

ASPEN RIDGE



Aspen Ridge Phase 2 Lot Draw

122 lots in the City's newest neighbourhood in the popular University Heights Sector, including walk-out lots, which back onto the Northeast Swale, which is one of the largest pieces of unbroken prairie in the Saskatoon region.



City of
Saskatoon
Saskatoon Land

General Information

Attached Garage Placement

For lots that require the construction of an attached garage, a garage side is assigned. The garage must be constructed against the required side of the lot as assigned. The intent of this control is to pair garages together against a common property line in order to provide a better streetscape appearance. The garage side placements are shown on Attachment 7 and will be included in the Agreement for Sale.

Corner Garage Placement

All corner lots that require an attached garage have the following in the Agreement for Sale: *The garage must be located on the side of the property that is furthest from the intersection.* See Figure 1.

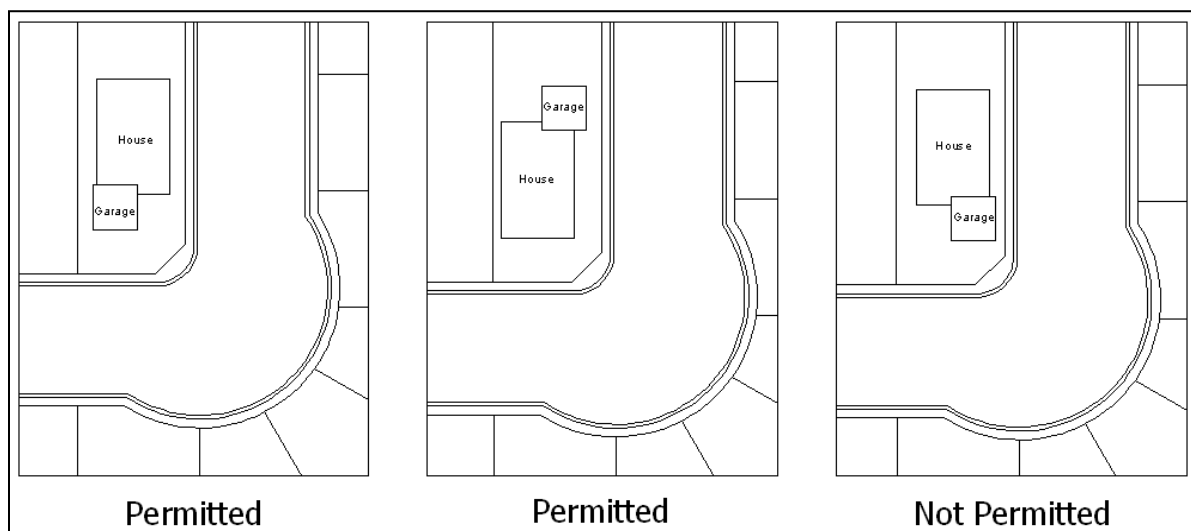


FIGURE 1: CORNER LOT PERMITTED GARAGE PLACEMENT

Architectural Controls

Please note the attachments titled, *Aspen Ridge Architectural Review Form* (Attachment 1) and *Aspen Ridge Phase 2 Architectural Controls* (Attachment 2).

Building Plans must be submitted and approved by Saskatoon Land prior to applying for a Building Permit. When Building Plans and the *Aspen Ridge Architectural Review Form* are delivered to the Building Standards Division, Saskatoon

Land will ensure it conforms to the *Aspen Ridge Phase 2 Architectural Controls* and the Building Plans provided to Saskatoon Land as part of the initial consultation. Providing Saskatoon Land with a completed Architectural Review Form and Building Plans in advance will avoid delays in obtaining a Building Permit due to Architectural Controls.

Please be advised that if the building is constructed in violation of the Architectural Controls as approved and initialed in the Agreement for Sale, the City may take legal action to require compliance. Issuance of a Building Permit will not absolve the Purchaser from meeting this requirement. Such action could result in the demolition or partial demolition of the building at the expense of the Purchaser.

Nearby Multi-Unit Sites

Dwelling Group Townhousing Sites:

- Low Density: Parcel F, on Bolstad Manor
- Low/Medium Density: Parcel E, on Bolstad Manor

Street Townhousing Sites:

- Low/Medium Density: Parcel D, on Bolstad Link

These sites will be subject to the Architectural Controls contained in the *Architectural Controls for Multiple-Unit Dwelling Districts* document which may be viewed on our website (www.saskatoon.ca), search “Architectural Controls for Multi-Unit Dwelling Districts 2013”.

Residential Care Homes – Type II, Pre-Schools & Discretionary Child Care Centres

Sites within the Aspen Ridge neighbourhood have been pre-designated for development as Residential Care Homes – Type II, Pre-Schools, and Child Care Centres. A Residential Care Home –Type II is a care home in which the number of residents under care is more than five, and no more than fifteen. A Discretionary Child Care Centre is a child care facility having more than eight resident and non-resident children. The locations of sites for these uses have been spread throughout the neighbourhood and among various phases of development. In general, these locations are adjacent to collector streets on corner lots in order to provide access to

transit service, and to mitigate any potential parking conflicts. Pre-designated lots will be offered for sale separately by tender as potential Residential Care Homes – Type II, Pre-Schools, and Child Care Centres. If not purchased for these uses, the subject lots will be returned to inventory and sold as typical single-unit lots. **Residential Care Home lots in Phase 2 are located at 754 and 758 Bolstad Turn.**

Lot Grading

Lot grading is the slope of the lot in order to provide good drainage away from the buildings in such a way that surface runoff from rainstorms or snowmelt is directed toward the storm sewer. Runoff is controlled through the use of side and back of lot swales to eliminate or minimize the impact on adjacent properties and to ensure proper overland drainage.

Complete development of all lots in an area may occur over a number of years and, unfortunately, some homeowners landscape their lot without proper consideration for the pre-designated overland drainage pattern of the area. Early development does not preclude a homeowner's responsibility to maintain this drainage pattern. If a homeowner obstructs drainage in any way, thereby creating a flooding problem for neighbours upstream, that homeowner must correct the situation at their own expense. Similarly, a lot should not be landscaped below design grades otherwise flooding may occur.

Lot Grade Details

The following information has been prepared to assist the homeowner and contractor in setting the building elevations and final lot grades. Lot grade details are shown on Attachment 3 and 4 in this package:

- a) Lot grade drawings on Attachment 4 – show the final design elevations at property corners and at other points that are deemed critical elevation points. It is important that contractors and homeowners match these grades with final landscaping elevations. These elevations are required as a minimum for building plan approval;

- b) Lot grading types on Attachment 3 – show types D, E, and C-D, including a three-dimensional view and side view of the grading type; and
- c) A drawing showing a cross section of a typical side yard fence and side yard grading that will not impede side yard drainage.

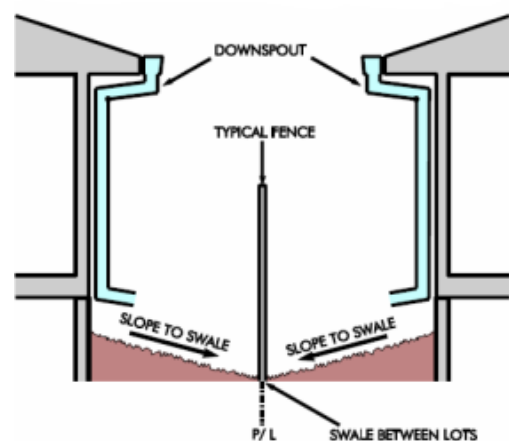
During the initial stages of subdivision development, all streets, easements, lanes, and walkways are pre-graded to design elevations set to accommodate drainage throughout the area. In the case of the utility easements, the grade is constructed approximately 100mm (4 inches) below the final design grade, which allows the homeowner to add topsoil without creating drainage problems for neighbouring yards.

Once building construction is complete lot grading is a two-step procedure. The first step is the rough grade stage, which includes backfilling the foundation walls and shaping the lot to conform to the pre-grade drainage plan. When rough grading is complete the lot should be within 7 to 20cm (3 to 8 inches) below the final design grade to allow for the addition of topsoil (4 to 6 inches). Once the lot is at the final design grade, sod, decorative rock, wood chips, or other surface treatments can be installed. **It is strongly recommended that homeowners consult a legal surveyor or other qualified professional to get the final grade elevations for their lot before landscaping is started.**

Grading Between Lots

A sloped surface is required to effectively drain water away from the foundation walls, including under steps and decks in order to reduce the risk of water entering the basement during rainfalls or snowmelt. See Figure 2. Drainage swales are shallow sloped channels intended to move surface runoff away from lots toward the storm sewers. On Attachment 3, drainage swales are shown on common

Figure 2: Drainage Swales



property lines and should be graded in accordance with the Lot Grade Drawings shown on Attachment 4.

If decorative rock or wood chips are to be used in the drainage swale the grade below this treatment must be at the final grade elevation to facilitate proper runoff to the storm sewer.

Lot Grading Do's & Don'ts

Do's:

1. Do require construction plans to include finished grade elevations around the building foundation and along property lines. **Do not leave your building and site grading to chance.** Building Standards requires the submission of the lot corner elevations on the site plan submitted for building permit approval. It is strongly recommended that the plans also include finished elevations along the foundation and garage grade beam, garage slab, foundation windows, side property lines, edge of driveways and sidewalks (particularly along the side of the house), and the top and bottom of any retaining feature.
2. Do use a level to set the finished grades along the property line, particularly before installing sidewalks and fencing.
3. Do discuss with adjacent property owners' final drainage grades along the property line. Proper lot drainage requires cooperation of adjacent homeowners.
4. Do undertake a final site inspection of easements, side yard and sidewalks with each sub-trade prior to releasing final payment.
5. **Please disregard any grade information displayed on electrical pedestals and transformer boxes.**

Don'ts:

1. Don't excavate into the easement or berm. These contain critical utilities vital to the neighbourhood.
2. Don't fill the rear easement, as this will block the intended drainage.

3. Don't build raised flowerbeds against the fence/property lines without making provisions for drainage (see Attachment 3).
4. Don't try to build HIGHER than both adjacent neighbours. This leads to expensive provisions for retaining walls, and frequent flooding of neighbouring properties.

For more information, please contact Gerald Prefontaine, Drainage Inspector, Transportation and Utilities at 306-975-2320.

Lot Grading – Walkout Basement Lots (Bolstad Turn)

Some of the lots in this development area have been graded to accommodate the inclusion of a walkout basement into the design of the home. Walkout basement lots are noted with a "W" on the Phase 2 Lot Information Map (Attachment 11). While the "W" lots will accommodate walkout basements, other lots will not. Between walkout basement lots and non-walkout basement lots there are transitional lot areas where the back lot grades slope increases successively on each lot until walkout basements can be accommodated. The grading design for this area is shown on Attachment 4. It is very important to review these plans to determine how your lot has been designed to slope. If there are any questions about this information, they should be directed to Saskatoon Land at 306-975-3278. The Lot Grade Drawings on Attachment 4 also provide important information indicating the specific final design elevations that must be maintained at property corners along the front and rear property lines.

It is strongly recommended that all homeowners discuss their Building and Landscaping Plans with their neighbours to ensure that the grades between the houses will meet both of the neighbours needs. Retaining walls or other means may be necessary if one neighbour intends to build a walkout in an area where the grades transition from walkout to conventional. Saskatoon Land will not be responsible for the cost of retaining walls or other associated work to accommodate grade variance along property boundaries from their current design shown on Attachment 5 - Design Contour Plan. The intent is that all areas have

been graded approximately 100mm (4 inches) below final grade and that no additional grading would be required along the side and rear property lines.

Foundation Drainage

1. Foundation Drainage (Weeping Tile) Requirements

- a. The bottom of every exterior foundation wall shall be drained as per the National Building Code.
- b. Connection of foundation drains of all buildings to the sanitary sewer collection system will not be permitted.

2. Discharge of Foundation Drainage Water

- a. All buildings are required to drain foundation water into a sump, which in turn discharges the water to the surface or to a storm sewer.

3. Surface Discharge

- a. Sump pumps discharging to surface may not discharge directly onto a pervious ground surface within one metre of any building that has a basement or a level below the finished ground surface. (see Figure 3)
- b. The location of the point of discharge shall be directed away from adjacent properties.
- c. If the lot is split drainage (Type D), surface discharge may drain either to the front or back yard. If the lot drains from the back to the front (Type A), surface discharge must be to front yard.
- d. The discharge may not be into the area of the required side yard setback unless the side yard is adjacent to a street, park or buffer strip.

4. Discharge to Storm Sewer

Sumps discharging to storm sewers shall be pumped to the main by a pressure service connection as per Figure 3 Sump with Pumped Discharge to Storm Sewer.

5. Sump Design Criteria – Sump Pit Details

- a. As per National Building Code 9.14.5.2, sump pits are to be a minimum of 750mm deep and 0.25 square metres in area.

- b. Sump pit is to be fitted with a tight fitting removable cover.
- c. Sump pit will be constructed of concrete, plastic, or non-corrosive metal.
- d. Sump pit is to be fitted with an opening to accept a 100mm drain with the invert of the pipe located above centre of the sump pit height.
- e. Sump pit is to be placed on an even, well compacted surface.

