

Aspen Ridge Phase 3 Architectural Controls



Aspen Ridge

Phase 3 Architectural Controls



ARCHITECTURAL CONTROLS

To enhance the street appeal of Aspen Ridge, Saskatoon Land has selected a variety of architectural controls aimed at creating an aesthetically pleasing streetscape and encouraging a variety of different exterior building materials.

The architectural controls selected by Saskatoon Land are an integral component in strengthening neighbourhood streetscapes and fostering diversity amongst housing choices, creating a warm and inviting environment.

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GENERAL DESIGN CONSIDERATIONS - ALL LOT TYPES

These controls are in addition to the controls for each lot type in the following sections. The requirements listed in each lot type section are an absolute minimum. Saskatoon Land reserves the right to require further architectural treatment to any facade in order to satisfy the intention of the Phase 3 architectural controls.

Massing and Relief

All building volumes must incorporate intermittent variances in plan and elevation to encourage shadow lines on facades and visible elevations which will enhance the streetscape by introducing interesting architecture. This includes all building elevations that are adjacent to or visible from public streets or open spaces.



Repetition

The same elevations should not be repeated on adjacent properties or directly across the street. For adjacent properties, a change in architectural detailing is required.

Examples of acceptable changes include, but are not limited to, the following: roof and dormer orientation and slope, front attached garage roof style or orientation, the size and location of windows and doors, colours and finish materials.



Front-Door Placement

It is strongly encouraged that the front door of a dwelling be highly visible on the front facade by directly facing the fronting street.

If the door does not face the street, architectural elements such as verandas, front-window enhancements, additional front materials or other architectural elements will be required to enhance the house entrance.



Depending on Saskatoon Land's evaluation of any submitted plans, especially those that satisfy only the "minimum" requirements of this document, Saskatoon Land may require architectural details such as the following:

- Accented wall build-outs or interruptions in wall planes.
- Window and door accents.
- Break-ups in roof massing or roof lines such as dormers or cross gables.
- Other accents or placement of material or colour.



ARCHITECTURAL CONTROLS BY LOT TYPE

Phase 3 of Aspen Ridge features three lot types: Standard Lot Attached Garage, Executive Walk-out Basement Lot Attached Garage and Laned Lots. The architectural controls for each type are noted below:

Standard Lot - Attached Garage

a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:

- i. 1,000 square feet in the case of a bungalow, bi-level or split-level dwelling; or
- ii. 1,200 square feet in the case of a two-storey dwelling.

b) All dwellings must be constructed with a minimum single-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 3.5 metres wide and 6.0 metres long.

c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch except when it can be demonstrated that a lesser sloped roof pitch is integral to any architectural style and consistent with the intent of strengthening the streetscape and harmonizing the interface between housing forms.

No roof pitch requirement exists for Lots 7 to 11, Block 713; Lots 1 to 22, Block 715; and Lots 1 to 9, Block 717.

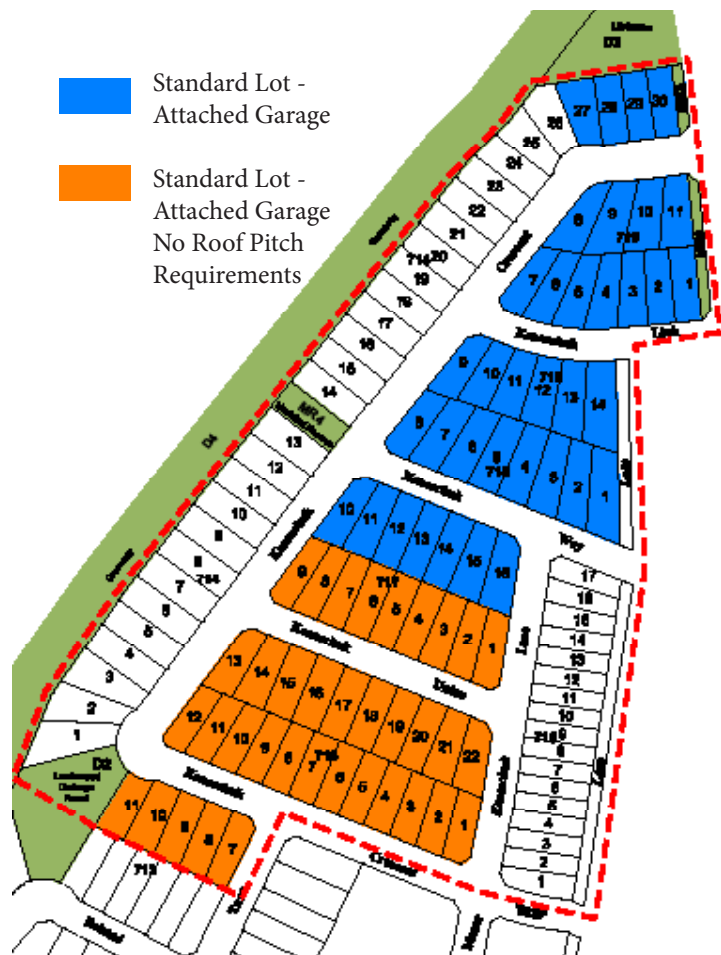
d) Attached garages shall not protrude more than 2.4 metres (8 feet) from the facade of any habitable floor area of the dwelling.

