

## Aspen Ridge Phase 4 Architectural Controls



### Aspen Ridge Phase 4 Architectural Controls



# Lot Draw Addendum

For:

## Aspen Ridge E Phase 4

### Residential Lot Draw



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NEIGHBOURHOOD: Aspen Ridge  
LOCATION: Phase 4

Addendum No.: 1  
Page: 1 of 1  
Date: April 16, 2019

Addition to the original Lot Draw Package, released January 14, 2019.

Acknowledgement of receipt of this addendum shall be stated on the Agreement for Sale.

### **1) Removal of the 8 foot requirement for attached garages**

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Remove:

d) Attached garages shall not protrude more than 2.4 metres (8 feet) from the facade of any habitable floor area of the dwelling. For a bungalow or raised bungalow, the attached garage shall not protrude more than 4.87 metres (16 feet) from the facade of any habitable floor area of the dwelling and must include a grand architecturally significant covered entry. See page 13 for more details on bungalow garage integration of the Aspen Ridge Phase 4 Architectural Controls.

### **2) Reduction in the minimum house size for two storey dwellings for Standard Lot and Laned Lot E R1B**

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Remove:

1,200 square feet in the case of a two-storey dwelling.

Replace:

1,000 square feet in the case of two-storey dwelling.

For further information, please contact Saskatoon Land at 975-3278.



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NEIGHBOURHOOD: Aspen Ridge  
LOCATION: Phase 4

Addendum No.: 2.  
Page: 1 of 1.  
Date: September 12, 2019.

Addition to the original Lot Draw Package, released January 14, 2019.

Acknowledgement of receipt of this addendum shall be stated on the Agreement for Sale.

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Add:

The northern half of Block 722 (Lots 18 to 36) and Block 726 (Lots 1 to 18) is under review as Saskatoon Land has requested for the above noted lots to be rezoned from R1B Zoning District to R1A Zoning District. A R1A Zoning District would allow front attached garages on the noted lots.

For further information, please contact Saskatoon Land at 975-3278.



## ARCHITECTURAL CONTROLS

To enhance the appeal of Aspen Ridge, Saskatoon Land has selected a variety of architectural controls aimed at creating an aesthetically pleasing streetscape and encouraging a variety of different exterior dwelling materials visible from public spaces.

The architectural controls selected by Saskatoon Land are an integral component in strengthening neighbourhood streetscapes and fostering diversity amongst housing choices, creating a warm and inviting environment.

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## GENERAL DESIGN CONSIDERATIONS - ALL LOT TYPES

These controls are in addition to the controls for each lot type in the following sections. The requirements listed in each lot type section are an absolute minimum. Saskatoon Land reserves the right to require further architectural treatment to any facade in order to satisfy the intention of the Phase 4 architectural controls.

### Massing and Relief

All dwelling volumes must incorporate intermittent variances in plan and elevation to encourage shadow lines on facades and visible elevations which will enhance the streetscape by introducing interesting architecture. This includes all dwelling elevations that are adjacent to or visible from public streets or open spaces.



### Repetition

The same elevations should not be repeated on adjacent properties or directly across the street. For adjacent properties, a change in architectural detailing is required.

Examples of acceptable changes could include a combination of, but are not limited to, the following: roof and dormer orientation and slope, front attached garage roof style or orientation, the size and location of windows and doors, colours and finish materials.



### Front-Door Placement

It is strongly encouraged that the front door of a dwelling be highly visible on the front facade by directly facing the fronting street.

If the door does not face the street, a combination of architectural elements such as verandas, front-window enhancements, additional front materials or other architectural elements will be required to enhance the dwelling entrance.



Depending on the quality of the submitted plans, especially those that satisfy only the “minimum” requirements of this document, Saskatoon Land’s Design Review Committee may require architectural details such as the following:

- Accented wall build-outs or interruptions in wall planes.
- Window and door accents.
- Break-ups in roof massing or roof lines such as dormers or cross gables.
- Other accents or placement of additional materials and/or colour.