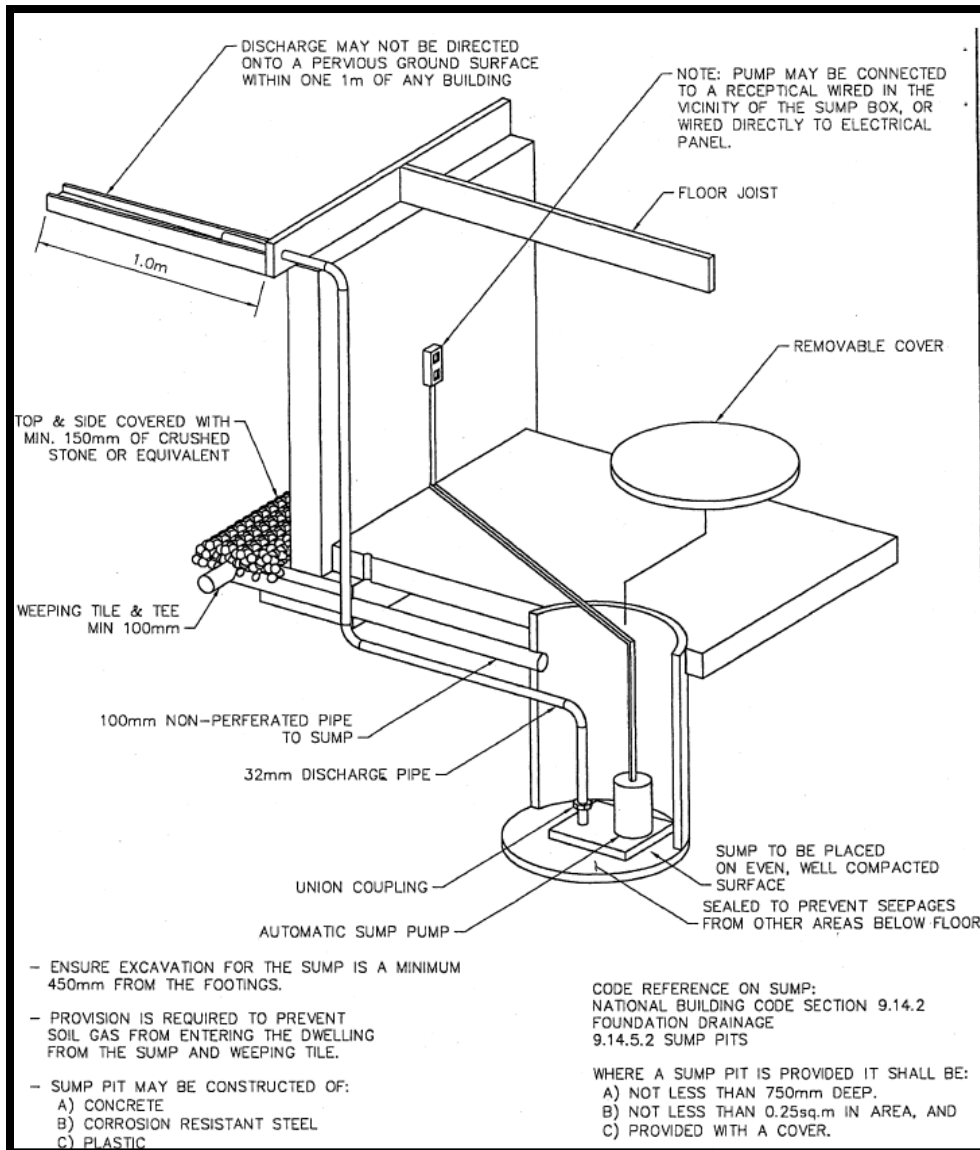
6. Foundation Drainage (Weeping Tile) to Sump Pit

- a. A weeping tile collection system shall be provided around the building perimeter and tied to a sump pit using a positively graded, non-perforated, 100mm pipe which discharges into the side of the pit.
- b. Provision shall be made to ensure soil gas is prevented from entering the building through the weeping tile and through the sump pit.

7. Sump Pump

- a. Provide a sump pump (column of submersible type) capable of pumping 50 L/m at three metres of head.
- b. The pump shall be fitted with an automatic on/off level control.
- c. The pump discharge must have a minimum pipe diameter of 32mm. The pipe must be adequately secured.
- d. Sump pumps connected directly to a storm sewer must be equipped with a spring check valve and shut-off valve located downstream of the check valve, so that the connection to the main can be isolated from maintenance.

SUMP WITH PUMPED DISCHARGE TO SURFACE



SUMP WITH PUMPED DISCHARGE TO STORM SEWER

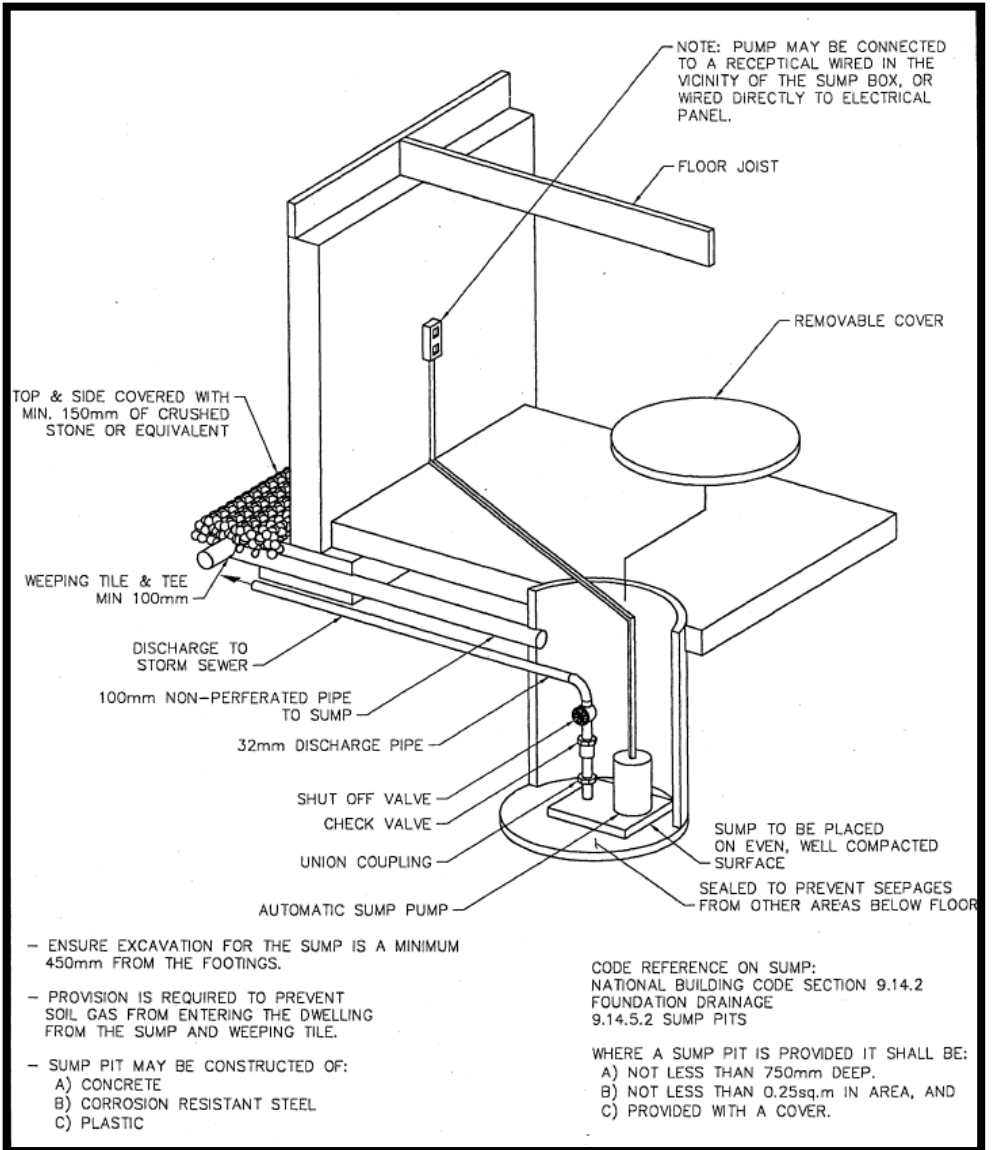


FIGURE 3: SUMP DESIGN

Fencing

Decorative Aluminum Fence:

A decorative aluminum fence without gate will be placed in the rear yard of:

- Lots 1 to 13, Block 708, Plan No. 102207912

Please be advised that these lots with decorative aluminum fencing backing the greenway will not have gates installed. Private gates are discouraged. Public access to the Greenway should be by park access only.

A decorative aluminum fence without gate will be placed on the side yard of:

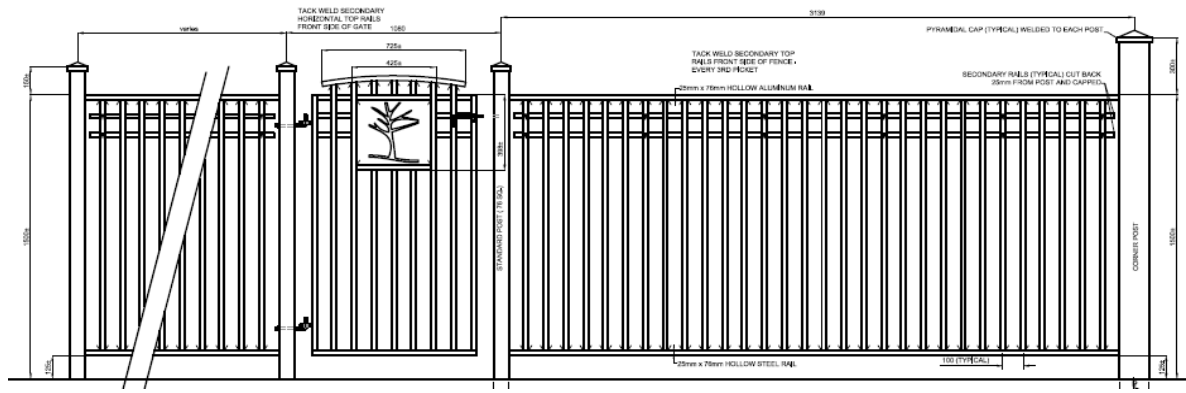
- Lots 10, 11 & 22, Block 707, Plan No. 102207912
- Lots 1 & 13, Block 708, Plan No. 102207912
- Lots 1 & 22, Block 709, Plan No. 102207912
- Lots 15 & 16, Block 710, Plan No. 102207912
- Lot 1, Block 713, Plan No. 102207912

A decorative aluminum fence with private gate will be placed in the rear yard of:

- Lots 1 to 22, Block 707, Plan No. 102207912

Lots that have decorative aluminum fencing are adjacent to a park, drainage parcel, or greenway. **The centre line of this fence is located approximately 250mm (10 inches) inside the homeowner's property line.** The inside edge of the structural pilings for this fence is located approximately 400mm (16 inches) inside the homeowner's property line. The purchaser will be responsible for all future maintenance of the fence. The location of the fence should be taken into consideration when positioning the building on the lot and specifically during basement excavation. Special attention should be considered to not disturb the structural pilings or other components of the fence during construction. Figure 4, "Aspen Ridge Decorative Fence Details" illustrates the fence details and style.

Figure 4: Aspen Ridge Decorative Fence Details



Example of Decorative Aluminum Fence (fencing design may change without notice)

Construction Notes

Starting Construction

Possession of the site is granted for construction purposes when the down payment has been received, finalizing the Agreement for Sale. In order to assist the utility companies, please post the civic address at the front of the property when construction begins.

Landscaping of City Boulevards

It is the homeowner's responsibility to landscape and maintain at their expense the boulevard along the front of their property and along the side of corner lots. Boulevards are defined as the landscaping space between the edge of the roadway or sidewalk and the property lines. Where the sidewalk is not attached to the curb, the boulevard is the space between the curb and the sidewalk and the sidewalk and the property line (see Figure 5 A). Where the sidewalk is attached to the curb, the boulevard is the space between the sidewalk and the property line (see Figure 5 B). These areas can be landscaped with a number of materials (for

example, sod, decorative landscaping rock, paving stones, concrete, trees, and gardens). Please refrain from using materials that have height or mass and could restrict views or damage car doors when opening.

Figure 5: Boulevard Types



Boulevard Tree Planting

The Community Tree Planting Program was established in 1991 via pre-paid levies from the original sale of lots. Through this program, the City of Saskatoon, Urban Forestry Section hand plants 30mm (1.2 inch) caliper trees on boulevards in recently developed neighbourhoods. Streets are selected for this Program based on a review of newly developed areas. The City considers the number of lots that are fully developed and landscaped. This review is completed the season prior to planting. The *Plant by Request Program* is also available to residents to request to have a tree planted in an available planting site on the boulevard. For the *Plant by*

Request Program, please contact Urban Forestry, Community Services at 306-975-2890 or visit <https://www.saskatoon.ca/services-residents/housing-property/yard-garden/trees/tree-request-new-neighborhoods>.

The City of Saskatoon now allows for gardening on city boulevards. For more information please review the City of Saskatoon's Boulevard Gardening & Maintenance Guidelines and complete the Boulevard Garden Agreement. <https://www.saskatoon.ca/services-residents/housing-property/yard-garden/boulevards>

Disclosure of Adjacent Property Owners

Please note in order to facilitate discussions between property owners respecting lot grading, fencing issues and property maintenance issues, Saskatoon Land will, upon request, disclose the names and contact information of purchasers to adjacent property owners.

Construction Waste

As per City of Saskatoon Bylaw No. 8310, The Waste Bylaw, 2004 any owner or contractor carrying out the construction of a building on any property shall place all waste into a waste container or enclosure. The owner or contractor shall dispose of all waste resulting from the construction in a timely manner so as to ensure there is no unreasonable accumulation of waste on the property during the construction.

It is required that a waste disposal bin remains on each building site for the duration of construction in order to ensure that the waste is not dispersed on or around the property or surrounding properties. Upon completion of construction, it is the owner or the contractor's responsibility to clear their site of all waste. If the waste is not removed, the City may remove the waste and all associated costs will be charged to the property owner or the contractor.

Temporary Water Circulation Boxes

To ensure water quality is maintained throughout the initial stages of development in this phase; temporary water circulation boxes are installed. The locations of these temporary water circulation boxes are identified on the Phase 2 Lot

Information Map (Attachment 11). These temporary water circulation boxes are removed during the installation of the water and sewer connection to the house. For more information, please contact the Construction and Design Division at 306-975-2454.

Shallow Utility Servicing Information for New Residences

Crown Utility Corporations have introduced a Joint Servicing Initiative that includes the installation of gas, electric and communications in a common trench from the main line to the building. This approach achieves efficiencies for the installation of the service lines and addresses the challenges associated with space constraints.

Please see Attachment 9, which includes information on the Joint Servicing Initiative and a site check readiness sheet, which lists the items required prior to the installation of services to your home. For further information on your shallow utilities services, please contact the appropriate utility agency (SaskPower, SaskEnergy, SaskTel or Shaw Cable).

In addition, for lots with lanes, please see Attachment 8. This provides a guide to how SaskPower and SaskEnergy typically provide underground services to each lot.

Concrete Garage Pads for Detached Garages

Please be advised that, as per the National Building Code, foundations for detached garages 55 m² (492 ft²) and larger must be designed by a design professional (engineer or architect) licensed to consult in The Province of Saskatchewan. The sealed design must be accompanied with a Letter of Commitment for field review.

Other Information

Lots are sold “As Is”. These terms are contained in the Agreement for Sale. The terms may change without notice. Any questions should be asked to ensure you understand the terms of your purchase.



Aspen Ridge Architectural Review Form

Aspen Ridge - Phase 2 Lot Draw

1. Location

Lot _____ Block _____ Plan # _____

Civic Address _____

2. Applicant

Builder _____ Contact Person _____

Telephone # _____ Email _____ Draftsperson _____
 Email
 (if applicable)

3. House Size & Form

House Type (i.e. two-storey, bungalow, etc.) _____ Sq. Ft. (above grade) _____
 excluding garage area,
 attached decks, patios

| | | |
|--|--|--|
| Attached Garage Interior Dimensions _____ | Detached Garage Pad Dimensions _____ The garage pad must include a concrete apron that connects to the rear property line. | Attached Garage Side (viewed facing the home from the front street) _____ |
|--|--|--|

* Primary Roof Slope _____

* No roof slope is required on Lots 1 - 22, Block 707, Lots 1 to 11, Block 709, and Lots 1 to 15, Block 710.

