

# ASPEN RIDGE



## Aspen Ridge Phase 3 Lot Information

115 lots in the City's newest neighbourhood in the popular University Heights Sector, including walk-outs, which back onto the Northeast Swale, which is one of the largest pieces of unbroken prairie in the Saskatoon Region.



*City of*  
**Saskatoon**  
Saskatoon Land



March 22, 2019

City of Saskatoon  
Construction and Design Division  
Construction & Design Division  
222 3rd Avenue North  
Saskatoon, SK S7K 0J5

Attn: Matt Jurkiewicz

Dear Matt,

Re: Summary Letters for Aspen Ridge Kenaschuk Subdivision and B1/B2 Subdivisions

This letter is in reply to your request for an official response regarding the subject summary letters provided by your contract engineering firm, Stantec Inc. The summary letters were prepared following the investigation into and remediation of the water distribution infrastructure affected by a hydrocarbon-based contaminant. Water Security Agency (WSA) representatives attended several interim presentations by the contract engineers during the investigation and have reviewed the summary letters provided.

Based on the information provided by the contract engineering firm to the City and WSA, we do not see any items of concern regarding the water quality testing and remediation work that was undertaken in the affected areas. Previous discussions among the City, Stantec, and WSA resulted in an agreement to have additional, confirmatory sampling conducted once the ground starts to thaw (April, hopefully). To date, the water quality results and the photographic evidence showing the appearance of the remediated pipe appear acceptable; all the water quality data show that the water being distributed through the affected underground mains meets or exceeds the Canadian Drinking Water standards. Therefore, WSA accepts the City of Saskatoon's contract engineering firm's recommendations, including the recommendation that the water carried by the affected infrastructure is safe for human consumptive purposes.

March 22, 2019

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The summary letter reports noted that if any unexpected results are returned following future sampling, the WSA will revisit this matter and advise the City of further actions and requirements. We appreciate the City's commitment to protecting public health, demonstrated by the cooperation provided throughout this upset condition.

If you have any further questions or concerns, please do not hesitate to contact the undersigned at (306) 946-3233.

Sincerely,

A handwritten signature in black ink, appearing to read 'Gary Papic', with a stylized flourish at the end.

Gary Papic, A.Sc.T.  
Senior Environmental Project Officer  
Water Security Agency

cc. Barry Wright, Manager, North Unit  
Dr. Simon Kapaj, SHA - Saskatoon  
Brent Latimer, SHA -Saskatoon  
Patrick Boyle, Communications Manager

## Terms of Sale

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### **Eligible Contractors**

#### **Down Payment**

At the time of lot selection, an Agreement for Sale will be entered into with a minimum down payment required of 13 percent of the total price (GST to be self-assessed). Eligible Contractors will be given 5 business days after lot selection to pay the deposit and have the Agreement for Sale signed if lot draw appointment cannot be attended. However, if the lot draw appointment is attended, the deposit shall be paid and Agreement for Sale signed at that time. Failure to meet this requirement will result in a loss of the sale, the lot will be returned to Saskatoon Land's inventory and a \$500 admin fee will be charged.

### **Resale of Lot**

Lots are **not** to be resold. Builders are purchasing City lots to construct homes for potential homebuyers. If a lot is no longer required, please review the Cancellation Policy on Page 3 of this document. Assignments may be permitted with approval by Saskatoon Land.

### **Individuals**

#### **Down Payment**

At the time of lot selection, an Agreement for Sale will be entered into with a minimum down payment required of 13 percent of the total price of the lot plus GST on the price of the lot (less the \$3,000 deposit during lot draw process).

### **Residency Requirement**

Lots purchased have a four-year residency requirement. The four-year period begins the same day Title is transferred into the purchaser(s) name. The original purchaser(s) name must remain on Title to maintain the four-year requirement.

### **Forgivable Mortgage**

A Forgivable Mortgage for \$50,000, related to the build time and residency requirements held by the City of Saskatoon, will be registered against each lot sold to an Individual. Should the dwelling be completed within the required three years from the date of possession, the mortgage will be forgiven on a monthly basis over the final three years of the four-year residency period starting from the day Title is transferred into the individual purchaser(s) name.