## ARCHITECTURAL CONTROLS BY LOT TYPE

Phase 4 of Aspen Ridge features a number of lot types. The architectural controls for each type are noted below:

### Standard Lot - Attached Garage

a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:

- i. 1,000 square feet in the case of a bungalow, bi-level or split-level dwelling; or
- ii. 1,000 square feet in the case of a two-storey dwelling.

#### Standard Lot Attached Garage

- Lots 1 to 11, Block 720
- Lots 1 to 31, Block 721
- Lots 1 to 36, Block 722
- Lots 1 to 35, Block 726
- Lots 1 to 32, Block 727
- Lots 30 to 36, Block 728

b) All dwellings must be constructed with a minimum single-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 3.5 metres wide and 6.0 metres long.

c) There is no roof pitch requirement; however, the roof pitch should complement the architectural style of the dwelling and be consistent with the intent of strengthening the streetscape and harmonizing the interface between housing forms.

d) All attached or side facing detached garages on standard lots require architecturally significant garage doors consistent with the architectural style of the dwelling. See page 11 for examples.

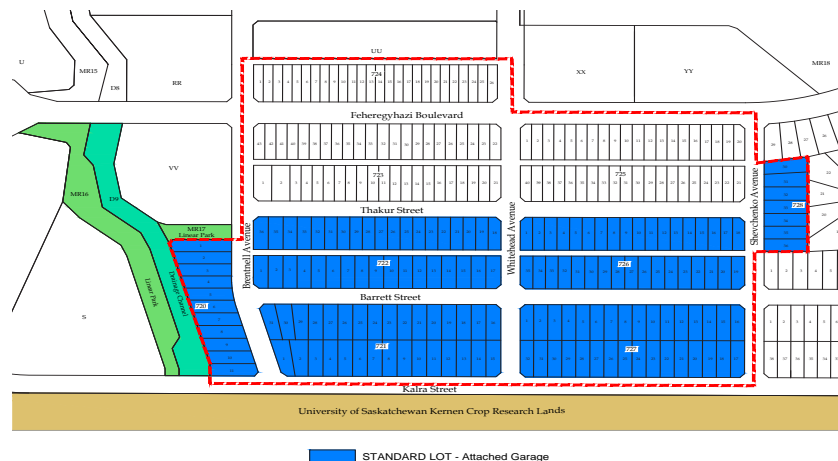
e) The undersides of raised entries, verandas, and stair systems must be fully enclosed.

f) All dwellings require a minimum of two different exterior building materials of different colour on the front elevation with each material being no less than 50 square feet in area, or a minimum of three different exterior building materials with each material being no less than 25 square feet in area. For additional information on building materials and highly visible lots, please see pages 7-9.

g) For lots 1 to 17, Block 722 and lots 19 to 35, Block 726, a rear garage or garage pad shall not be built on the rear easement and must include a paved apron that connects the garage or garage pad to the rear property line. In addition, for the above noted lots in g), the utility pedestal/transformer must not be inside the fence and must be accessible from the lane.

h) A corner lot with detached rear garage must comply with conditions d) and e) on page 7.

i) For lots 18 to 36, Block 722 and lots 1 to 18, Block 726, a front attached garage will be required once the lots are rezoned from R1B to R1A. As per Addendum 2 the rezoning is pending and subject to City Council approval.





## Laned Lot - R1B

a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:

- i. 1,000 square feet in the case of a bungalow or bi-level; or
- ii. 1,000 square feet in the case of a two-storey dwelling.

### Laned Lots

- Lots 1 to 43, Block 723
- Lots 1 to 40, Block 725

b) All dwelling units shall be bungalows, raised bungalows, bi-levels, or two-storeys. Split-level dwellings are not permitted.

c) All dwellings shall be constructed with an architecturally significant entry feature which may include a covered veranda, a covered entry feature or a modern contemporary interpretation of a pergola. In the event that columns are used, column styles should be consistent with the overall architectural style of the dwelling, preferably 10 inches X 10 inches or greater. See page 12 for examples.