e) All attached garages require architecturally significant garage doors consistent with the architectural style of the dwelling. See page 11 for examples.

f) All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 50 square feet in area or a minimum of three exterior building materials with each material being no less than 25 square feet in area.

Standard Lot Attached Garage

- Lots 7 to 11, Block 713
- Lots 27 to 30, Block 714
- Lots 1 to 22, Block 715
- Lots 1 to 16, Block 717
- Lots 1 to 14, Block 718
- Lots 1 to 11, Block 719



Executive Walk-Out Basement
Lot - Attached Garage

- Lots 1 to 26, Block 714

d) Attached garages shall not protrude more than 2.4 metres (8 feet) from the facade of any habitable floor area of the dwelling.

- [illegible]

- g) All dwellings shall be constructed with direct access from the basement level to the backyard (walk-out units).



Laned Lots

a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:

- i. 1,000 square feet in the case of a bungalow or bi-level; or
- ii. 1,200 square feet in the case of a two-storey dwelling.

b) All dwelling units shall be bungalows, raised bungalows, bi-levels, or two-storeys. Split-level dwellings are not permitted.

c) All dwellings shall be constructed with an architecturally significant entry feature which may include a covered veranda, a covered entry feature or a modern contemporary interpretation of a pergola. In the event that columns are used, column styles should be consistent with the overall architectural style of the dwelling. Preferably 10 inches by 10 inches or greater. See page 13 for examples.

d) The roof of the principal dwelling shall have a minimum 6-in-12 pitch except when it can be demonstrated that a lesser sloped roof pitch is integral to any architectural style and consistent with the intent of strengthening the streetscape and harmonizing the interface between housing forms.

No roof pitch requirement exists for Lots 1 to 17, Block 716.

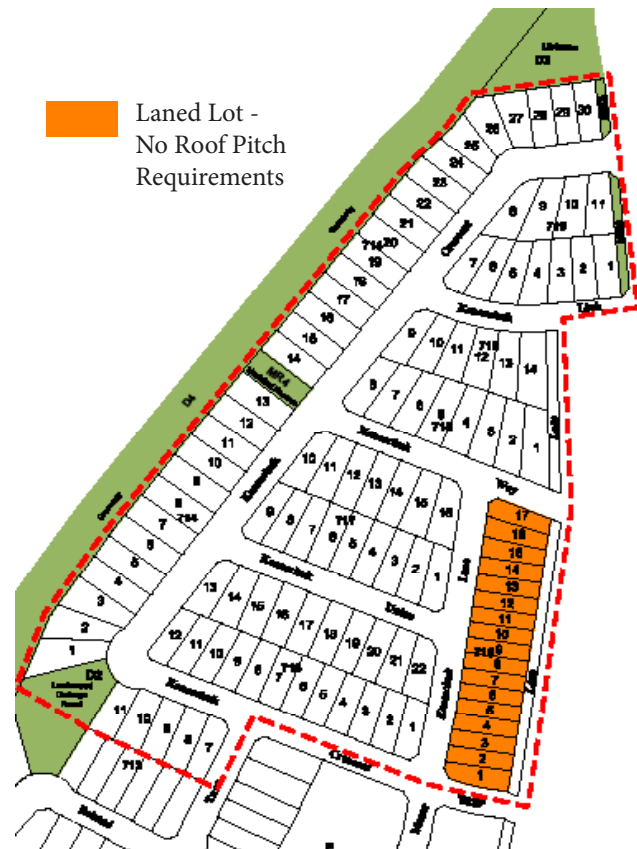
e) All dwellings must be constructed with a concrete garage pad with access from the rear lane only. The concrete garage pad must be constructed at the same time the dwelling is built with a minimum dimension of 6 metres in width and 6 metres in length. The concrete garage pad shall not be built on the rear easement and must include a paved apron that connects it to the rear property line. An attached rear garage shall include a paved driveway that connects it to the rear property line.

f) All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 50 square feet in area or a minimum of three exterior building materials with each material being no less than 25 square feet in area.