### **General Terms of Sale**

#### **Interest**

Saskatoon Land is offering competitive payment terms for this phase. Specific terms applicable to these lots include:



- A minimum down payment of 13% of the purchase price together with all applicable taxes is required at the time of possession
- full payment of the lot is due within 12 months of the parcel being under an agreement for sale with interest at 0% per annum
- after 12 months, upon request, an extension may be granted with a payment of 5% of the purchase price to extend an additional 4 months at an interest rate of 5% per annum
- no further extensions will be granted after 16 months

**Possession of Land**

All 115 lots will be sold with immediate possession.

**Build-Time Requirement**

All lots purchased have a three-year time requirement to complete construction. Construction may begin once possession of the lot is granted, utility servicing is complete and the roadways are at gravel base. The build requirement will commence from the date of possession. Construction includes a build substantially complete and ready for occupancy within the three-year time frame; if it is not met, no forgiveness of the mortgage will be granted. Contractors not meeting this requirement will be suspended from the Eligible Contractors list.

**Taxes**

Property taxes become the responsibility of the purchaser(s) effective the first of the month following the latter of the date of the Agreement for Sale or possession date on lots waiting for service completion. For an estimate of the taxes on the land only, please call the Assessment Division at 306-975-3227.

**Transfer of Title**

The Transfer of Title will be issued in one of the following ways:

- under the appropriate trust conditions, the Transfer will be forwarded to the purchaser's solicitor; or
- upon receipt of payment in full, the Transfer will be forwarded to the purchaser's solicitor.

**Default or Voluntary Cancellation**

An Agreement for Sale is defaulted when any of the terms are not met within the time of the agreement. In the event of cancellation or default, a \$500 processing fee is charged plus a restocking fee for the time the purchaser has held the lot. The restocking fee is one percent of the purchase price of the lot plus GST, multiplied by the number of months (no charge for first 30 days) which have elapsed between the date of the Agreement of Sale and the date of the Quit Claim. The restocking fee is deducted from monies paid (i.e. down payment) and any remaining portion is refunded. Voluntary cancellation cannot occur once construction has begun or Title has been transferred into the purchaser(s) name.

### **Architectural Controls**

Once a lot is purchased, you will be provided with the *Aspen Ridge Phase 3 Architectural Controls* and the *Architectural Review Form* in the technical appendix.

**Building Plans must be submitted and approved by Saskatoon Land prior to applying for a Building Permit.** Upon approval, Saskatoon Land will provide a letter of approval, sign the *Aspen Ridge Architectural Review Form*, and stamp the Building Plans. All these documents need to be submitted to the Building Standards Division as part of the Building Permit package. Complete information and approval by Saskatoon Land before applying for a Building Permit will ensure no delays in the Building Permit Process.

Please be advised that if the dwelling is constructed in violation of the Architectural Controls as approved and initialed in the Agreement for Sale, the City may take legal action to require compliance. Issuance of a Building Permit will not absolve the Purchaser from meeting this requirement. Such action could result in the demolition or partial demolition of the building at the expense of the Purchaser.

### **Zoning**

If you require more information on zoning, please visit ([www.saskatoon.ca](http://www.saskatoon.ca)) and search zoning bylaw, or contact the Planning and Development Division at 306-975-2645.

The lots within this phase of Aspen Ridge are zoned R1A and R1B Districts. Please consult the City's Zoning Bylaw for the development standards of these two districts.