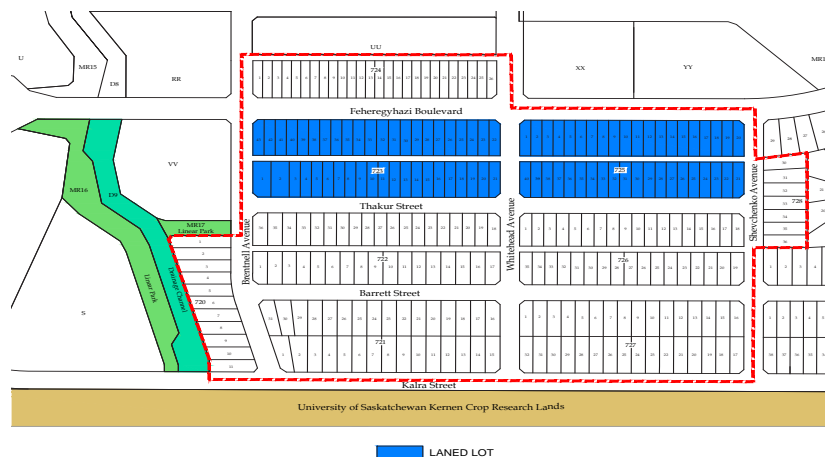
d) There is no roof pitch requirement; however, the roof pitch should complement the architectural style of the dwelling and be consistent with the intent of strengthening the streetscape and harmonizing the interface between housing forms.

e) All dwellings must be constructed with a concrete garage pad with access from the rear lane only. The concrete garage pad must be constructed at the same time the dwelling is built with a minimum dimension of 6 metres X 6 metres. The garage pad shall not be built on the rear easement and must include a paved apron that connects the garage pad to the rear property line. An attached rear garage shall include a paved driveway that connects it to the rear property line.

For laned corner lots, all dwellings must be constructed with a minimum 6 metres X 6 metres (20 feet X 20 feet) garage. The garage must be constructed at the same time as the dwelling is built. See pages 7 and 8 for more details.

f) The undersides of raised entries, verandas, and stair systems must be fully enclosed.

g) All dwellings require a minimum of two different exterior building materials of different colour on the front elevation with each material being no less than 50 square feet in area, or a minimum of three different exterior building materials with each material being no less than 25 square feet in area. For additional information on highly visible lots, please see pages 7-9.





## Laned Lot - R2

a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:

- i. 800 square feet in the case of a bungalow or bi-level; or
- ii. 1,000 square feet in the case of a two-storey dwelling.

b) For duplex or semi-detached, these minimum floor areas apply to each dwelling. Split-level dwellings are not permitted.

c) All dwellings shall be constructed with an architecturally significant entry feature which may include a covered veranda, a covered entry feature or a modern contemporary interpretation of a pergola. For duplexes or semi-detached dwellings, one dwelling must have a covered entry feature. In the event that columns are used, column styles should be consistent with the overall architectural style of the dwelling, preferably 10 inches X 10 inches or greater. See page 12 for examples.

d) There is no roof pitch requirement; however, the roof pitch should complement the architectural style of the dwelling and be consistent with the intent of strengthening the streetscape and harmonizing the interface between housing forms.

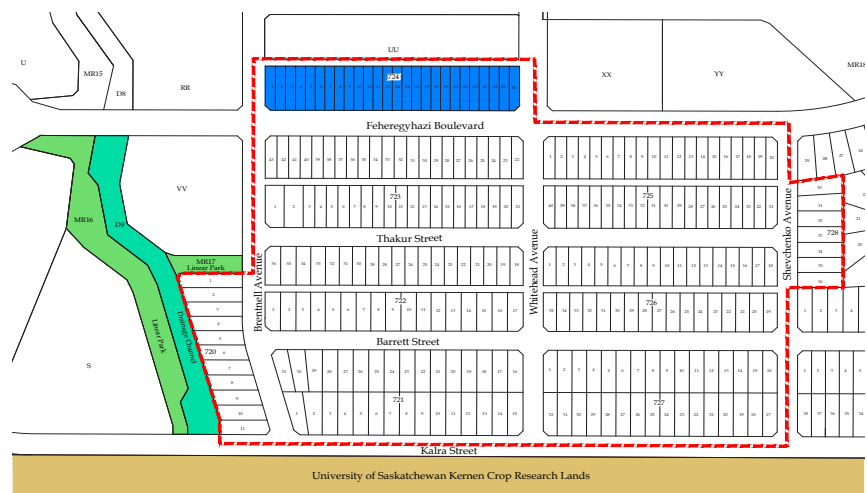
e) All dwellings must be constructed with a concrete garage pad with access from the rear lane only. The concrete garage pad must be constructed at the same time the dwelling is built with a minimum dimension of 6 metres X 6 metres. The garage pad shall not be built on the rear easement and must include a paved apron that connects the garage pad to the rear property line. An attached rear garage shall include a paved driveway that connects it to the rear property line.