4. Front Facade Exterior Materials and Products

| | Material Type | Manufacturer | Application Surface Area (sq. ft) | Colour |
|---------------------|---------------|--------------|--------------------------------------|--------|
| Exterior Material 1 | _____ | _____ | _____ | _____ |
| Exterior Material 2 | _____ | _____ | _____ | _____ |
| Exterior Material 3 | _____ | _____ | _____ | _____ |

Roof shingles are not considered a material

* For Attached Garage Lots

Garage Door Colour _____

Garage Door Manufacturer _____ Garage Door
Product Name _____

Please include photos or scanned brochures to help explain the garage door design

5. Highly Visible Lots*

*This section applies to:

- Corner lots and the side building elevations which face the street; and
- Park backing or flanking lots and the side or rear building elevations which face park space.

Please enter information for the applicable fields (sq. ft):

| | | | |
|-------------------------------------|-------|---------------------------------|-------|
| Side Elevation Surface Area | _____ | Rear Elevation Surface Area | _____ |
| Side Elevation Accent Material Area | _____ | Side Elevation Window/Door Area | _____ |
| Rear Elevation Accent Material Area | _____ | Rear Elevation Window/Door Area | _____ |

The Aspen Ridge Architectural Review Form must be submitted to Saskatoon Land prior to submitting your application for a Building Permit to the Building Standards Division. Failure to submit the form or submission of an incomplete form may delay the issuance of your Building Permit.

Interpretation and application of the Aspen Ridge Architectural Controls are at the sole discretion of Saskatoon Land. Failure to comply with these controls may result in removal from Saskatoon Land's Eligible Contractor List.

Saskatoon Land to complete this area

Approved by _____

Date _____



Aspen Ridge

Phase 2 Architectural Controls



ARCHITECTURAL CONTROLS

To enhance the street appeal of Aspen Ridge, Saskatoon Land has selected a variety of architectural controls aimed at creating an aesthetically pleasing streetscape and encouraging a variety of different exterior building materials.

The architectural controls selected by Saskatoon Land are an integral component in strengthening neighbourhood streetscapes and fostering diversity amongst housing choices, creating a warm and inviting environment.

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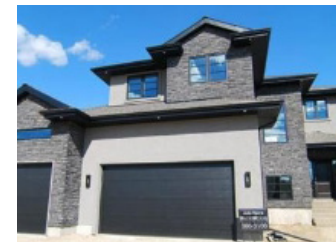


GENERAL DESIGN CONSIDERATIONS - ALL LOT TYPES

These controls are in addition to the controls for each lot type in the following sections. The requirements listed in each lot type section are an absolute minimum. Saskatoon Land reserves the right to require further architectural treatment to any facade in order to satisfy the intention of the Phase 2 architectural controls.

Massing and Relief

All building volumes must incorporate intermittent variances in plan and elevation to encourage shadow lines on facades and visible elevations which will enhance the streetscape by introducing interesting architecture. This includes all building elevations that are adjacent to or visible from public streets or public parks.



Repetition

The same elevations should not be repeated on adjacent properties or directly across the street. For adjacent properties, a change in architectural detailing is required.

Examples of acceptable changes include, but are not limited to, the following: roof and dormer orientation and slope, front attached garage roof style or orientation, the size and location of windows and doors, colours and finish materials.



Front Door Placement

It is strongly encouraged that the front door of a dwelling be highly visible on the front facade by directly facing the fronting street.

If the door does not face the street, architectural elements such as foyer windows, additional accent materials or other architectural elements must be added to enhance the house entrance.



Depending on Saskatoon Land's evaluation of any submitted plans, especially those that satisfy only the "minimum" requirements of this document, Saskatoon Land may require architectural details such as the following:

- Accented wall build-outs or interruptions in wall planes.
- Window and door accents.
- Break-ups in roof massing or roof lines such as dormers or cross gables.
- Other accents or placement of material or colour.



ARCHITECTURAL CONTROLS BY LOT TYPE

Phase 2 of Aspen Ridge features three lot types: Standard Lot Attached Garage, Executive Walk-out Basement Lot Attached Garage and Laned Lot Detached Garage. The architectural controls for each type are noted below:

Standard Lot - Attached Garage

a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:

- i. 1,000 square feet in the case of a bungalow, bi-level or split-level dwelling; or
- ii. 1,200 square feet in the case of a two-storey dwelling.

b) All dwellings must be constructed with a minimum single-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 3.5 metres wide and 6.0 metres long.

c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch except when it can be demonstrated that a lesser sloped roof pitch is integral to any architectural style and consistent with the intent of strengthening the streetscape and harmonizing the interface between housing forms.

No roof pitch requirement exists for Lots 1 to 22, Block 707; Lots 1 to 11, Block 709; and Lots 11 to 15, Block 710.

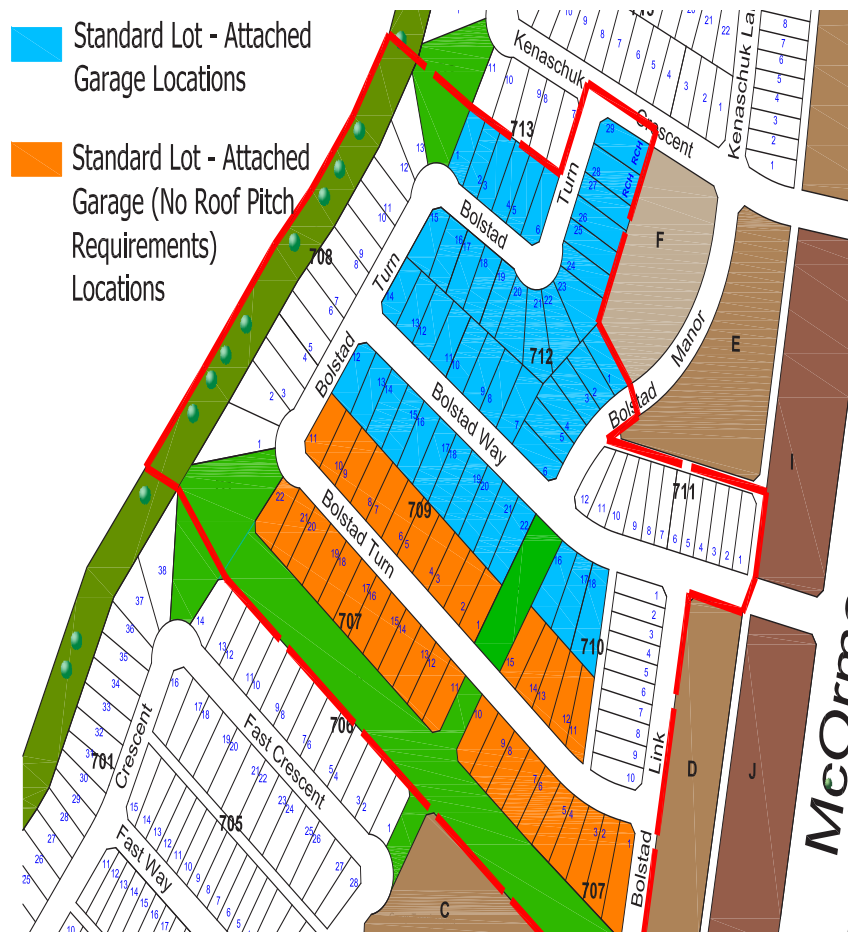
d) Attached garages shall not protrude more than 2.4 metres (8 feet) from the facade of any habitable floor area of the dwelling.

e) All attached garages require architecturally significant garage doors consistent with the architectural style of the dwelling.

f) All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 50 square feet in area or a minimum of three exterior building materials with each material being no less than 25 square feet in area.

Standard Lot Attached Garage

- Lots 1 to 22, Block 707;
- Lots 1 to 22, Block 709;
- Lots 11 to 18, Block 710;
- Lots 1 to 29, Block 712;
- Lots 1 to 6, Block 713.





Executive Walk-out Basement Lot - Attached Garage

a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:

- i. 1,200 square feet in the case of a bungalow, bi-level or split-level dwelling; or
- ii. 1,500 square feet in the case of a two-storey dwelling.

b) All dwellings must be constructed with a minimum double-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 5.4 metres wide and 6.0 metres long.

c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch except when it can be demonstrated that a lesser sloped roof pitch is integral to any architectural style and consistent with the intent of strengthening the streetscape and harmonizing the interface between housing forms.

d) Attached garages shall not protrude more than 2.4 metres (8 feet) from the facade of any habitable floor area of the dwelling.

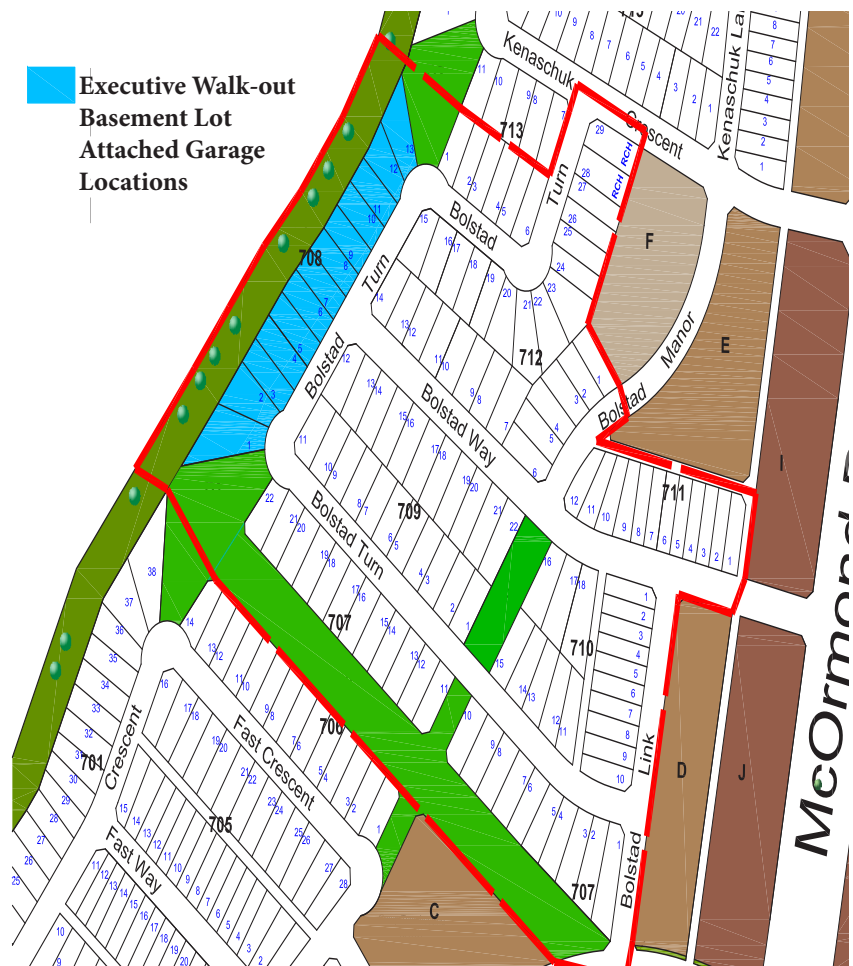
e) All attached garages require architecturally significant garage doors consistent with the architectural style of the dwelling.

f) All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 75 square feet in area or a minimum of three exterior building materials with each material being no less than 40 square feet in area. **No vinyl siding shall be permitted on any building elevation.**

g) All dwellings shall be constructed with direct access from the basement level to the backyard (walk-out units).

Executive Walk-Out Basement Lot - Attached Garage

- Lots 1 to 13, Block 708





Laned Lot - Detached Garage

a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:

- i. 1,000 square feet in the case of a bungalow or bi-level; or
- ii. 1,200 square feet in the case of a two-storey dwelling.

b) All dwelling units shall be bungalows, raised bungalows, bi-levels, or two-storeys. Split-level dwellings are not permitted.

c) All dwellings shall be constructed with an architecturally significant entry feature which may include a covered veranda, a covered entry feature or a modern contemporary interpretation of a pergola. In the event that columns are used, column styles should be consistent with the overall architectural style of the dwelling.

d) The roof of the principal dwelling shall have a minimum 6-in-12 pitch except when it can be demonstrated that a lesser sloped roof pitch is integral to any architectural style and consistent with the intent of strengthening the streetscape and harmonizing the interface between housing forms.

No roof pitch requirement exists for Lots 1 to 10, Block 710.

e) All dwellings must be constructed with a concrete garage pad with access from the rear lane only. The concrete garage pad must be constructed at the same time the dwelling is built with a minimum dimension of 6 metres in width and 6 metres in length. The concrete pad shall be located at a minimum of 1.2 metres from the rear property line, and include a paved apron that connects it to the rear property line.

f) All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 50 square feet in area or a minimum of three exterior building materials with each material being no less than 25 square feet in area.

Please be advised that, as per the National Building Code (NBC), foundations for detached garages 55 square metres and larger must be designed by a design professional (engineer or architect) licensed to consult in the Province of Saskatchewan. The sealed design must be accompanied with a Letter of Commitment for field review.

Narrow Lots - Detached Garage

- Lots 1 to 10, Block 710; and
- Lots 1 to 12, Block 711.

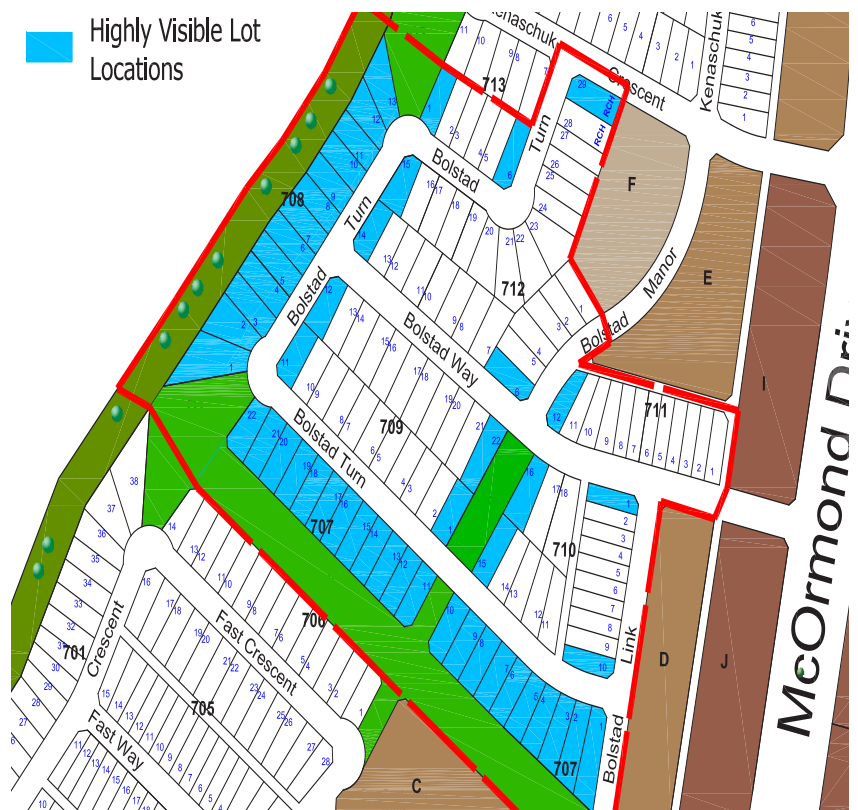


These controls are in addition to the controls noted in the previous sections. The intention of these controls are to avoid the monotony and the perceived cheapness of large expanses of blank walls on side and rear facades that are highly visible from streets and parks. The lots that are relevant to these highly visible lot controls are identified in the map below. The requirements listed below are an absolute minimum. Saskatoon Land reserves the right to require further treatment to any facade in order to satisfy the intention of the Phase 2 Architectural Controls.