Please be advised that, as per the National Building Code (NBC), foundations for detached garages 55 square metres and larger must be designed by a design professional (engineer or architect) licensed to consult in the Province of Saskatchewan. The sealed design must be accompanied with a Letter of Commitment for field review.

Laned Lots

- Lots 1 to 17, Block 716





Highly Visible Lots - Building Elevations that are Street Flanking and Highly Visible from Open Space

These controls are in addition to the controls noted in the previous sections. The intention of these controls are to avoid the monotony and the perceived cheapness of large expanses of blank walls on side and rear facades that are highly visible from streets and open spaces. The lots that are relevant to these highly visible lot controls are identified in the map below. The requirements listed below are an absolute minimum. Saskatoon Land reserves the right to require further treatment to any facade in order to satisfy the intention of the Phase 3 Architectural Controls.

- Highly Visible Lots**
- Lots 1 and 11, Block 713
 - Lots 1 to 30, Block 714
 - Lots 1, 12, 13, & 22, Block 715
 - Lots 1 and 17, Block 716
 - Lots 1, 9, 10, & 16, Block 717
 - Lots 8 and 9, Block 718
 - Lots 7 and 8, Block 719

In addition to the front facade requirements, any building elevation which flanks a street or faces open space:

a) Requires a secondary exterior building material that covers no less than 1/3 (33%) of the elevation as defined as the total area of elevation from ground to under the eaves. For the purpose of this calculation, window and/or door areas shall be subtracted. A third material may also be used provided that the second and third materials, when combined, cover no less than 1/3 (33%) of the subject elevation. See page 9 for more information.

Horizontal banding of the base of the building is discouraged as landscaping tends to cover the material.

b) Requires a secondary exterior colour that covers no less than 1/3 (33%) of the elevation as defined as the total area of elevation from ground to under the eaves. For the purpose of this calculation, window and/or door areas shall be subtracted. A third colour may also be used provided that the second and third colours, when combined, cover no less than 1/3 (33%) of the subject elevation.

c) Requires the windows and/or doors to occupy no less than 5% of the elevation as defined as the total area of elevation from ground to under the eaves.

Depending on Saskatoon Land's evaluation of any submitted plans, especially those that satisfy only the "minimum" requirements of this document, Saskatoon Land may require more architectural details such as the following:

- Accented wall build-outs or other interruptions in wall planes.
- Window and door accents.
- Break-ups in roof massing or roof lines such as dormers or cross gables.
- Other accents or placement of material or colour.





HIGHLY VISIBLE LOTS - EXAMPLES



The area of the rear elevation (minus window area) totals 270 square feet. 90 square feet of stone has been provided, which satisfies the secondary material requirement. 140 square feet of window/door placement has also been provided, which satisfies the window and/or door placement requirement on highly visible lots.



The area of side wall (minus window area) totals 300 square feet. 100 square feet of stone has been provided, which satisfies the secondary material requirement. 40 square feet of window placement has also been provided, which satisfies the window and/or door requirement on highly visible lots.



EXTERIOR BUILDING MATERIAL REQUIREMENTS

Standard Attached-Garage Lots and Laned Lots

All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 50 square feet in area or a minimum of three exterior building materials with each material being no less than 25 square feet in area.

Executive Walk-out Basement Lots

All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 75 square feet in area or a minimum of three exterior building materials with each material being no less than 40 square feet in area. No vinyl siding is permitted on any Executive Walk-out building elevation.

Note: Material types and square footage must be clearly identified on the drawings submitted in support of your application. Failure to do so may result in delays to the approval of your application.