For laned corner lots, all dwellings must be constructed with a minimum 6 metres X 6 metres (20 feet X 20 feet) garage. The garage must be constructed at the same time as the dwelling is built. See pages 7 and 8 for more details.

f) The undersides of raised entries, verandas, and stair systems must be fully enclosed.

g) All dwellings require a minimum of two different exterior dwelling materials of different colour on the front elevation with each material being no less than 50 square feet in area, or a minimum of three different exterior dwelling materials with each material being no less than 25 square feet in area. For additional information on highly visible lots, please see pages 7-9.

For duplexes and semi-detached dwellings, each unit must meet or exceed the minimum requirements above. The same front elevation shall not be repeated on the adjoining dwelling.







## Highly Visible Lots - Dwelling Elevations that are Street Flanking and Highly Visible from Open Space

These controls are in addition to the controls noted in the previous sections. The intention of these controls are to avoid the monotony and the perceived cheapness of large expanses of blank walls on side and rear facades that are highly visible from streets and open spaces. The lots that are relevant to these highly visible lot controls are identified in the map below. The following requirements listed are an absolute minimum. Saskatoon Land reserves the right to require further treatment to any facade in order to satisfy the intention of the Phase 4 Architectural Controls.

### Highly Visible Lots

- Lots 1 to 11, Block 720
- Lots 1, 15, 16 & 31, Block 721
- Lots 1, 17, 18, & 36, Block 722
- Lots 1, 21, 22, 43, Block 723
- Lots 1 & 26, Block 724
- Lots 1, 20, 21, & 40, Block 725
- Lots 1, 18, 19, & 35, Block 726
- Lots 1, 16, 17, & 32, Block 727

In addition to the front facade requirements, any dwelling elevation which flanks a street or open space:

a) Requires a secondary exterior dwelling material that covers no less than one third (33%) of the elevation defined as the total area of elevation from ground to under the eaves. For the purpose of this calculation, window and door areas shall be subtracted. A third material may also be used provided that the second and third materials, when combined, cover no less than one third (33%) of the subject elevation. Horizontal banding of the base of the dwelling is discouraged as landscaping and fences tend to hide the material. See pages 8 and 9 for more information.

b) Requires a secondary exterior colour that covers no less than one third (33%) of the elevation defined as the total area of elevation from ground to under the eaves. For the purpose of this calculation, window and/or door areas shall be subtracted. A third colour may also be used provided that the second and third colours, when combined, cover no less than one third (33%) of the subject elevation.

c) Requires the windows and doors to occupy no less than 5% of the elevation defined as the total area of elevation from ground to under the eaves.

d) For laned corner lots marked with an orange square on the adjacent image, all dwellings must be constructed with a rear garage at the same time the dwelling is built. The garage elevation which flanks a street will require a second exterior dwelling material that is comparable to the materials used on the dwelling. The second material must cover no less than 20 square feet of the garage side closes to the lane or must band the top of the garage. Corner lots with a second detached garage would also need to comply with the second exterior dwelling material requirement noted above.

e) Garage doors facing streets are required to meet the controls listed on page 11. Added architectural details such as doors and/or windows are encouraged for garage elevations that flank streets.



Depending on the quality of the submitted plans, especially those that satisfy only the “minimum” requirements of this document, the Design Review Committee may require more architectural details such as the following:

- Accented wall build-outs or other interruptions in wall planes.
- Window and door accents.
- Break-ups in roof massing or roof lines such as dormers or cross gables.
- Other accents or placement of additional materials and/or colour.