- ### Highly Visible Lots
- Lots 1 to 22, Block 707;
 - Lots 1 to 13, Block 708;
 - Lots 1, 11, 12, & 22, Block 709;
 - Lots 1, 10, 15 & 16, Block 710;
 - Lot 12, Block 711;
 - Lots 6, 14, 15 & 29, Block 712; and
 - Lots 1 & 6, Block 713.

In addition to the front facade requirements, any building elevation which flanks a street or faces a park:

- a) Requires a secondary exterior building material that covers no less than 1/3 (33%) of the elevation as defined as the total area of elevation from ground to under the eaves. For the purpose of this calculation, window and/or door areas shall be subtracted. A third material may also be used provided that the second and third materials, when combined, cover no less than 1/3 (33%) of the subject elevation.
- b) Requires a secondary exterior colour that covers no less than 1/3 (33%) of the elevation as defined as the total area of elevation from ground to under the eaves. For the purpose of this calculation, window and/or door areas shall be subtracted. A third colour may also be used provided that the second and third colours, when combined, cover no less than 1/3 (33%) of the subject elevation.



- c) Requires the windows and/or doors to occupy no less than 5% of the elevation as defined as the total area of elevation from ground to under the eaves.

Depending on Saskatoon Land's evaluation of any submitted plans, especially those that satisfy only the "minimum" requirements of this document, Saskatoon Land may require more architectural details such as the following:

- Accented wall build-outs or other interruptions in wall planes.
- Window and door accents.
- Break-ups in roof massing or roof lines such as dormers or cross gables.
- Other accents or placement of material or colour.



HIGHLY VISIBLE LOTS - EXAMPLES



The area of the rear elevation (minus window area) totals 270 square feet. 90 square feet of stone has been provided, which satisfies the secondary material requirement. 140 square feet of window placement has also been provided, which satisfies the window and/or door placement requirement on highly visible lots.



The area of side wall (minus window area) totals 300 square feet. 100 square feet of stone has been provided, which satisfies the secondary material requirement. 40 square feet of window placement has also been provided, which satisfies the window and/or door requirement on highly visible lots.



EXTERIOR BUILDING MATERIAL REQUIREMENTS

Standard Attached Garage Lots and Laned Detached Garage Lots

All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 50 square feet in area or a minimum of three exterior building materials with each material being no less than 25 square feet in area.

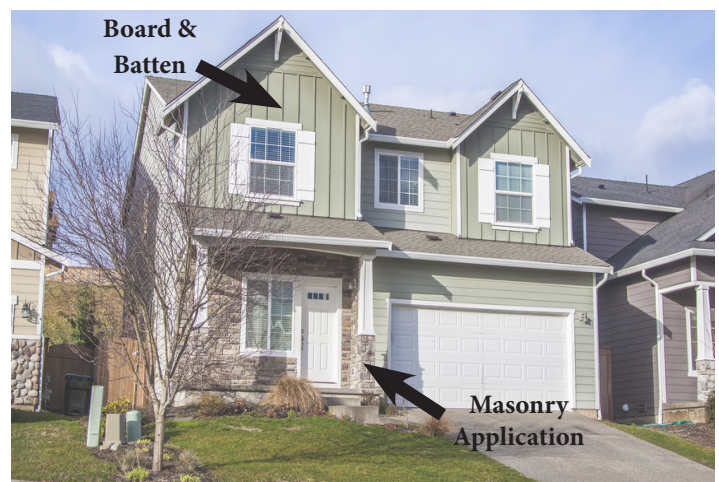
Executive Walk-out Basement Lots

All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 75 square feet in area or a minimum of three exterior building materials with each material being no less than 40 square feet in area. No vinyl siding is permitted on any building elevation.

Note: Material types and areas must be clearly identified on the drawings submitted in support of your Building Permit Application. Failure to do so may result in delays to the approval of your Building Permit Application.



This home utilizes cedar shakes along the roof line and stone accent features near the garage edges, with the balance of the facade consisting of cement fiber siding.



This home features board and batten siding along the dormers, stone accents along the veranda columns, with the balance of the front facade consisting of cement fiber siding.

- Trim features will not be counted as a material. In order to be included towards the required material amount, the material must be visible from the front street. Material wrapped around a column or architectural feature, facing a side or rear yard will not count towards the required material total.
- The materials being used need to be distinctly different and discernible from each other. Contrast with the trim materials and exterior building materials being used is also encouraged.



GARAGE PLACEMENT

For lots requiring an attached garage, one further requirement will also apply to all of the lots that indicates which side of the lot the garage must be placed.

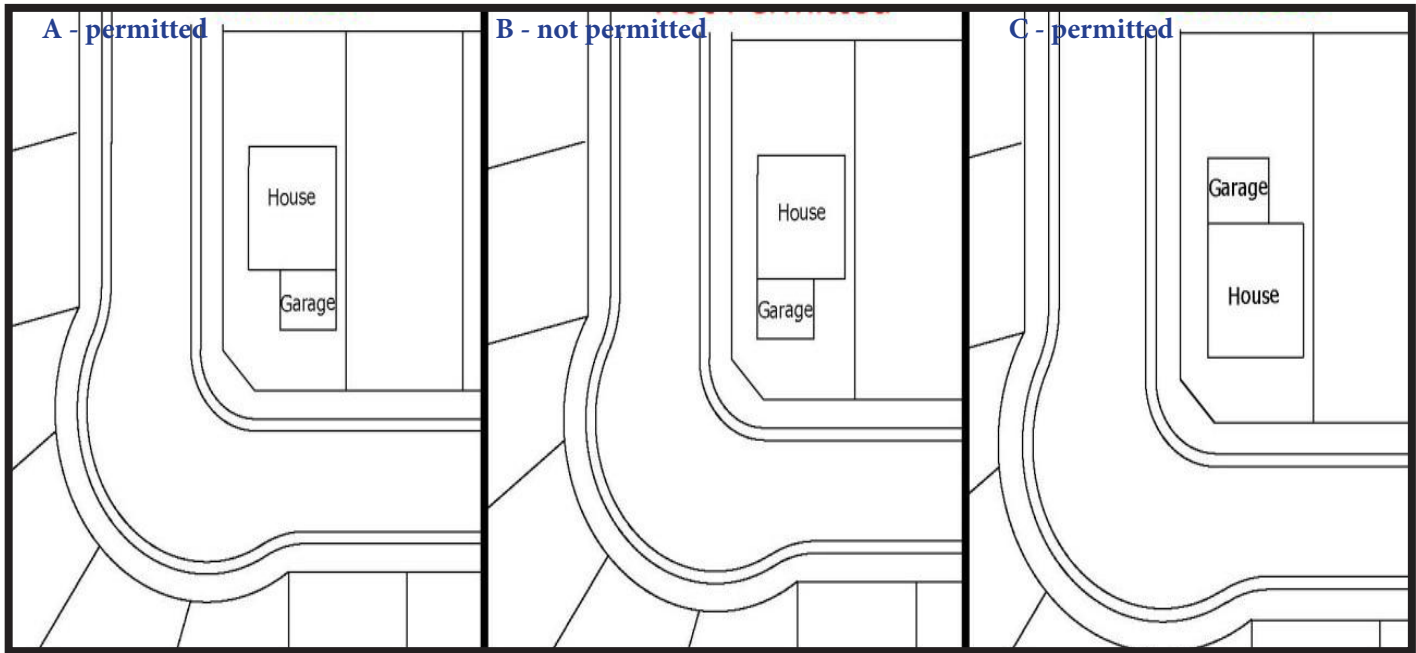
Garage sides on a given block are paired together against a common property line in order to provide a better streetscape appearance.

Corner Lots

For corner attached garage lots, the garage must be located on the side of the property that is furthest from the intersection.

Figure 1 demonstrates the permitted options (A & C) for the placement of an attached garage on a corner lot, attached to the front of the house furthest from the street corner or at attached to the rear of the house.

Figure 1 - Corner Lot Garage Placement





ARCHITECTURALLY SIGNIFICANT GARAGE DOORS

The street appeal of a home contributes to the general appeal of any residential area. Garage doors make up a significant portion of the facade of any attached garage home. Any home with a front or rear attached garage requires garage door styles that complement the home's exterior. The garage door must include some architectural features. Examples of garage door types, design elements and corresponding architectural styles are as follows:

- Coped edges;
- Decorative glass;
- Designed inserts;
- Wide trim pieces;
- Natural woods; and
- Aluminum and glass.

Garage door supplier and model information must be submitted along with your building permit application. Garage doors will be reviewed and approved





ATTACHED GARAGE INTEGRATION

For lots which require an attached garage, the attached garage shall not protrude more than 2.4 metres (8 feet) from the facade of any habitable floor area of the dwelling.

Examples showing acceptable garage projections are illustrated below.



The attached garage projects 2.0 metres from the second storey of the dwelling.



The attached garage projects 2.4 metres from the second storey of the dwelling.



The attached garage projects 2.4 metres from the second-storey bonus room.



COLUMNS & ENTRY FEATURES

For lots which require an architecturally significant entry feature, features should be consistent with the overall architectural style of the dwelling.

This may include the use of covered verandas, modern contemporary interpretations of pergolas or covered entry features.

In the event that columns are used, column styles should be consistent with the overall architectural style of the dwelling. This might include the use of wide-based, tapered columns with stone detailing at the column base for craftsman style homes, cedar clad columns for modern contemporary style homes, or columns with masonry cladding along the full length of the column for traditional style homes.



Modern interpretation of a pergola entry.



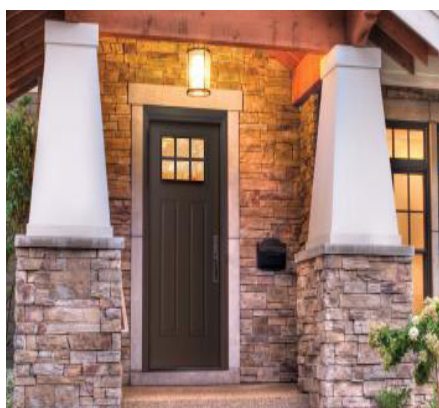
Covered entry feature with supporting column.



Covered entry feature with supporting column.



Covered veranda with substantial columns.



Wide-based, tapered columns with stone detailing.



Wide-based columns with stone detailing.



ROOF PITCH

The roof of the principal dwelling shall have a minimum 6-in-12 pitch except in instances where it can be demonstrated that a lesser sloped pitch contributes towards a consistent architectural style or enhanced level of street appeal.

Approval of roof pitches less than 6-in-12 will be at the discretion of Saskatoon Land. Some examples that outline the acceptable use of roof pitches less than 6-in-12 are identified below.



The use of a low-pitched gabled roof for a craftsman style home.



The use of a flat roof or low-sloped roof in a modern contemporary style home.



The use of a low-pitched hip roof with wide overhanging eaves in a prairie style home.



PLAN APPROVAL PROCESS

Saskatoon Land's approval of building plans is required prior to the submission of a building permit application. Builders are encouraged to meet with Saskatoon Land during the design stage to avoid potential delays.

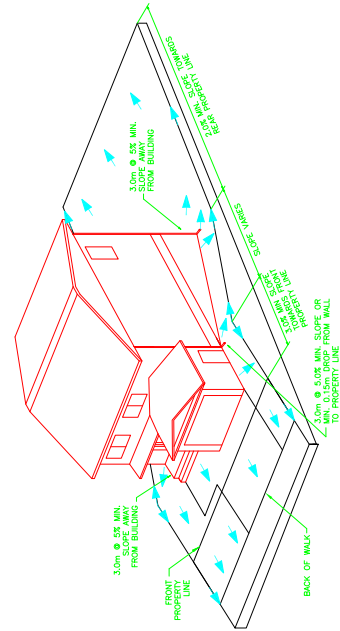
The following information must be submitted to Saskatoon Land prior to the submission of a Building Permit Application:

