations
 RP Coordinates were derived on June 22, 2015

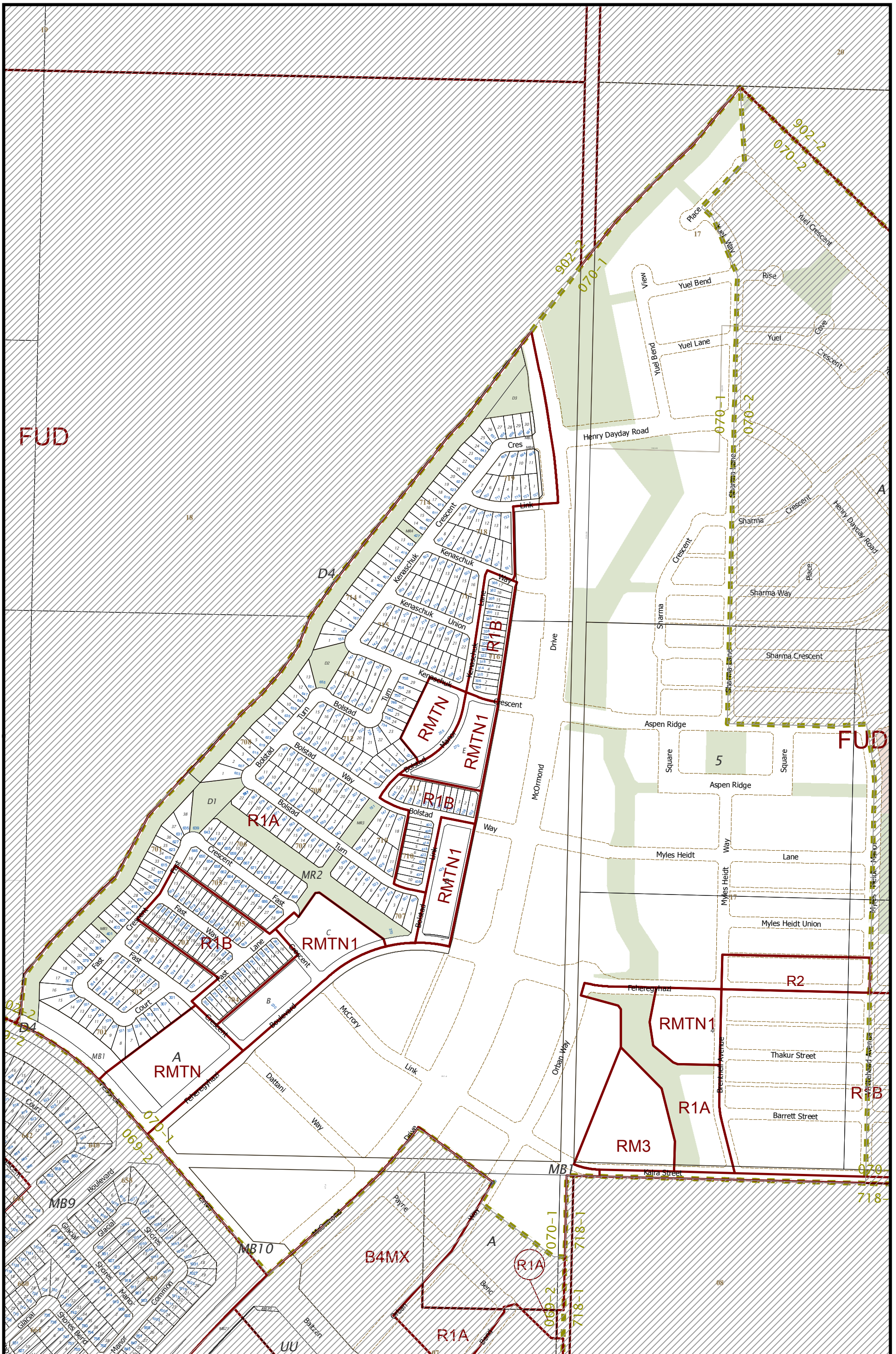
TITLE TO DEDICATED LANDS TO BE ISSUED TO:
 City of Saskatoon
 222 3rd Avenue North
 Saskatoon, Saskatchewan
 S7K 0J5

**CITY OF SASKATOON
 ASPEN RIDGE PHASE 1**

Plan of Survey
 Showing
SURFACE SUBDIVISION
 Of Part Of
L.S.3 and S.E. 1/4 Section 18
Twp. 37 - Rge. 4 - W.3Mer.
 City of Saskatoon
 Saskatchewan
 By: Calvin W.A. Bourassa, S.L.S.
 Date: December 2013 - September, 2015

Scale - 1 : 1,000

Inch: C8/27-CAP-C8
 Client File:
 Job No. - 170217
 Drawing No. - 170217-S-Rev1



Address Map of Aspen Ridge



Note: The information contained on this map is for reference only and not to be used for legal purpose