## HIGHLY VISIBLE LOTS - EXAMPLES



The area of the rear elevation (minus window area) totals 270 square feet. Ninety (90) square feet of stone has been provided, which satisfies the secondary material requirement. One hundred-fourty (140) square feet of window/door placement has also been provided, which satisfies the window and/or door placement requirement on highly visible lots.



The area of side elevation (minus window area) totals 300 square feet. One hundred (100) square feet of stone has been provided, which satisfies the secondary material requirement. Forty (40) square feet of window placement has also been provided, which satisfies the window and/or door requirement on highly visible lots.



The garage side that flanks the street has two materials 20 square feet or greater and one window.



The garage side that flanks the street has two materials greater than 20 square feet and is installed closest to the lane.



## EXTERIOR DWELLING MATERIAL REQUIREMENTS

### Standard Lots and Laned Lots

All dwellings require a minimum of two different exterior dwelling materials of different colour on the front elevation with each material being no less than 50 square feet in area, or a minimum of three different exterior dwelling materials with each material being no less than 25 square feet in area. For additional material requirements on highly visible lots, see page 7.

Note: Material types and square footage must be clearly identified on the drawings submitted in support of your application. Failure to do so may result in delays to the approval of your application.

Front Elevation Material Calculations  
(Standard Lot and Laned Lot)

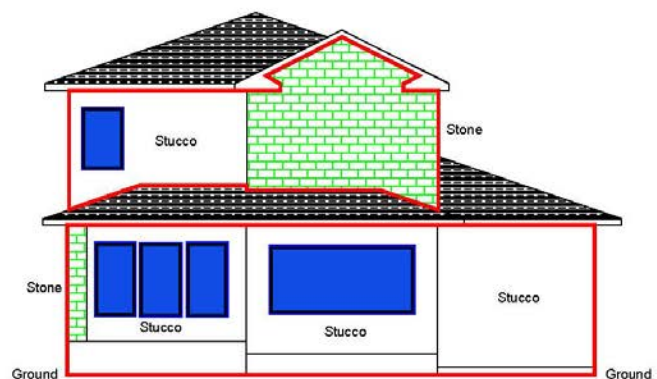


Three Materials Example:

- 1) Stucco = 100 square feet
- 2) Stone Column = 10 square feet  
Stone Garage = 70 square feet
- 3) Hardie Siding = 60 square feet

The stone and Hardie siding exceed the minimum three material requirement of 25 square feet (standard and laned lots).

Highly Visible Lot Side or Rear Material Calculations  
(Flanking Street and Open Space Lots)



Two Materials Example:

- Red (elevation) = 130 square feet (1st storey)  
85 square feet (2nd storey)
- Blue (windows and doors) = 120 square feet
- Green (secondary material) = 126 square feet provided

Secondary Material Required

215 square feet (elevation) minus 120 square feet (windows/doors) = 95 square feet X 33% = 31 square feet required

- Trim features and roof shingles will not be counted as a material. In order to be included towards the required material amount, the material must be visibly shown on the 2D elevation plan. Material wrapped around a column or architectural feature is encouraged to provide cleaner edges, but will not count towards the required material total for the elevation in review.
- The materials being used need to be distinctly different and discernible from each other (texture and colour). Two similar materials with visually different textures will be considered two materials. For example, Hardie siding and Hardie shakes are two materials or vinyl siding and vinyl board and batten are two materials. Contrast with the trim materials and exterior dwelling materials being used is also encouraged.
- For the purpose of the material calculation, the total area of elevation is from the ground to under the eaves. Windows and doors shall be subtracted.