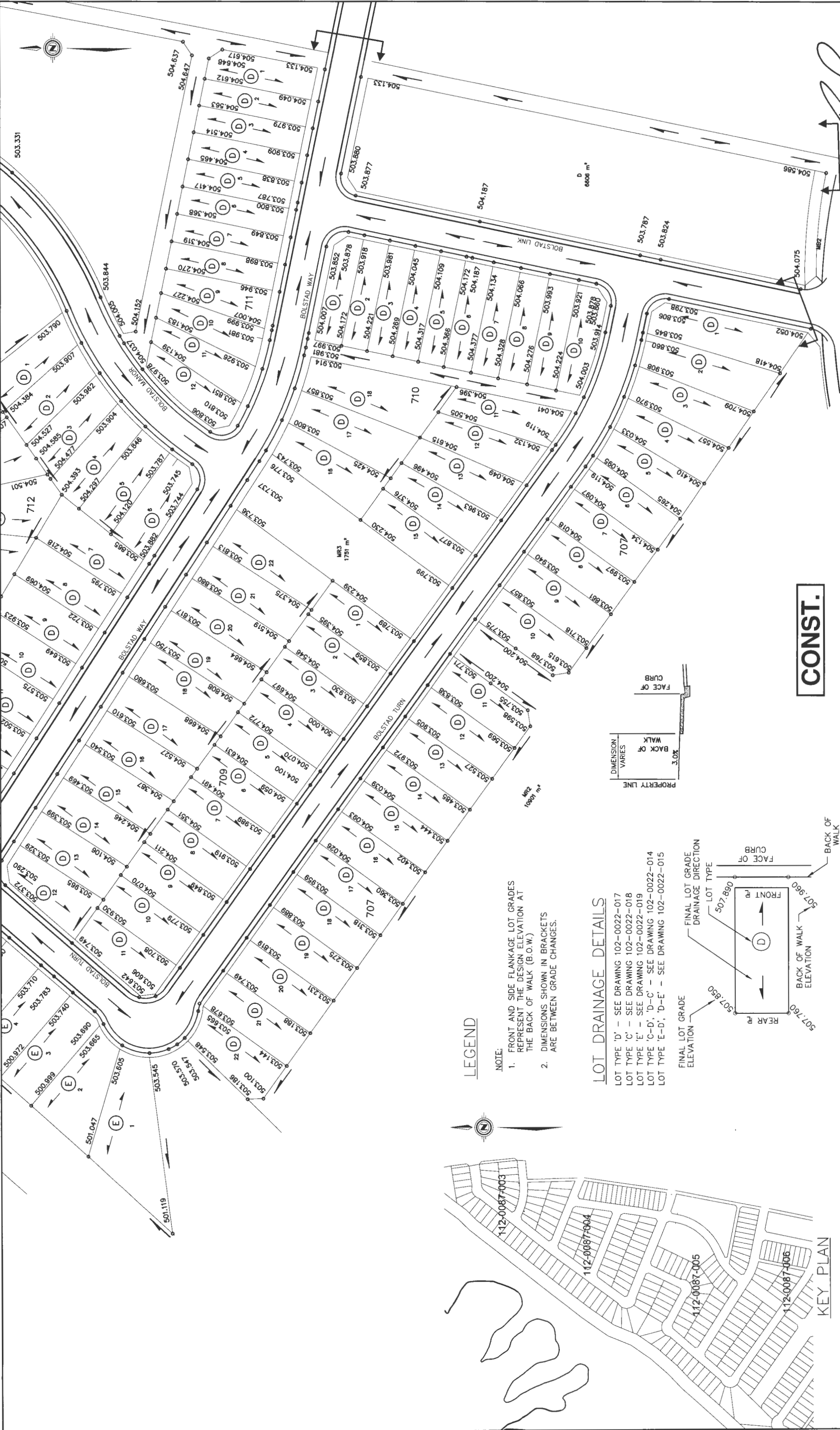
- Completed Application Form;
- One hard or digital copy of the working drawings, including site plan, floor plan, and building elevations. All exterior building materials must be identified on the plans.

To avoid delays, application forms and building plans should be submitted to Saskatoon Land well in advance of applying for a building permit. Incomplete submissions will be returned without review. Plans will be reviewed for adherence to the architectural controls and Saskatoon Land may conduct meetings with applicants to discuss any significant revisions. Plans submitted will be reviewed by Saskatoon Land's Design Review Committee (DRC) to ensure that proposed plans meet the intent of these guidelines.

Upon approval of the drawing set, Saskatoon Land will issue an approval letter to the applicant. Following this, builders may apply for their respective building permit. At the building permit stage, Saskatoon Land will review the building permit drawings to ensure they're substantially consistent with the plans submitted during the review process.

Upon construction completion, Saskatoon Land will inspect the project to ensure it's in substantial accordance with the approved plans. Builders/homeowners will be responsible for correcting any deficiencies to building elevations which deviate from the approved building permit plans.






LEGEND

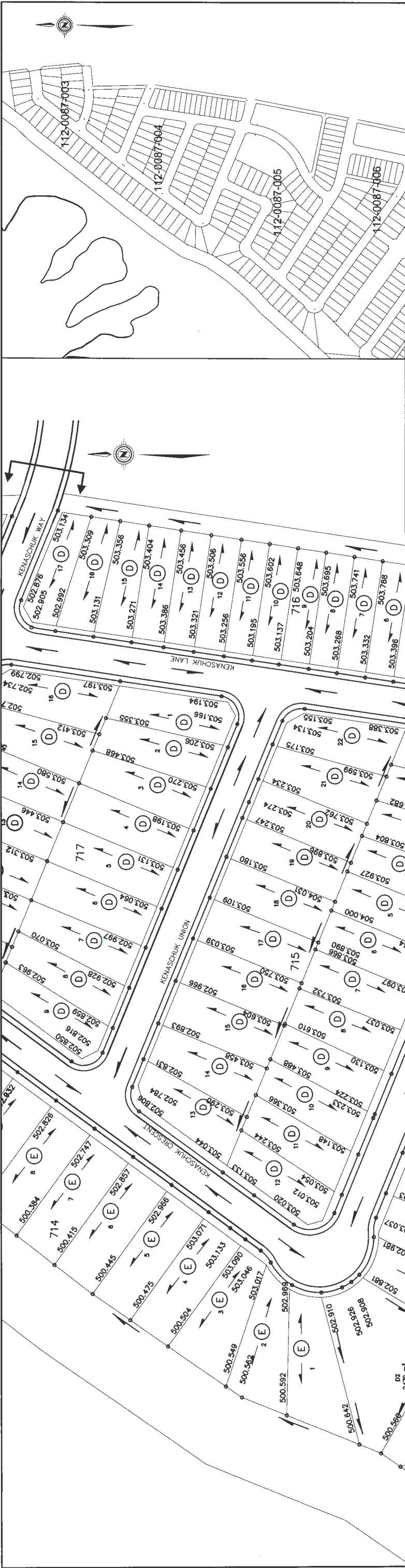
NOTE:

- 1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
- 2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.



CONST.

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|  City of Saskatoon Transportation & Utilities Department | | LOT GRADES BOLSTAD TURN, BOLSTAD WAY BOLSTAD LINK | | DATE: <u>Dec. 19, 2016</u> DRAWN BY: <u>[Signature]</u> CHECKED BY: <u>[Signature]</u> DATE: <u>2016-JUN-15</u> | |
| 112-0087-006r002 | | 112-0087-006r002 | | 112-0087-006r002 | |



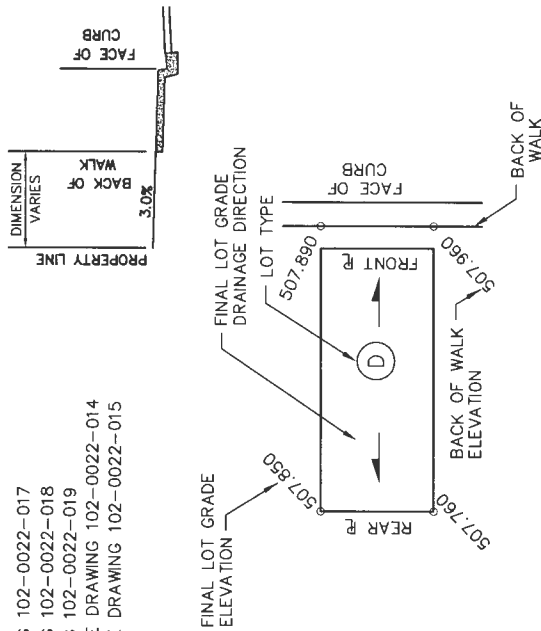
KEY PLAN

LEGEND

- NOTE:
1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
 2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

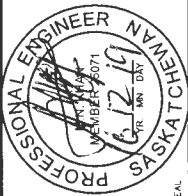
LOT DRAINAGE DETAILS

LOT TYPE 'D' - SEE DRAWING 102-0022-017
LOT TYPE 'C' - SEE DRAWING 102-0022-018
LOT TYPE 'E' - SEE DRAWING 102-0022-019
LOT TYPE 'C-D', 'D-C' - SEE DRAWING 102-0022-014
LOT TYPE 'E-D', 'D-E' - SEE DRAWING 102-0022-015



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| 2 | 2018-DEC-12 | JNS | CHANGE IN EASEMENT ELEVATIONS |
| 1 | 2018-JUN-15 | JNS | ISSUED FOR CONSTRUCTION |



| CHECKED BY: | CHECKED BY: |
|----------------|-------------------|
| | |
| DATE: 13, 2016 | DATE: 2016-JUN-15 |
| DRAWN BY: JNS | DATE: 2016-JUN-15 |

City of Saskatoon
Transportation & Utilities Department

ASPEN RIDGE - PHASE A2

LOT GRADES

KENASCHUK CRESCENT, KENASCHUK UNION
KENASCHUK LANE, BOLSTAD TURN

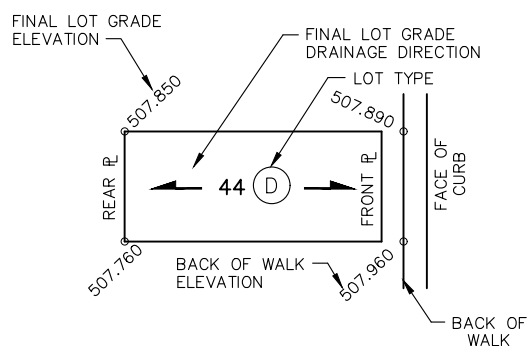
DATE: 19, 2016

SCALE: 1:1250

SHEET NO: 112-0087-004-r002



LEGEND



NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

BOLSTAD TURN & BOLSTAD LINK

DRAWN BY JVS DATE 2016-JUN-20

SCALE: 1:1000

PLAN No.:

PAGE: 11 OF 12



**City of
Saskatoon**

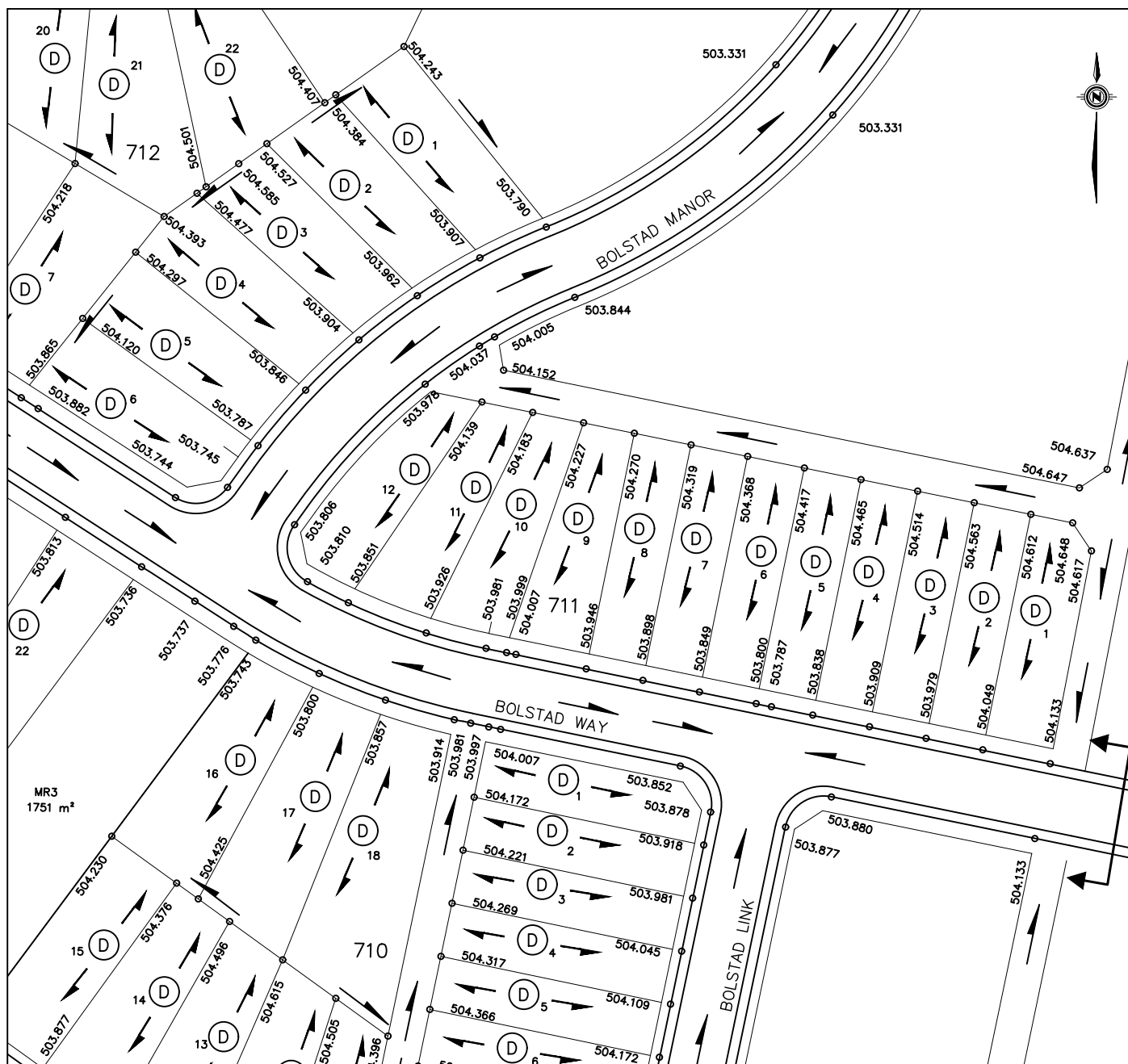
Transportation & Utilities Department

SOURCE DOCUMENT

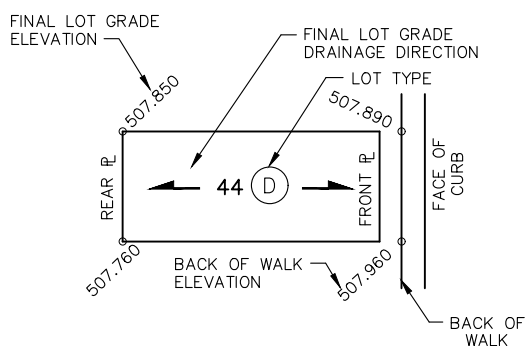
PLAN No.: 112-0087-006

APPROVAL DATE:

REVISION DATE:



LEGEND



NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

BOLSTAD WAY

DRAWN BY JVS DATE 2016-JUN-20

SCALE: 1:1000

PLAN No.:

PAGE: 12 OF 12



**City of
Saskatoon**

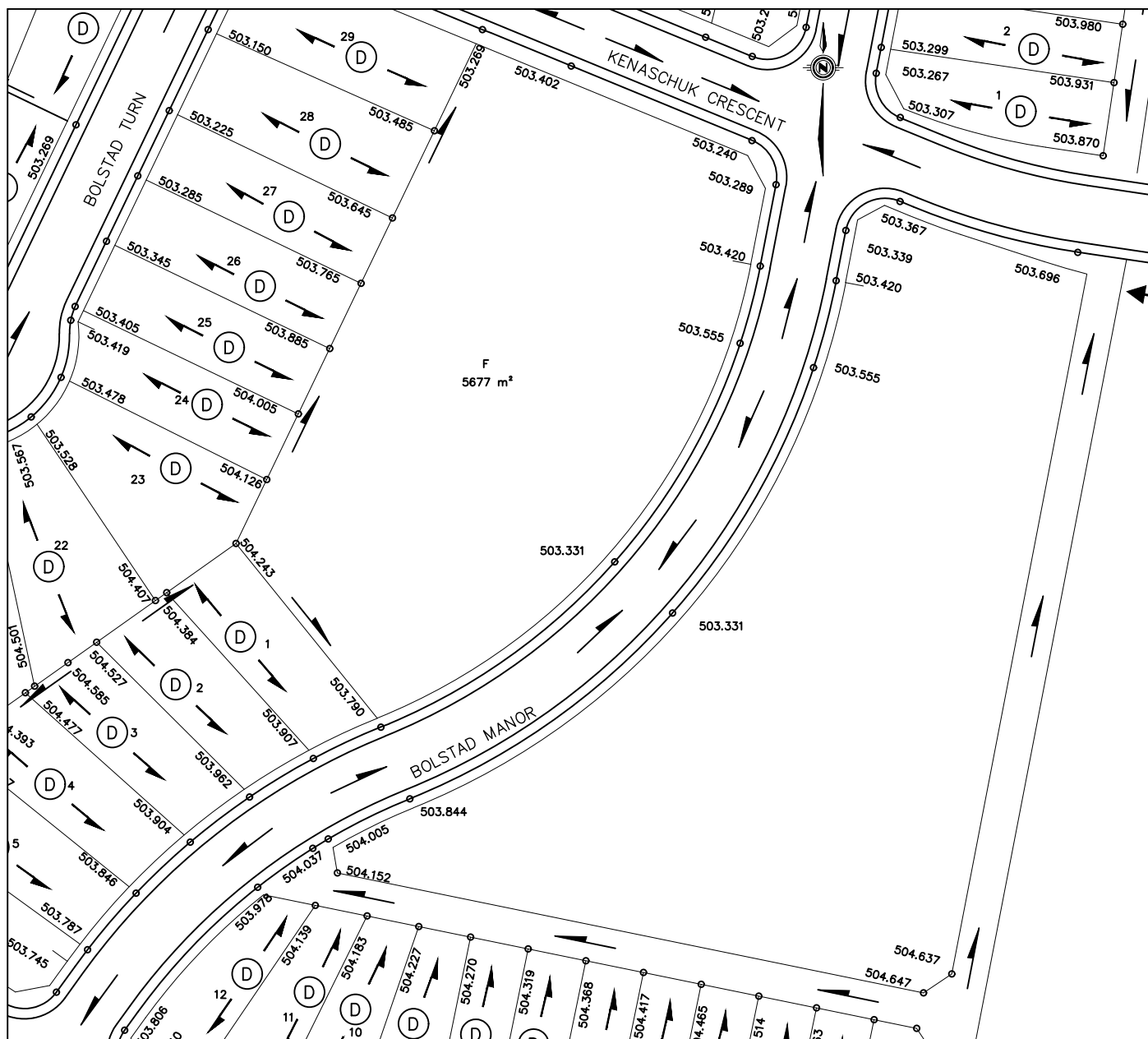
Transportation & Utilities Department

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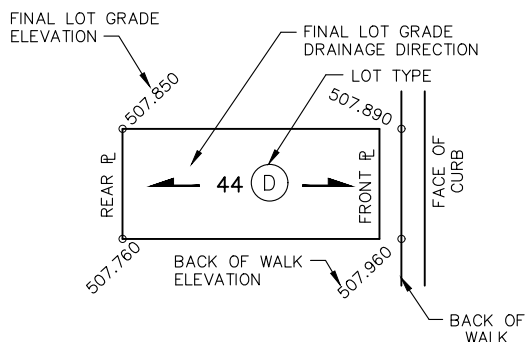
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APPROVAL DATE:

REVISION DATE:



LEGEND



NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

KENASCHUK CRESCENT, BOLSTAD TURN & MANOR

DRAWN BY JVS DATE 2016-JUN-20
 SCALE: 1:1000
 PLAN No.:
 PAGE: 8 OF 12



**City of
Saskatoon**

Transportation & Utilities Department

SOURCE DOCUMENT

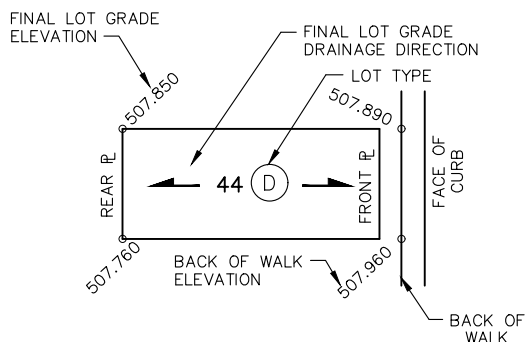
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APPROVAL DATE:

REVISION DATE:



LEGEND



NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

KENASCHUK CRESCENT & UNION, BOLSTAD TURN

DRAWN BY JVS DATE 2016-JUN-20

SCALE: 1:1000

PLAN No.:

PAGE: 4 OF 12



**City of
Saskatoon**

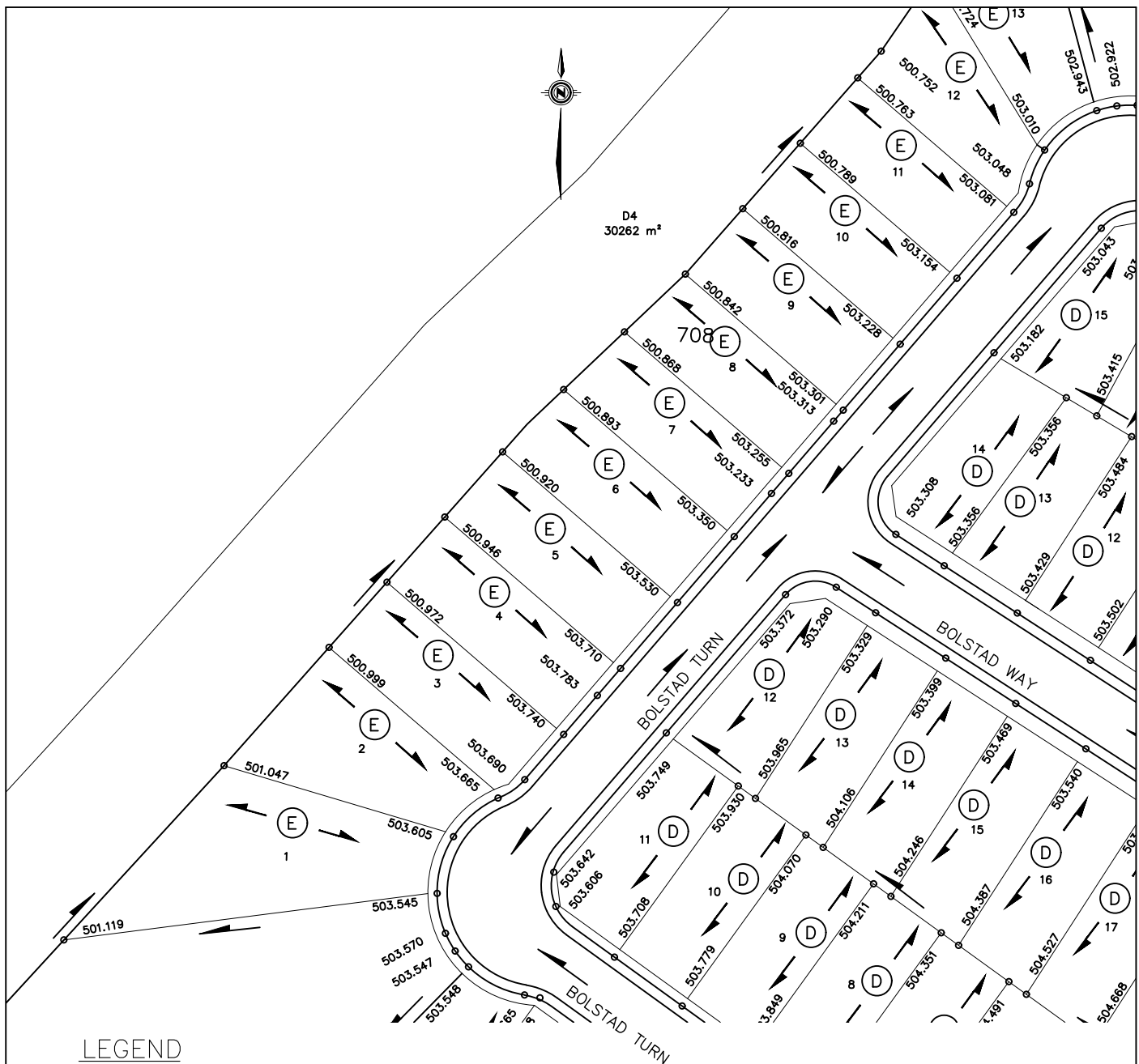
Transportation & Utilities Department

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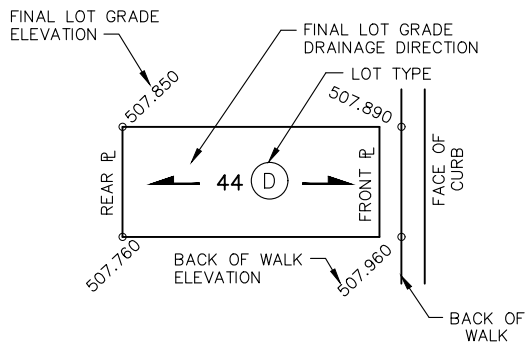
PLAN No.: 112-0087-004

APPROVAL DATE:

REVISION DATE:



LEGEND



NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

BOLSTAD TURN & BOLSTAD WAY

DRAWN BY JVS DATE 2016-JUN-20
 SCALE: 1:1000
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 PAGE: 6 OF 12



**City of
Saskatoon**

Transportation & Utilities Department

SOURCE DOCUMENT

PLAN No.: 112-0087-005 & 6

APPROVAL DATE:

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1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