Front Elevation Material Calculations

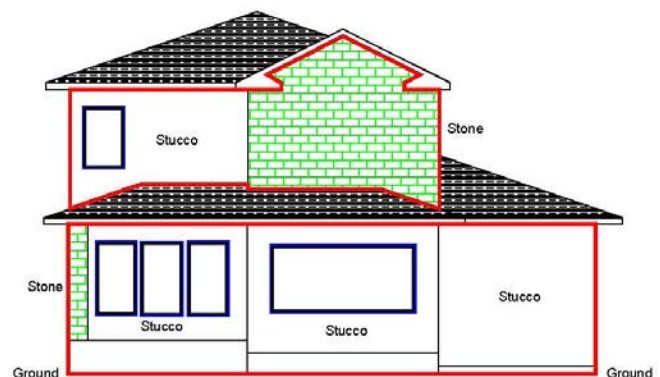


Three Materials Example:

- 1) Stucco
- 2) Stone Column = 10sqft
Stone Garage = 70sqft
- 3) Hardi Siding = 60sqft

The stone and Hardi siding exceed the minimum three material requirement of 25sqft (standard) and 40sqft (walk-out).

Highly Visible Lot Material Calculations



Red (elevation) = 130sqft (1st storey)
85sqft (2nd storey)
Blue (windows and doors) = 120sqft
Green (secondary material) = 126sqft provided

Secondary Material Required
215sqft (elevation) minus 120sqft (windows/doors) =
95sqft X 33% = 31sqft required

- Trim features and roof shingles will not be counted as a material. In order to be included towards the required material amount, the material must be visibly shown on the 2D elevation plan. Material wrapped around a column or architectural feature is encouraged to provide cleaner edges, but will not count towards the required material total for the elevation in review.
- The materials being used need to be distinctly different and discernible from each other. Contrast with the trim materials and exterior building materials being used is also encouraged.
- For the purpose of the material calculation, the total area of elevation is from the ground to under the eaves. Windows and/or doors shall be subtracted.



GARAGE PLACEMENT

For lots requiring an attached garage, a garage side location is determined on the Lot Information Map unless the lot is marked with a “C” for corner lot garage placement.

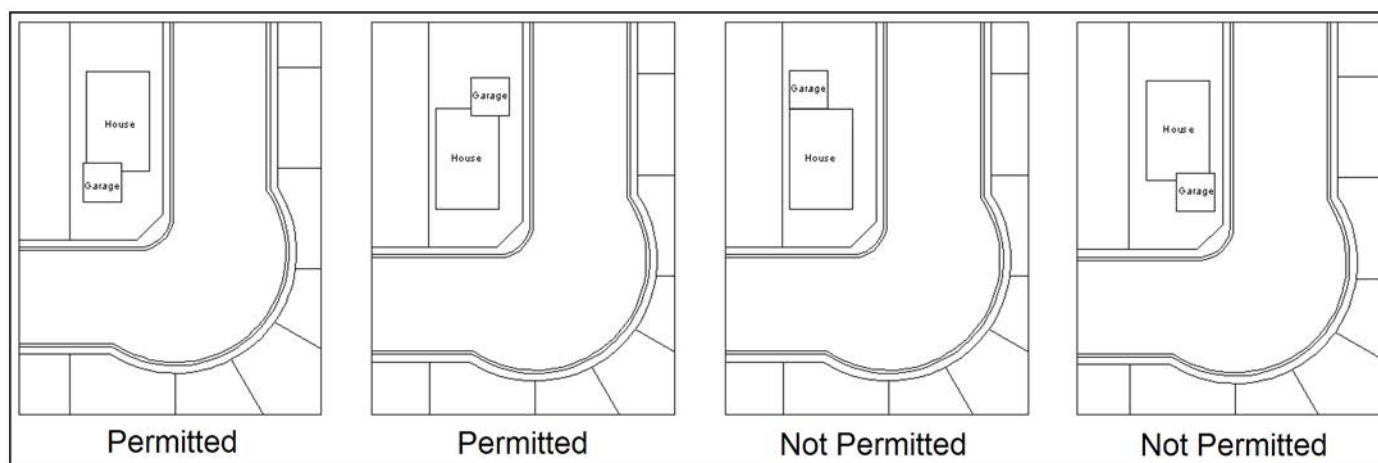
Garage sides on a given block are paired together against a common property line in order to provide a better streetscape appearance.

Corner Lots

For corner attached garage lots, the garage must be located as per the permitted garage sides as shown in Figure 1.

Figure 1 demonstrates the permitted options for the placement of an attached garage on a corner lot, attached to the front of the house furthest from the street corner or attached to the rear of the house closest to the side street.

Figure 1 - Corner Lot Garage Placement



Builders should check curb design, street light pole locations, utility pedestal locations, and mailbox locations, prior to placing the garage on the side.