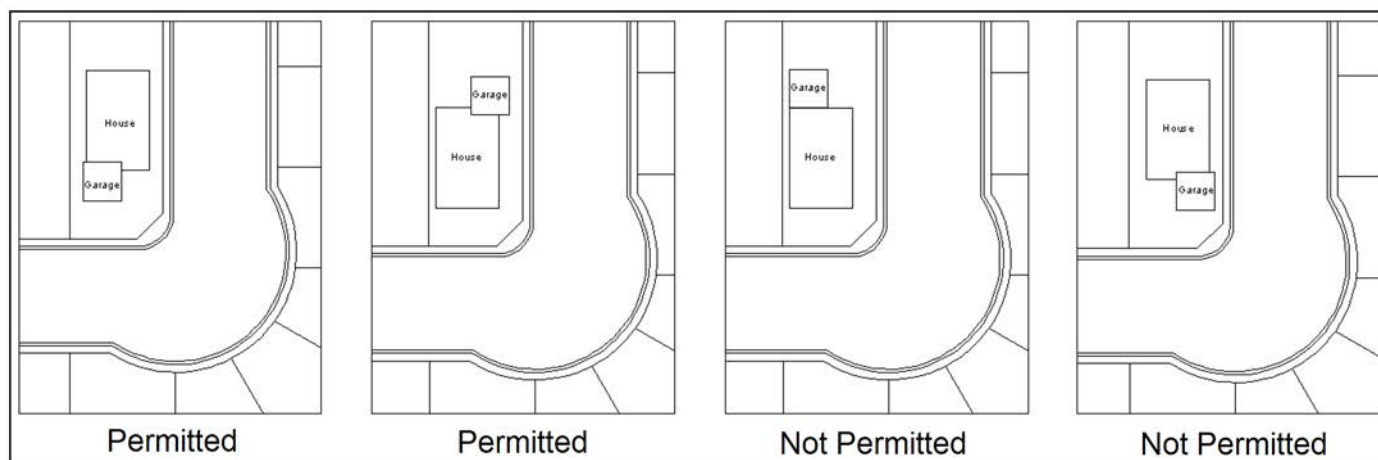
## GARAGE PLACEMENT

For lots requiring an attached garage, a garage side location is determined on the Lot Information Map unless the lot is marked with a “C” for corner lot garage placement. For corner attached garage lots, the garage must be located as per the permitted garage sides as shown in Figure 1.

Garage sides on a given block are paired together against a common property line in order to provide a better streetscape appearance.

Figure 1 demonstrates the permitted options for the placement of an attached garage on a corner lot, attached to the front of the dwelling furthest from the street corner or attached to the rear of the dwelling closest to the side street.

Figure 1 - Corner Lot Garage Placement



Lot purchasers should check curb design, street light pole locations, utility pedestal locations, and mailbox locations, prior to designing a dwelling with a garage on the side.







## ARCHITECTURALLY SIGNIFICANT GARAGE DOORS

The street appeal of a dwelling contributes to the general appeal of any residential area. Garage doors make up a significant portion of the facade of any garage. Any lot with a garage facing a street requires garage door styles that complement the dwelling's exterior. The garage door must include some architectural elements. Examples of garage door types, design elements and corresponding architectural styles are as follows:

- Inset Windows:
  - Double Door: Minimum of three windows.
  - Single Door: Minimum of three windows unless installing two windows horizontally at the top.
- Decorative pane glass.
- Wide trim pieces (e.g. carriage style).
- Natural woods.
- Aluminum and glass.

Hardware and handles can be used on garage doors but are not counted towards the garage door architectural elements.

Windows above garage doors are permitted and count towards the garage door architectural elements.

Garage door supplier and model information must be submitted along with your application. Please include photos or brochures to help explain the garage door

### Examples of Desirable Garage Doors



### Non-acceptable Garage Doors



Garage doors with no architectural elements are not permitted.



Flush garage doors with minimum architectural elements are not permitted.



Coloured garage doors are permitted but still need architectural elements. Garage doors that look like wood but are not wood are not permitted without other architectural elements.



Garage doors with random window spacings are not permitted.



## COLUMNS & ENTRY FEATURES

For laned lots which require an architecturally significant entry feature, features should be consistent with the overall architectural style of the dwelling. This may include the use of covered verandas, modern contemporary interpretations of pergolas or covered entry features.

In the event that columns are used, column styles should be consistent with the overall architectural style of the dwelling. This might include the use of wide-based, tapered columns with stone detailing at the column base for craftsman style homes, cedar clad columns for modern contemporary style homes, or columns with masonry cladding along the full length of the column for traditional style homes.