## **Aspen Ridge Natural Features**

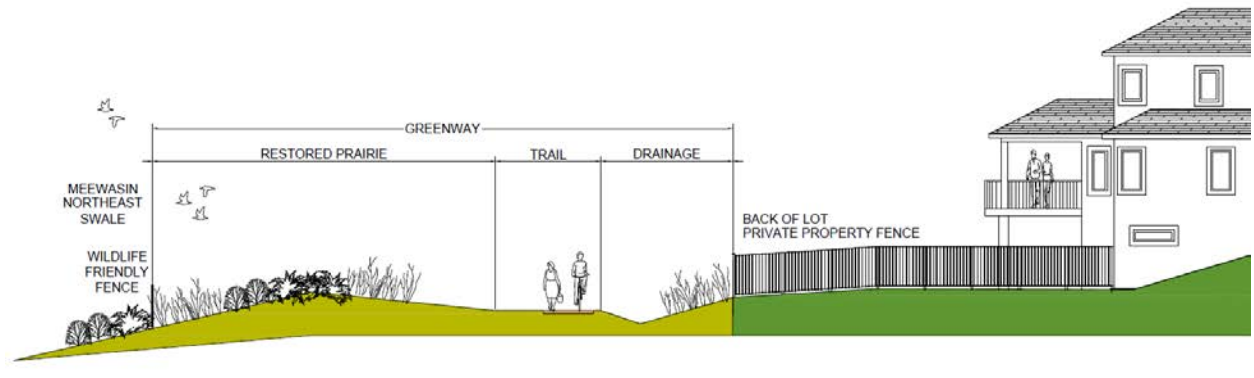
### **Northeast Swale**

The Northeast Swale is an ancient river channel formed by glacial activity that took place thousands of years ago. The Swale provides the rare opportunity of building a neighbourhood that borders on a natural, greenspace that will be protected for generations to come. This allows you to plan the construction of your new home around some of the best natural views in the City. In order to ensure this amenity is conserved for you and your neighbours, it is important to be mindful of the swale through the construction and occupancy of your new home. To help with this, the Meewasin Valley Authority has provided an educational summary on the Swale. See Attachment 6-8 in the Technical Appendix for more information on the Swale and some things to consider when constructing your home.

### **The Greenway**

The Greenway is a transitional zone between the back of lots in Aspen Ridge and the Northeast Swale, meant to help ensure neighbouring development is compatible with the desire to conserve the Swale. It provides a buffer between the neighbourhood and the Swale, while also providing space to accommodate overland

drainage, and a recreational trail. The trail in the Greenway will link future neighbourhoods and provide access to the Meewasin Valley Authority's planned trails and interpretive areas within the Swale.



**FIGURE 2: THE GREENWAY – CONCEPTUAL LAYOUT**

All technical information is available in the Technical Appendix which is available at [www.saskatoonland.ca](http://www.saskatoonland.ca). It is the builders' responsibility to comply with any and all requirements that are outlined in the Technical Appendix.

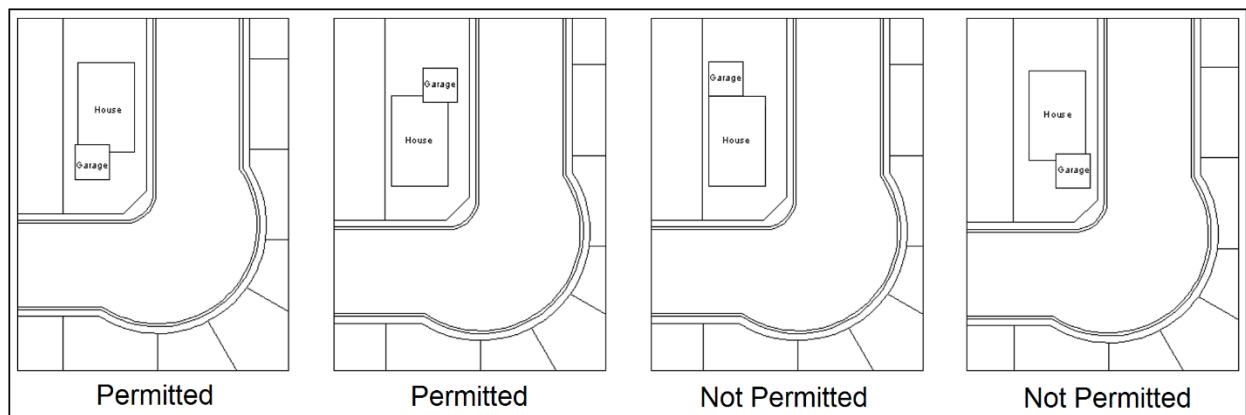
## General Information

### Attached Garage Placement

For lots that require the construction of an attached garage, a garage side is assigned. The garage must be constructed against the required side of the lot as assigned. The intent of this control is to pair garages together against a common property line in order to provide a better streetscape appearance. The garage side placements are shown on the attached Phase 3 Lot Information Map and will be included in the Agreement for Sale.

### Corner Garage Placement

All corner lots that require an attached garage have the following in the Agreement for Sale: *The garage must be located on the side of the property that is furthest from the intersection.* See Figure 1 below.



**FIGURE 1: CORNER LOT PERMITTED GARAGE PLACEMENT**

### Architectural Controls

The Architectural Controls for Aspen Ridge Phase 3 can be found at [www.saskatoonland.ca](http://www.saskatoonland.ca). **Building Plans showing compliance with the Architectural Controls must be submitted and approved by Saskatoon Land prior to applying for a Building Permit.** Upon approval, Saskatoon Land will provide a letter of approval, sign the *Aspen Ridge Architectural Review Form*, and stamp the Building Plans. All these forms need to be submitted to the Building Standards Division as part of the Building Permit package. Complete information and approval by Saskatoon Land before applying for a Building Permit will ensure no Architectural Control delays in the Building Permit Process.