ARCHITECTURALLY SIGNIFICANT GARAGE DOORS

The street appeal of a home contributes to the general appeal of any residential area. Garage doors make up a significant portion of the facade of any attached garage home. Any home with a front or rear attached garage requires garage door styles that complement the home's exterior. The garage door must include some architectural elements. Examples of garage door types, design elements and corresponding architectural styles are as follows:

- Minimum of three windows in each door;
- Decorative pane glass;
- Wide trim pieces;
- Natural woods; and
- Aluminum and glass.

Garage door supplier and model information must be submitted along with your application. Please include photos or brochures to help explain the garage door design.

Hardware and handles can be used on garage doors but are not counted towards the garage door architectural elements.

Permitted Garage Doors



Garage Doors with wide trim the same colour as the door is permitted.



Not Permitted Garage Doors



Garage Doors with no architectural elements are not permitted.



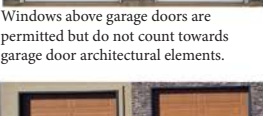
Windows above garage doors are permitted but do not count towards garage door architectural elements.



Coloured garage doors are permitted but still need architectural elements.



Flush Garage Doors with minimum architectural elements are not permitted.



Garage doors that look like wood but are not wood are not permitted without other architectural elements.



Garage doors with random window spacings are not permitted.



ATTACHED GARAGE INTEGRATION

For lots which require an attached garage, the attached garage shall not protrude more than 2.4 metres (8 feet) from the facade of any habitable floor area of the dwelling.

Examples showing acceptable garage projections are illustrated below.



The attached garage projects less than 2.4 metres from the front living room of the dwelling.



The attached garage projects 2.4 metres from the second storey of the dwelling.



The attached garage projects 2.4 metres from the front office/den of the dwelling.



The attached garage projects 2.4 metres from the second-storey bonus room.



The attached garage projects less than 2.4 metres from the front living room of the dwelling.



The attached garage projects 2.0 metres from the second storey of the dwelling.



COLUMNS & ENTRY FEATURES

For lots which require an architecturally significant entry feature, features should be consistent with the overall architectural style of the dwelling.

This may include the use of covered verandas, modern contemporary interpretations of pergolas or covered entry features.

In the event that columns are used, column styles should be consistent with the overall architectural style of the dwelling. This might include the use of wide-based, tapered columns with stone detailing at the column base for craftsman style homes, cedar clad columns for modern contemporary style homes, or columns with masonry cladding along the full length of the column for traditional style homes.



Modern interpretation of a pergola entry.



Covered entry feature with supporting column. Preferred 10"x10" columns or greater.



Covered entry feature with supporting column.



Covered veranda with substantial columns.



Wide-based, tapered columns with stone detailing. Preferred tapered columns with 12"x12" base and 8"x8" top.



Wide-based columns with stone detailing. Preferred 10"x10" columns or greater.



STAIRS AND ENTRY FEATURES

All lots that have raised entries and verandas must enclose the stairs on all sides and the veranda must be skirted or enclosed.

Using steel risers on stairs is permitted as long as the steel is not visible and encased by wood.





ROOF PITCH

The roof of the principal dwelling shall have a minimum 6-in-12 pitch except in instances where it can be demonstrated that a lesser sloped pitch contributes towards a consistent architectural style or enhanced level of street appeal.

Approval of roof pitches less than 6-in-12 will be at the discretion of Saskatoon Land. Some examples that outline the acceptable use of roof pitches less than 6-in-12 are identified below.



The use of a low-pitched gabled roof for a craftsman style home.



The use of a flat roof or low-sloped roof in a modern contemporary style home.



The use of a low-pitched hip roof with wide overhanging eaves in a prairie style home.



PLAN APPROVAL PROCESS

Saskatoon Land's approval of building plans is required prior to the submission of a building permit application. Builders are encouraged to meet with Saskatoon Land during the design stage to avoid potential delays.

The following information must be submitted to Saskatoon Land prior to the submission of a Building Permit Application:

- Completed Application Form with garage door image or brochure for attached garages;
- One hard or digital copy of the working drawings, including site plan, floor plan, and building elevations. All exterior building materials and square footage must be identified on the elevation plans.

To avoid delays, application forms and building plans should be submitted to Saskatoon Land well in advance of applying for a building permit. Incomplete submissions will be held until the complete application is submitted. Plans will be reviewed for adherence to the architectural controls and Saskatoon Land may contact the applicant to discuss any required revisions. Plans which do not meet all the Architectural Controls will be reviewed by Saskatoon Land's Design Review Committee (DRC). The DRC's decision is final and any revisions will be required to be made before approval.