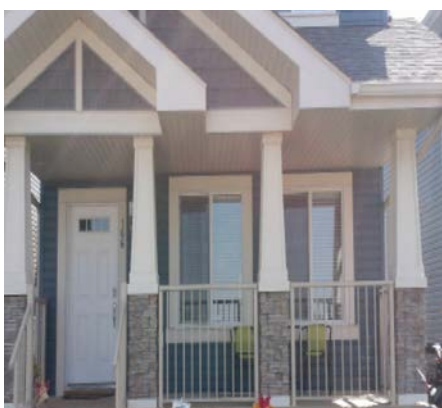
Modern interpretation of a pergola entry.



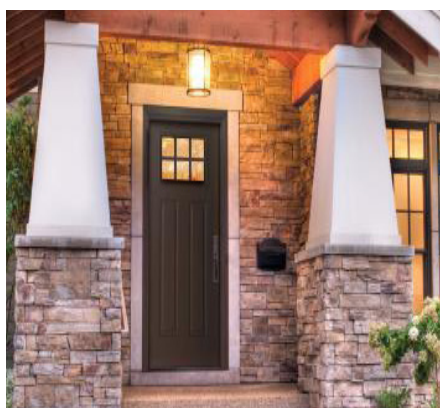
Covered entry feature with supporting column. Preferred 10 inches x 10 inches columns or greater.



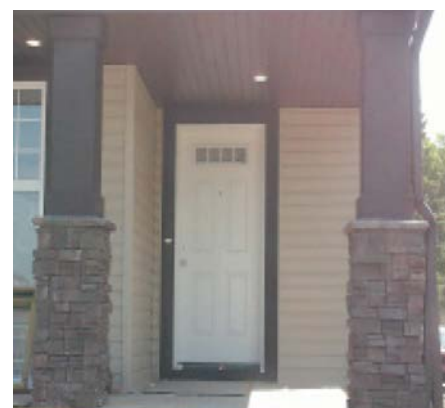
Covered entry feature with supporting column.



Covered veranda with substantial columns.



Wide-based, tapered columns with stone detailing. Preferred tapered columns with 12 inches x 12 inches base and 8 inches x 8 inches top.



Wide-based columns with stone detailing. Preferred 10 inches x 10 inches columns or greater.



## STAIRS & ENTRY FEATURES

Stair systems, landings and verandas must be enclosed on all sides.







## ROOF PITCH

There is no roof pitch requirement; however, the roof pitch should complement the architectural style of the dwelling and be consistent with the intent of strengthening the streetscape and harmonizing the interface between housing forms.

Approval of roof pitches will be at the discretion of Saskatoon Land. Some examples that outline the acceptable use of roof pitches less than 6-in-12 are identified below.



The use of a low-pitched gabled roof for a craftsman style home.



The use of a flat roof or low-sloped roof in a modern contemporary style home.



The use of a low-pitched hip roof with wide overhanging eaves in a prairie style home.





## PLAN APPROVAL PROCESS



Saskatoon Land's approval of dwelling plans is required prior to the submission of a building permit application. Builders are encouraged to meet with Saskatoon Land during the design stage to avoid potential delays.

The following information must be submitted to Saskatoon Land prior to the submission of a Building Permit Application:

- Completed Application Form with garage door image or brochure for attached garages and highly visible garages.
- One hard or digital copy of the working drawings, including site plan, floor plan, and dwelling elevations. All exterior dwelling materials and square footage must be identified on the elevation plans.

To avoid delays, application forms and dwelling plans should be submitted to Saskatoon Land well in advance of applying for a Building Permit. Incomplete submissions will be held until the complete application is submitted. Plans will be reviewed for adherence to the architectural controls, and Saskatoon Land may contact the applicant to discuss any required revisions. Plans which do not meet all the architectural controls will be reviewed by Saskatoon Land's Design Review Committee. The Design Review Committee's decision is final and any revisions will be required to be made before approval.

Upon approval of the drawing set, Saskatoon Land will issue an approval letter to the applicant. Following this, builders may apply for their respective Building Permit. At the building permit stage, Saskatoon Land may review the Building Permit drawings again to ensure they are substantially consistent with the plans submitted during the review process.

Periodically, Saskatoon Land will inspect the project to ensure it is in substantial accordance with the approved plans. Builders/homeowners will be responsible for correcting any deficiencies to dwelling elevations which deviate from the approved plans.