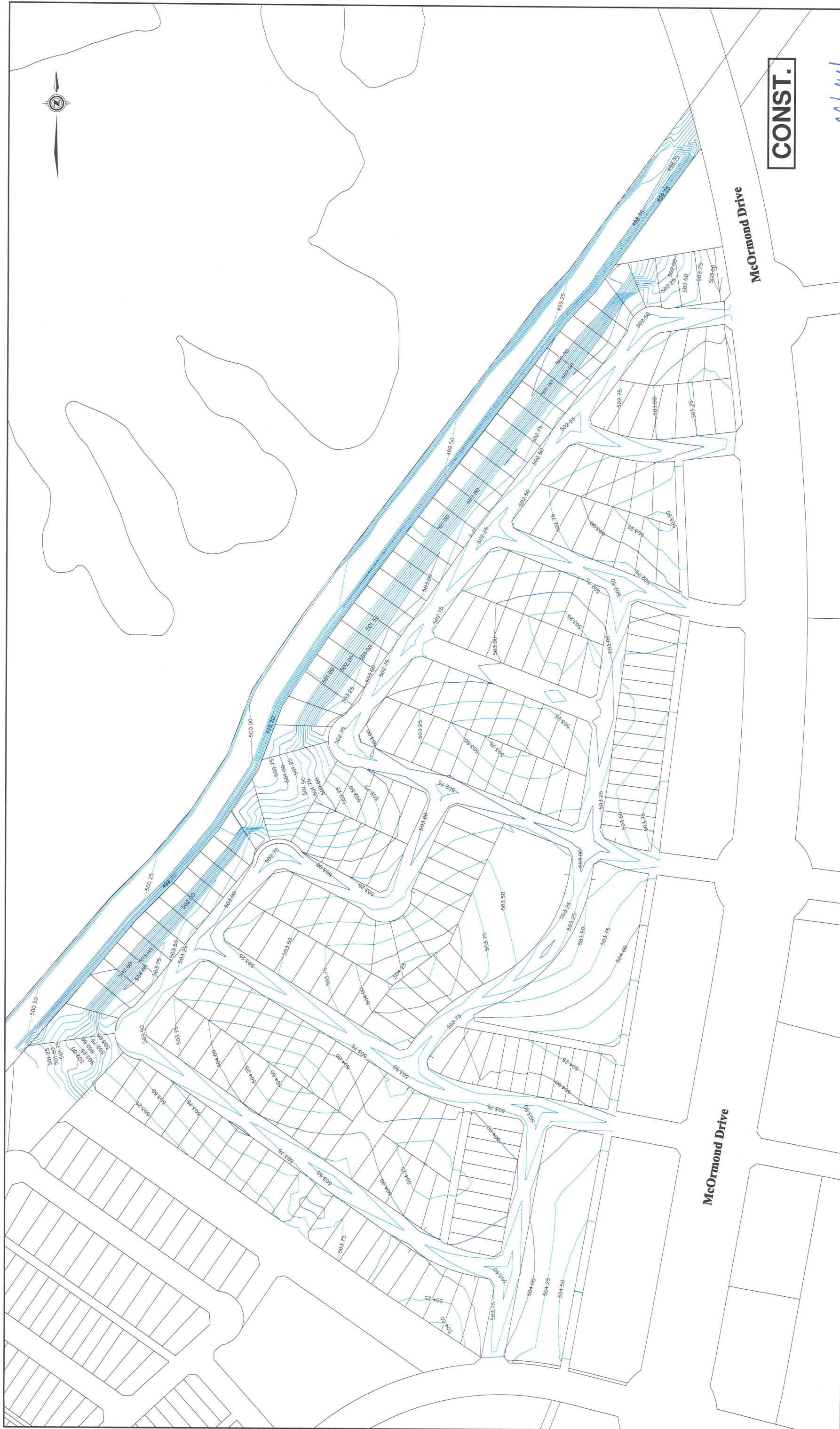
BOLSTAD TURN & BOLSTAD WAY

PAGE: 7 OF 12



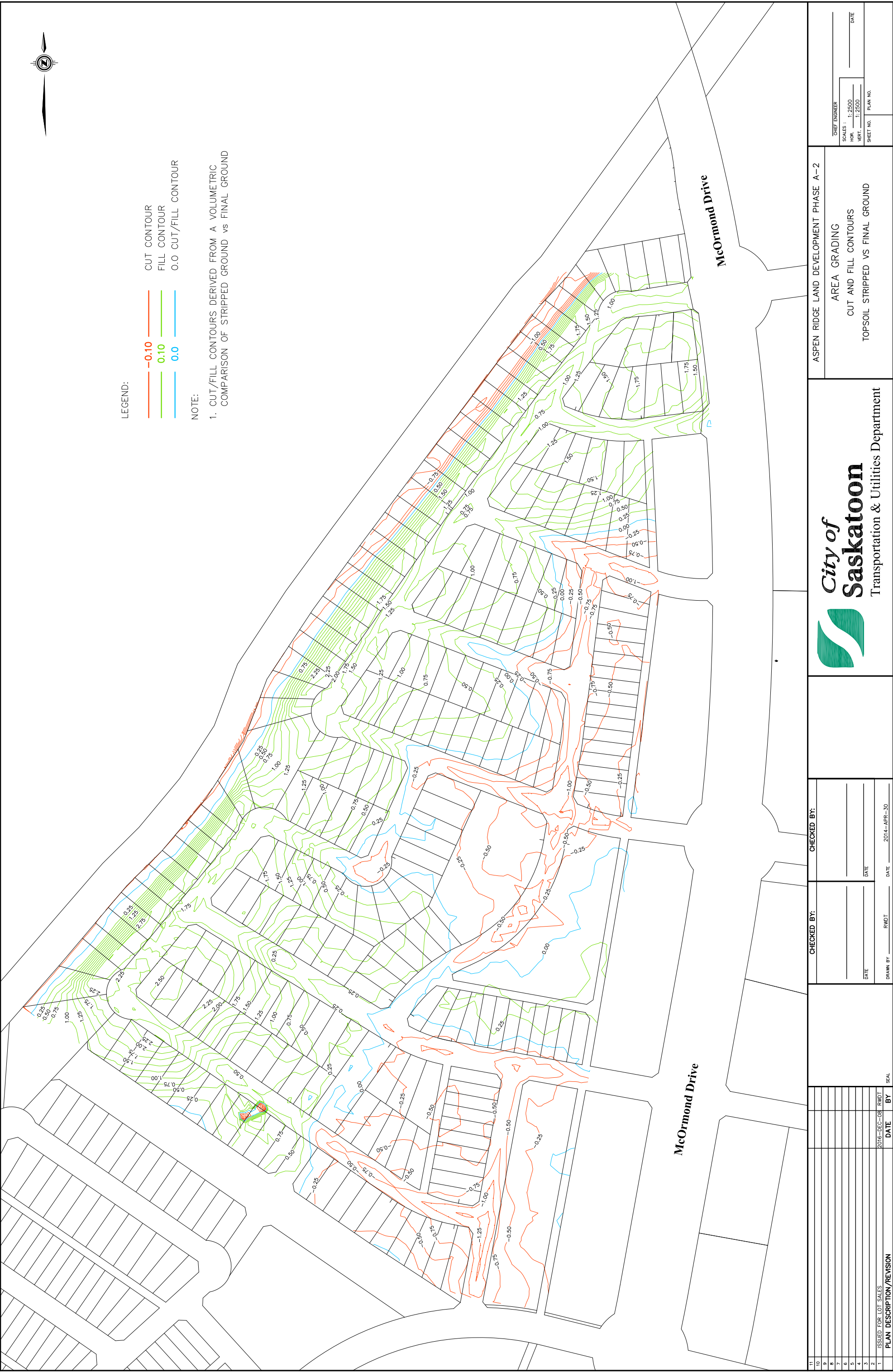
Transportation & Utilities Department

REVISION DATE:



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ISSUED FOR LOT SALES

PLAN DESCRIPTION/REVISION

2016-DEC-08

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BY

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DATE

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2014-APR-30

DATE

**City of Saskatoon**
Transportation & Utilities Department

ASPEN RIDGE LAND DEVELOPMENT PHASE A-2

AREA GRADING
CUT AND FILL CONTOURS
TOPSOIL STRIPPED VS FINAL GROUND

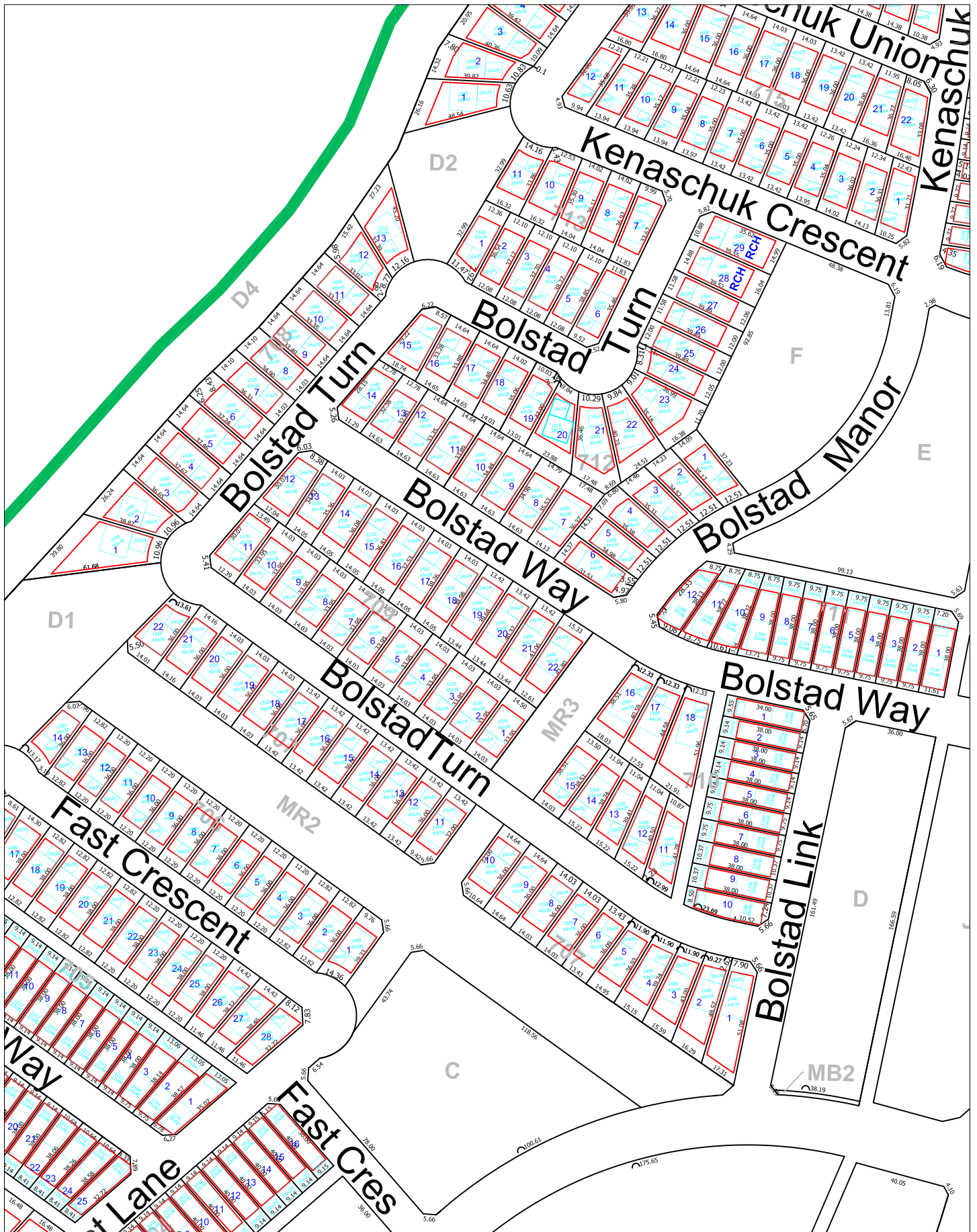
CHIEF ENGINEER

SCALES: HOR. 1:2500 VERT. 1:2500

SHEET NO. _____ PLAN NO. _____

DATE _____

Aspen Ridge - Phase 2 Footprints

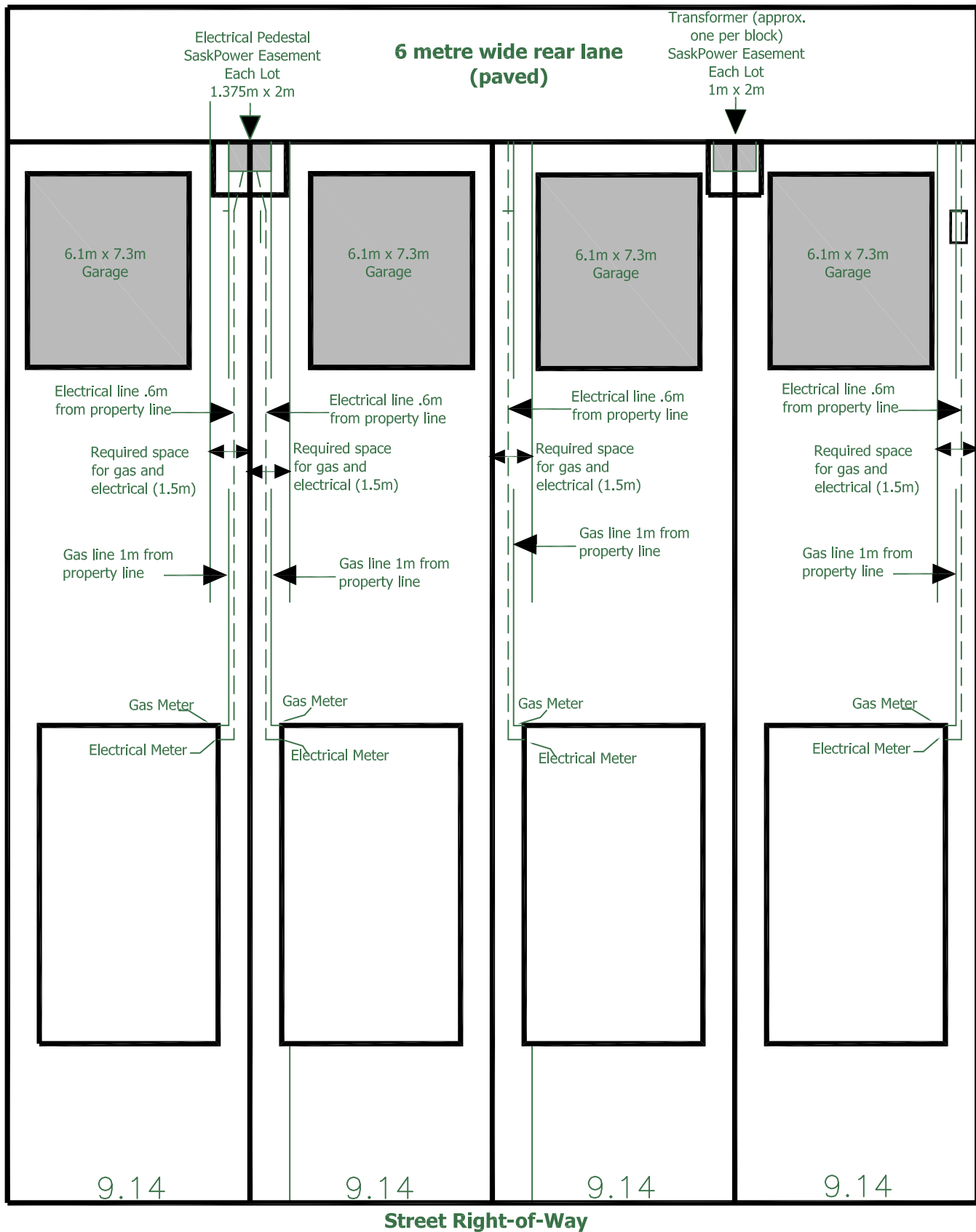


Zoning
 Footprint
 Housing Footprint



Saskatoon Land - January 2017

Note: Saskatoon Land does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Plan of Survey. This plan is not to scale. Distances are in metres unless shown otherwise. This is not a legal plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. For verification please check with the appropriate authority. Do not scale.



Servicing From Lane SaskPower and SaskEnergy Underground Lines

Notes:

- This drawing is intended as a guide only. For more accurate information please contact the respective utilities and the City of Saskatoon Building Standards Division.
- For the purpose of this illustration, each lot is shown as 9.14m wide and 40m deep.
- A garage, or other accessory building may not be built over the gas line or electrical service.
- Saskatoon Land takes no responsibility regarding the legality of the building layout on your lot.

Joint Servicing Initiative

January 2015



Background of the Joint Servicing Initiative

To support the thriving economy currently being experienced in Saskatchewan; SaskEnergy, SaskPower and SaskTel are working on refining and broadening the process of a “joint service installation” approach for urban residential home builders.

This process will provide a timely, cost-effective and coordinated service to home builders that includes the installation of gas, electric and communications in a common trench from the main line to the dwelling. This collaborative approach will achieve efficiencies for the installation of the urban service lines and address challenges associated with space constraints for new lots.



What You Need to Know About Joint Trench Lots





Joint Trench Lots are for shallow utility services in urban residential areas (single family homes) where the electric, gas, and communication lines are all installed in a common trench. Currently joint trench installation is only being done in Regina, Saskatoon, Warman, Martensville and Dalmeny.

If you have purchased a lot in any of these locations, a contract crew will be installing all shallow utilities in one trench from the main line at the back of the lot to the dwelling.

To prepare for the installation of your shallow utilities please refer to the Site Check Readiness list on the following page.



Index:

-  Background
-  Joint trench lots
-  Site Check Readiness
-  Procedures for applying for services

Site Check Readiness

To ensure installation of your service is completed when scheduled, your site must be ready for the crew on the date you indicate on the application (site ready date). Along with your application, please submit a plot plan for the address or addresses you are applying for.

Site readiness includes the following:

1. Provide a plot plan that indicates the location of the residence within the property.
2. House number must be visible from the street.
3. In order to secure the natural gas bracket, a 24" x 10" pressure treated board must be in place that does not contravene any natural gas codes.
4. You must maintain a .9 metre (3 ft) clearance around the natural gas service regulator with any exhaust vents, opening windows or doors. Please refer to your mechanical contractor for appropriate codes of other intake clearances.
5. The area around the house is backfilled and the lot is to within 150 mm (6") of finished grade. To ensure proper installation routing, customers are asked to ensure that property pins are in place and marked for easy locating by our field staff.
6. Utility access within the site must meet the following requirements:
 - i) Access is required for equipment to get into the yard(s) where the work needs to occur (trencher, mini hoe, etc.), clear of buildings, fences, decks, etc.
 - ii) A clear path is maintained for the trench route from the metering points to the takeoff points. The width needs to be enough to operate small trenchers and mini hoes at a minimum in ideal soil conditions, and larger equipment when frozen or rocky conditions exist. The trench is to be at least 0.6 metres (2 ft) off of the parallel property line (for fencing) and at least 0.6 metres (2 ft) wide to ensure separation of facilities in the trench. Further width is often required at surface to slope trench during installation for safe trenching rules. This will require approximately 2 metres (6.5 ft) clear access along the property line to the meter (electric and gas) boards to allow for construction of the facilities.
 - iii) Be aware that any pads or foundations near this route may slump with settling of the trench.
7. The trench is from the pedestal or pole to the meter location(s) (typically the closest corner from the pedestal or pole to the house). This service route must be clear of debris or obstructions, such as dirt piles and lumber.
 - i) SaskEnergy and SaskPower reserve the right to determine the meter location due to physical impediments that may restrict access for personnel and equipment. Alternate meter locations must be pre-approved prior to construction.
8. If separate trenches are utilized, the natural gas trench (SaskEnergy) must be at least 1 metre (3 ft) in distance from the SaskPower trench.
9. In instances where both gas, electric and communication cables are installed in the same trench (currently only in Regina, Saskatoon, Warman, Martensville and Dalmeny), you must leave a 1.2 metre (4 ft) corridor adjacent to the property line for utilities. If the minimum of 1.2 metres is not maintained, an encroachment over the gas service may occur and you will be responsible for reparation and subsequent cost.
10. Your electrician has attached an energization sticker on the meter socket indicating the service is ready for connection. The sticker ensures:
 - i) An electrical permit has been obtained
 - ii) The main panel is connected and in the open (off) position
 - iii) The service is grounded and ready to be connected to SaskPower's electrical system
11. To facilitate your service connection, please notify SaskPower once your electrician has affixed the energization sticker.