Upon approval of the drawing set, Saskatoon Land will issue an approval letter to the applicant. Following this, builders may apply for their respective building permit. At the building permit stage, Saskatoon Land may review the building permit drawings again to ensure they are substantially consistent with the plans submitted during the review process.

Periodically, Saskatoon Land will inspect the project to ensure it is in substantial accordance with the approved plans. Builders/homeowners will be responsible for correcting any deficiencies to building elevations which deviate from the approved plans.

ARCHITECTURAL REVIEW FORM

saskatoon land



201 3rd Ave N, Saskatoon, SK S7K 2H7

Tel. 306 975 3278



land@saskatoon.ca

saskatoonland.ca



CONTACT INFORMATION



APPLICABILITY

Approval of this form is required prior to Building Permit submission in Saskatoon Land's development areas in the following neighbourhoods:

ASPEN RIDGE
EVERGREEN
KENSINGTON
PARKRIDGE



BUILDER _____

CONTACT PERSON _____

TELEPHONE _____

EMAIL _____

DRAFTSPERSON _____

EMAIL
(IF APPLICABLE)

LOT DETAILS

LOT _____ BLOCK _____

PLAN NO. _____

CIVIC _____
ADDRESS

HOUSE SIZE & FORM

SQ. FT. (ABOVE GRADE) _____
excluding garage area, attached decks, patios

HOUSE TYPE _____
(i.e. two-storey, bungalow, bi-level)



ATTACHED GARAGE _____
interior dimensions



DETACHED GARAGE _____
pad dimensions



PRIMARY ROOF SLOPE _____



GARAGE SIDE _____
viewed when facing the home from the street

For all lots which require an attached garage in Aspen Ridge and in select areas of Evergreen and Kensington, attached garages shall not protrude more than 2.4 metres (8 ft.) from the facade of any habitable floor area of the dwelling. If applicable, is the habitable floor area of the dwelling 2.4 metres (8 ft) or less from the front of the garage? _____
(yes/no)

FRONT ELEVATION EXTERIOR MATERIALS

	MATERIAL TYPE	MANUFACTURER	SURFACE AREA (SQ.FT)	COLOUR
EXTERIOR MATERIAL 1	_____	_____	_____	_____
EXTERIOR MATERIAL 2	_____	_____	_____	_____
EXTERIOR MATERIAL 3 (if applicable)	_____	_____	_____	_____

Roof Shingles, door and window trim are not considered materials.

ARCHITECTURAL REVIEW FORM - PAGE 2

saskatoon land

HIGHLY VISIBLE LOTS

APPLICABILITY

This section applies to side and rear elevations which are adjacent to the street or public space. Completion of this section is not required for Evergreen lots.

<input type="radio"/>	SIDE ELEVATION SURFACE AREA (SQ.FT.)	_____	
<input type="radio"/>	SIDE ELEVATION MATERIAL 1	_____	AREA (SQ.FT.) _____
<input type="radio"/>	SIDE ELEVATION MATERIAL 2	_____	AREA (SQ.FT.) _____
<input type="radio"/>	SIDE ELEVATION WINDOW/DOOR AREA (SQ.FT.)	_____	
<input type="radio"/>	*REAR ELEVATION MATERIAL 1	_____	AREA (SQ.FT.) _____
<input type="radio"/>	*REAR ELEVATION MATERIAL 2	_____	AREA (SQ.FT.) _____

* Required only for Aspen Ridge park/swale backing lots.

GARAGE DOOR INFORMATION

APPLICABILITY

This section applies only to attached garage lots in Aspen Ridge and Kensington's Bentley Manor Crastman area.

<input type="radio"/>	GARAGE DOOR PRODUCT NAME	_____
<input type="radio"/>	GARAGE DOOR MANUFACTURER	_____
<input type="radio"/>	GARAGE DOOR COLOUR	_____

Please also include photos or scanned brochures to help explain the garage door design.

REVIEW & APPROVAL



Saskatoon Land's approval of this form is required prior to the submission of any Building Permit Application. The approved Architectural Review Form must be submitted in conjunction with your Building Permit Application to the Building Standards Division. Failure to submit the form or submission of an incomplete form may delay the issuance of your Building Permit.

Interpretation and application of Saskatoon Land's architectural controls are at the sole discretion of Saskatoon Land. Failure to comply with these controls may result in removal from Saskatoon Land's Eligible Contractor List.



Saskatoon Land to complete this area:

APPROVED BY _____

Date _____