# ARCHITECTURAL REVIEW FORM

saskatoon land



201 3rd Ave N, Saskatoon, SK S7K 2H7  
Tel. 306 975 3278

land@saskatoon.ca  
saskatoonland.com

## CONTACT INFORMATION



### APPLICABILITY

Approval of this form is required prior to Building Permit submission in Saskatoon Land's development areas in the following neighbourhoods:

ASPEN RIDGE  
EVERGREEN  
KENSINGTON  
PARKRIDGE

BUILDER \_\_\_\_\_  
CONTACT PERSON \_\_\_\_\_  
TELEPHONE \_\_\_\_\_  
EMAIL \_\_\_\_\_  
DRAFTSPERSON \_\_\_\_\_  
EMAIL \_\_\_\_\_  
(IF APPLICABLE)

## LOT DETAILS

LOT \_\_\_\_\_ BLOCK \_\_\_\_\_  
PLAN NO. \_\_\_\_\_  
CIVIC \_\_\_\_\_  
ADDRESS \_\_\_\_\_

## HOUSE SIZE & FORM

SQ. FT. (ABOVE GRADE) \_\_\_\_\_  
excluding garage area, attached decks, patios

ATTACHED GARAGE \_\_\_\_\_  
interior dimensions

PRIMARY ROOF SLOPE \_\_\_\_\_

HOUSE TYPE \_\_\_\_\_  
(i.e. two-storey, bungalow, bi-level)

DETACHED GARAGE \_\_\_\_\_  
pad dimensions

GARAGE SIDE \_\_\_\_\_  
viewed when facing the home from the street

## FRONT ELEVATION EXTERIOR MATERIALS

	MATERIAL TYPE	MANUFACTURER	SURFACE AREA (SQ.FT)	COLOUR
EXTERIOR MATERIAL 1	_____	_____	_____	_____
EXTERIOR MATERIAL 2	_____	_____	_____	_____
EXTERIOR MATERIAL 3 (if applicable)	_____	_____	_____	_____

Roof Shingles, parging, door and window trim are not considered materials.

# ARCHITECTURAL REVIEW FORM - PAGE 2

saskatoon land

## HIGHLY VISIBLE LOTS

### APPLICABILITY

This section applies to side elevations which face the street or public space and in the case of Aspen Ridge, rear elevations which face park space. Completion of this section is not required for Evergreen lots.

<input type="radio"/>	SIDE ELEVATION SURFACE AREA (SQ.FT.)	_____	
<input type="radio"/>	SIDE ELEVATION MATERIAL 1	_____	AREA (SQ.FT.) _____
<input type="radio"/>	SIDE ELEVATION MATERIAL 2	_____	AREA (SQ.FT.) _____
<input type="radio"/>	SIDE ELEVATION WINDOW/DOOR AREA (SQ.FT.)	_____	
<input type="radio"/>	*REAR ELEVATION MATERIAL 1	_____	AREA (SQ.FT.) _____
<input type="radio"/>	*REAR ELEVATION MATERIAL 2	_____	AREA (SQ.FT.) _____

\* Required only for Aspen Ridge

## GARAGE DOOR INFORMATION

### APPLICABILITY

This section applies only to attached garage lots in Aspen Ridge and Kensington's Bentley Manor Craftsman area.

<input type="radio"/>	GARAGE DOOR PRODUCT NAME	_____
<input type="radio"/>	GARAGE DOOR MANUFACTURER	_____
<input type="radio"/>	GARAGE DOOR COLOUR	_____

Please also include photos or scanned brochures to help explain the garage door design.

## REVIEW & APPROVAL



Saskatoon Land's approval of this form is required prior to the submission of any Building Permit Application. The approved Architectural Review Form must be submitted in conjunction with your Building Permit Application to the Building Standards Division. Failure to submit the form or submission of an incomplete form may delay the issuance of your Building Permit.

Interpretation and application of Saskatoon Land's architectural controls are at the sole discretion of Saskatoon Land. Failure to comply with these controls may result in removal from Saskatoon Land's Eligible Contractor List.



Saskatoon Land to complete this area:

APPROVED BY \_\_\_\_\_

Date \_\_\_\_\_