- Zoning Designation
- ISC Lots
- ISC Blocks






















Scale 1:5200

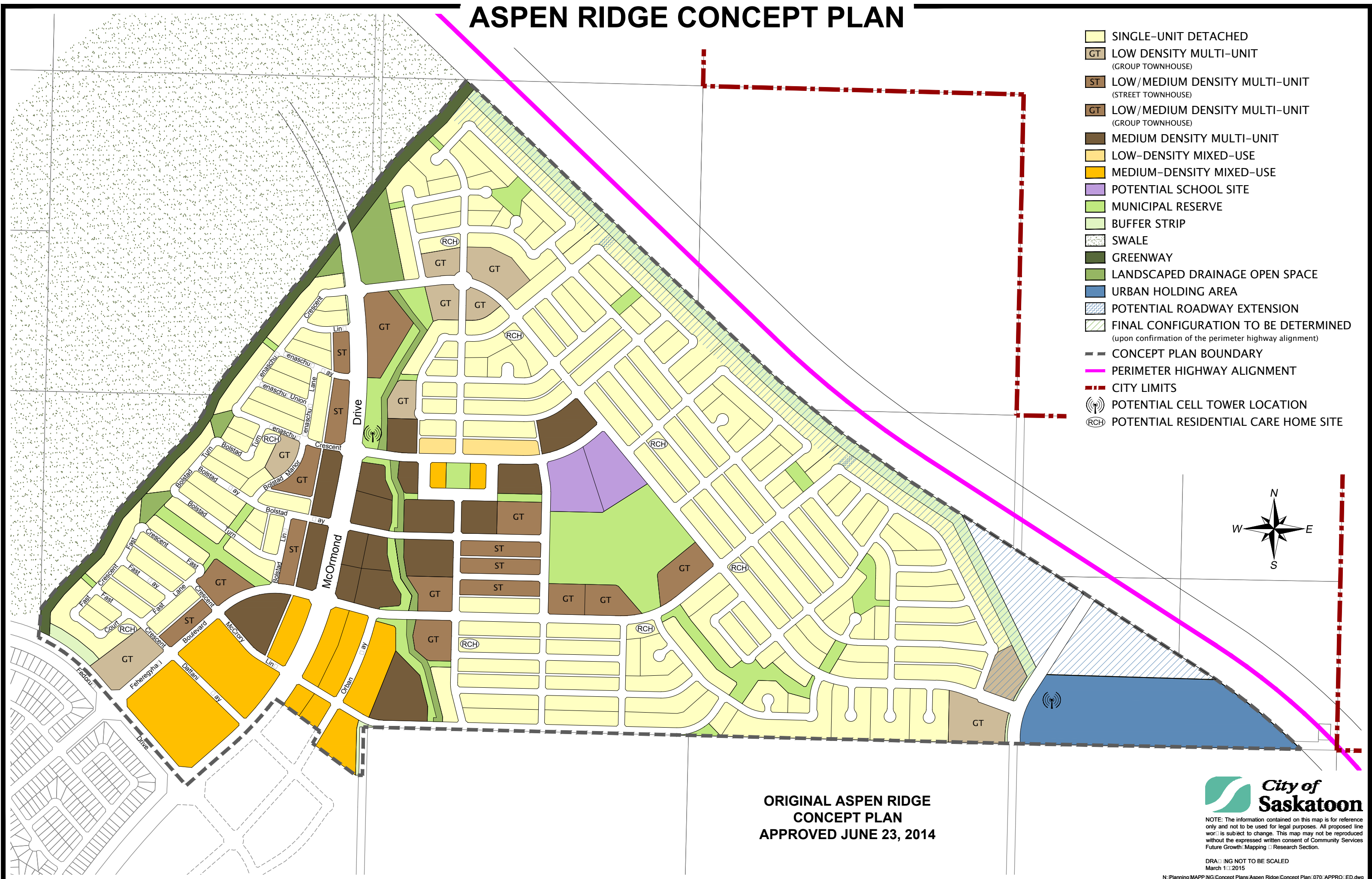
070-1

Jul 06, 2017



ASPEN RIDGE CONCEPT PLAN

-  SINGLE-UNIT DETACHED
-  LOW DENSITY MULTI-UNIT (GROUP TOWNHOUSE)
-  LOW/MEDIUM DENSITY MULTI-UNIT (STREET TOWNHOUSE)
-  LOW/MEDIUM DENSITY MULTI-UNIT (GROUP TOWNHOUSE)
-  MEDIUM DENSITY MULTI-UNIT
-  LOW-DENSITY MIXED-USE
-  MEDIUM-DENSITY MIXED-USE
-  POTENTIAL SCHOOL SITE
-  MUNICIPAL RESERVE
-  BUFFER STRIP
-  SWALE
-  GREENWAY
-  LANDSCAPED DRAINAGE OPEN SPACE
-  URBAN HOLDING AREA
-  POTENTIAL ROADWAY EXTENSION
-  FINAL CONFIGURATION TO BE DETERMINED (upon confirmation of the perimeter highway alignment)
-  CONCEPT PLAN BOUNDARY
-  PERIMETER HIGHWAY ALIGNMENT
-  CITY LIMITS
-  POTENTIAL CELL TOWER LOCATION
-  POTENTIAL RESIDENTIAL CARE HOME SITE



ORIGINAL ASPEN RIDGE
CONCEPT PLAN
APPROVED JUNE 23, 2014



NOTE: The information contained on this map is for reference only and not to be used for legal purposes. All proposed line work is subject to change. This map may not be reproduced without the expressed written consent of Community Services Future Growth Mapping & Research Section.

DRAWING NOT TO BE SCALED
March 1, 2015