Urban Applications for Services

SaskEnergy and SaskPower have been working on a process to streamline our customers application experience. Beginning February 17, 2015, you will be able to make application for gas and electric urban services by utilizing either one of the Crowns' websites. The information will be shared between the two Crowns using a secure file transfer protocol.

We encourage you to make application via SaskPower's website rather than SaskEnergy's. This will enable the Crowns to eliminate some manual processes that would otherwise occur when applying via SaskEnergy's website.

When you know the date that your property will be ready for servicing, you can make application to either SaskEnergy or SaskPower by the following methods:

- If you use SaskEnergy's application, please apply online at saskenergy.com
- If you use SaskPowers application, please apply online to saskpower.com or call 1-888-SKPOWER (1-888-757-6937) and select Option 4.
- For your telephone and cable providers (SaskTel, Shaw or Access) the conduit will be installed in the joint trench along with SaskPower and SaskEnergy. It is the responsibility of the homeowner to apply for telephone and cable service to one of these providers.

Even though Joint Installation is only being offered in Saskatoon, Regina, Warman, Martensville, and Dalmeny all urban applications for service will be shared between the crowns.



Meewasin Northeast Swale

The Meewasin Northeast Swale is an ancient river channel formed by glacial activity that took place thousands of years ago. This remarkable feature runs adjacent to the South Saskatchewan River and is approximately 2800 hectares in size. The Swale is a grassland ecosystem of rare native prairie and wetland areas. It is an important wildlife corridor, with over 200 plant species and 180 bird species.

The Swale acts as a natural filter for both air and water and mitigates flooding in adjacent neighbourhoods. It promotes physical health and well-being, encourages community engagement and stewardship, and contributes to the vitality and productivity of the community.

The development of The Swale is a once-in-a-lifetime opportunity to enhance the legacy of our region by integrating this important natural system into the fabric of our city.

To help protect the Meewasin Northeast Swale (Swale), here are some important things to remember:

- **The Swale is a nocturnal preserve** - Light from adjacent neighbourhoods affects wildlife and plants in the Swale by altering their daily cycle of light and dark. Aspen Ridge neighbours can help keep the night sky dark by using Dark Sky Compliant lighting; such as downward facing outdoor lighting with cutoffs, no brighter than necessary, on a motion sensor, and turned off when not in use. Visit www.darksky.org for more information about Light Pollution and the Dark Skies Movement.
- **The Swale is home to abundant wildlife** - Many grassland birds, birds of prey (e.g. owls and hawks), waterfowl, deer, coyotes, frogs, snakes, badgers, ground squirrels, and a variety of other fascinating creatures live in the Swale. Please respect the wildlife and allow them a safe distance. Feeding wildlife can lead to dependence on handouts and nuisance animals. Keep garbage and compost in animal proof containers to discourage wildlife and neighbourhood pets.
- **The Swale is native prairie with many rare and unique plants** - Native prairie is highly susceptible to invasion from exotic plants that will outcompete for space and resources. Please consider planting native and non-invasive plants in your yard. Planting seed and fruit bearing shrubs can help to provide food and shelter for birds in your yard. See the Native Plant Society's document "Native Plant Material and Services Supplier List" for recommendations of sources for native plant please visit: http://www.npss.sk.ca/docs/2_pdf/Native_Plant_Source_List_2013_-_revised.pdf.
- **Chemicals have an impact on Swale flora and fauna** - Please consider the use of fertilizer, herbicides or pesticides cautiously and use environmentally friendly alternatives, when possible, to reduce impacts on the native vegetation, wildlife, and wetlands.
- **For Swale management, call Meewasin** - The native vegetation may look wild and unkempt at times, but even dead trees provide food and shelter for wildlife so please resist conducting any maintenance activities of your own in the Swale or Greenway. Contact Meewasin with any safety concerns regarding vegetation as they regularly conduct resource management activities on site to help keep the Swale healthy and rich with biodiversity.
- **Trails are designed to protect sensitive areas** - Please use only marked trails. These trails have been carefully planned to respect wildlife and sensitive areas. Avoid damaging vegetation and please do not pick wildflowers. Dogs must be on leash in the Recreation Zone and picked up after. There are no dogs allowed in the Ecological Core. Please help protect the rare and endangered species in the Swale.

Figure A-4. Conceptual Design

Meewasin Northeast Swale Master Plan

July 28, 2015

Contour Interval: 0.5 m

Scale: 1:7500

© 50 100 200 300m
2013 Aerial Imagery Courtesy of City of Saskatoon

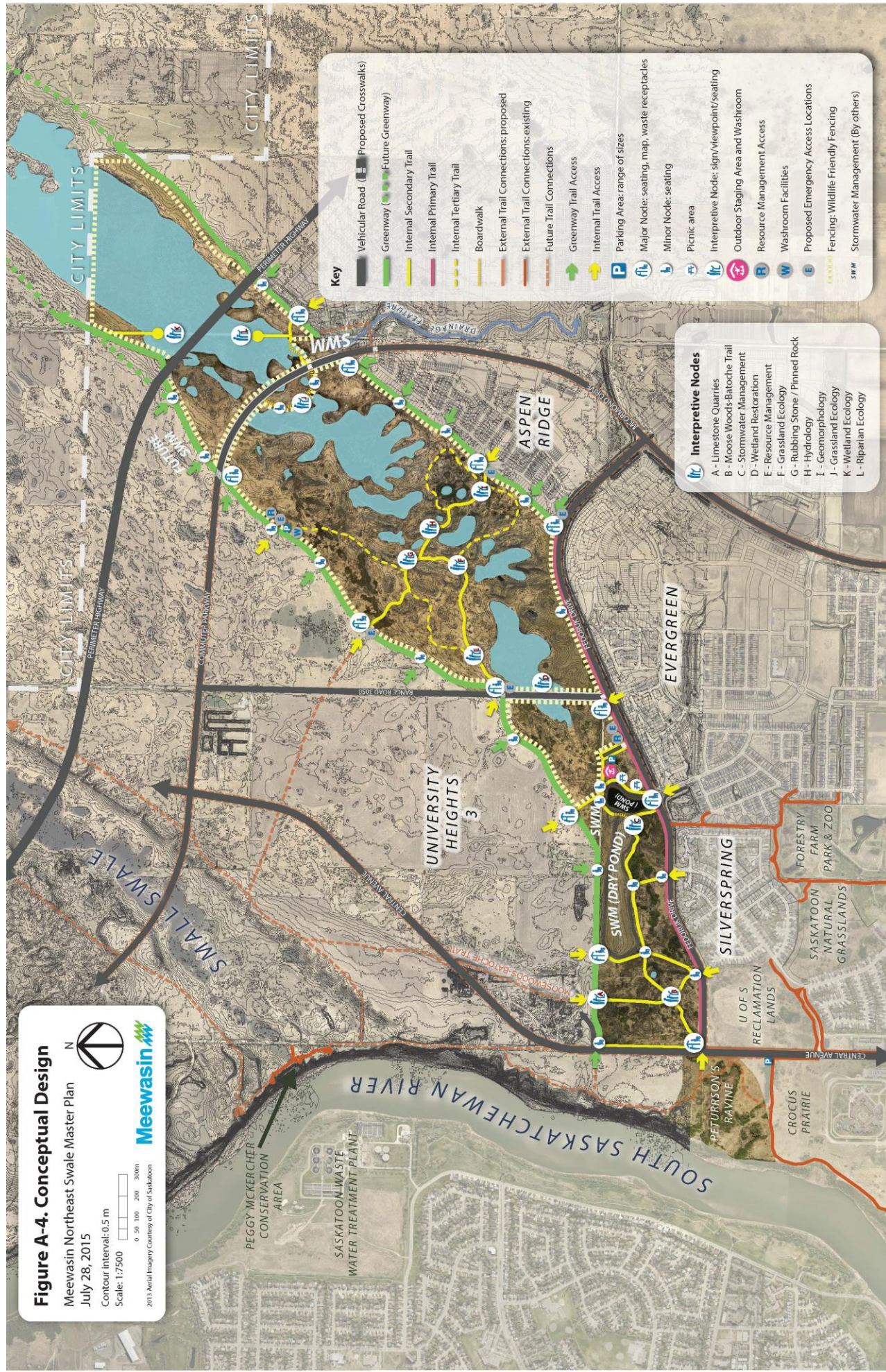
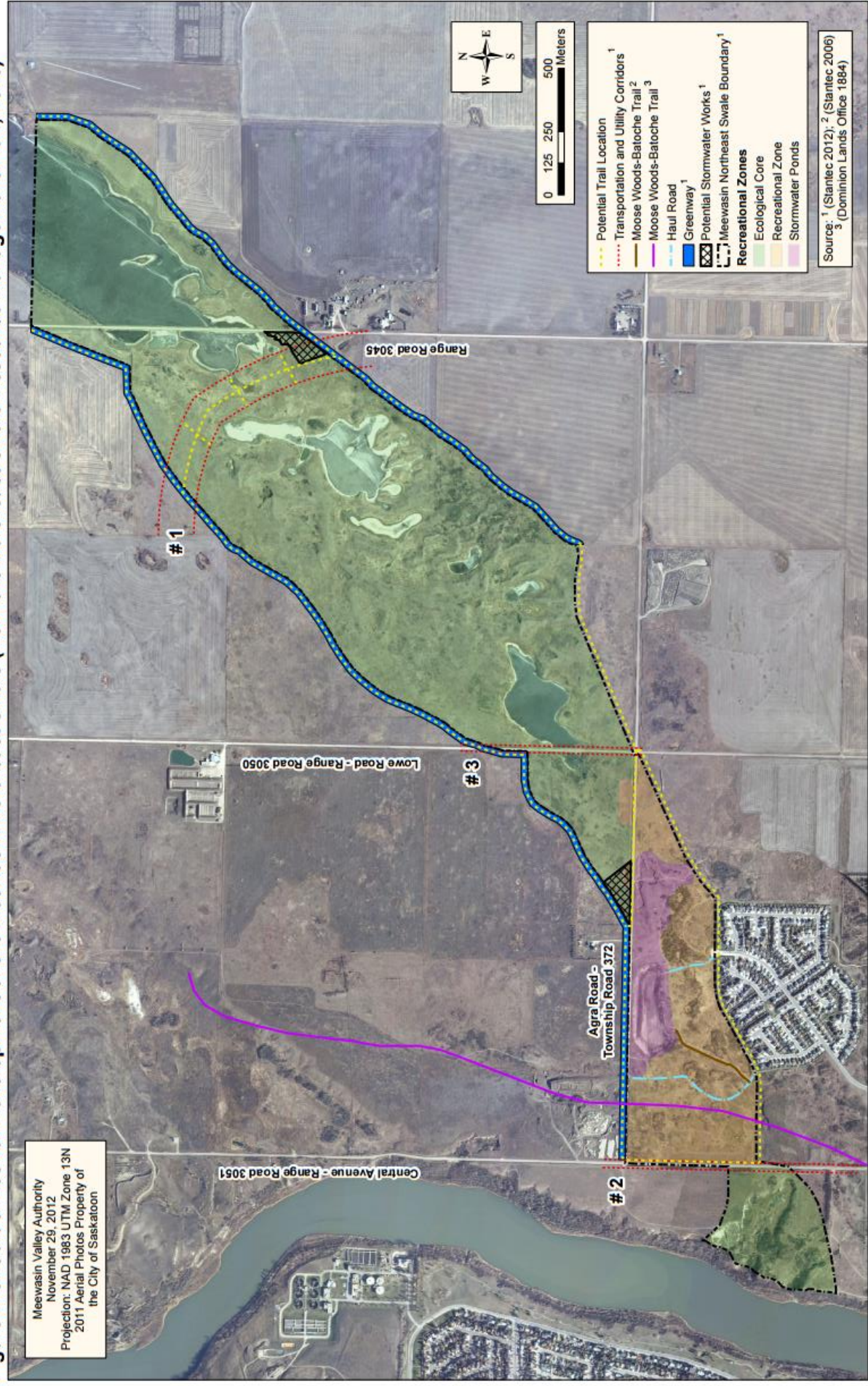


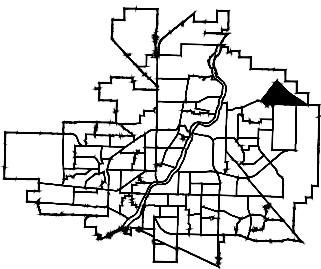
Figure A-8. Guidelines for Development of the Meewasin Northeast Swale (from the Northeast Swale Resource Management Plan, 2013)





Phase 2 - Lot Information Map

122 Lots - Bolstad Turn, Link, Manor & Way



Legend:

- Single Family
- Single Family No Roof Slope Requirement
- Residential Care Home
- Multi-Unit Parcels Low Density - RM1, RM2
- Multi-Unit Parcels Low/Medium Density - RMTN
- Multi-Unit Parcels Medium Density Multi-Unit - RMTN1
- Mixed Use Commercial
- Municipal Reserve Conceptual Park Design

- Easement 2m
- Easement 3m
- Easement 5m
- Lot Number
- Civic Address
- Transformer
- Service Pedestal
- Concrete Pad

- Light Standard
- Corner Garage Location
- Mail Boxes
- Utility Corridor
- Fire Hydrant
- Walkout Basement
- Decorative Fence
- Wildlife Fence

Temporary Water Circulator

City of Saskatoon

AF - Saskatoon Land - March 2017

Note: This map is conceptual and may change.

Note: The Saskatoon Land does not guarantee the accuracy of this plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. Park and buffer renderings are for illustrative purposes only and does not represent what will be constructed. To ensure accuracy, please refer to the Registered Plan of Survey. Distances are in meters unless shown otherwise. Do not scale.