Please be advised that if the dwelling is constructed in violation of the Architectural Controls as approved and initialled in the Agreement for Sale, the City may take



legal action to require compliance. Issuance of a Building Permit will not absolve the Purchaser from meeting this requirement. Such action could result in the demolition or partial demolition of the building at the expense of the Purchaser.

### **Nearby Multi-Unit Sites**

Low Density: Parcel F, on Bolstad Manor

Medium Density: Parcel E, on Bolstad Manor

Medium Density: Parcel G, on McOrmond Drive

Medium Density: Parcel H, on McOrmond Drive

Medium Density: Parcel I, on McOrmond Drive

These sites will be subject to the Architectural Controls contained in the *Architectural Controls for Multiple-Unit Dwelling Districts* document which can be viewed on our website ([www.saskatoonland.ca](http://www.saskatoonland.ca)), click on “Residential” > “Multi-Family” > and then “Architectural Controls for Multi-Unit Dwelling Districts”.

### **Residential Care Homes – Type II, Pre-Schools & Discretionary Child Care Centres**

Sites within the Aspen Ridge neighbourhood have been pre-designated for development as Residential Care Homes – Type II, Pre-Schools, and Child Care Centres. A Residential Care Home –Type II is a care home in which the number of residents under care is more than five, and no more than fifteen. A Discretionary Child Care Centre is a child care facility having more than eight resident and non-resident children. The locations of sites for these uses have been spread throughout the neighbourhood and among various phases of development. In general, these locations are adjacent to collector streets on corner lots in order to provide access to transit service, and to mitigate any potential parking conflicts. **Residential Care Home lots near Phase 3 are located at 754 and 758 Bolstad Turn.**

## **Lot Grading**

Lot grading is the slope of the lot in order to provide good drainage away from the buildings in such a way that surface runoff from rainstorms or snowmelt is directed toward the storm sewer. Runoff is controlled through the use of side and back of lot swales to eliminate or minimize the impact on adjacent properties and to ensure proper overland drainage.

Complete development of all lots in an area may occur over a number of years and, unfortunately, some homeowners landscape their lot without proper consideration for the designated overland drainage pattern of the area. Early development does not preclude a homeowner’s responsibility to maintain this drainage pattern. If a homeowner

obstructs drainage in any way, thereby creating a flooding problem for neighbours upstream, that homeowner must correct the situation at their own expense. Similarly, a lot should not be landscaped below design grades otherwise flooding may occur.

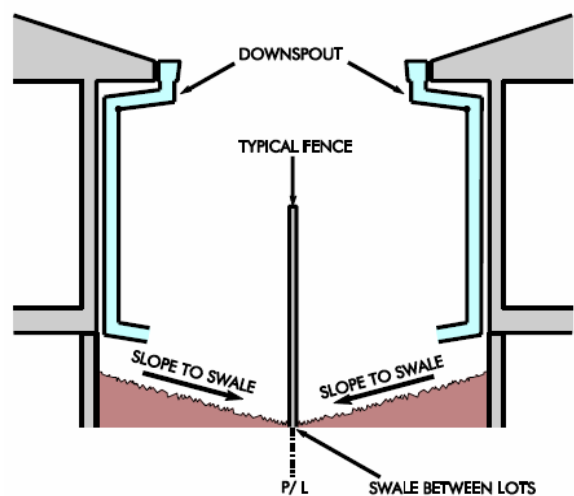
### Lot Grade Details

The following information has been prepared to assist the homeowner and contractor in setting the house elevations and final lot grades. Lot grade details are shown on Attachment 12 in this package:

- a) Lot grading types on Attachment 12 – show types E-D, D, and C-D, including a three-dimensional view and side view of the grading type;
- b) Lot grade drawings on Attachment 12 – show the final design elevations at property corners and at other points that are deemed critical elevation points. It is important that builders and homeowners match these grades with final landscaping elevations. These elevations are required as a minimum for building plan approval; and
- c) A drawing showing a cross section of a typical side yard fence and side yard grading that will not impede side yard drainage.

During the initial stages of subdivision development, all streets, easements, lanes, and walkways are pre-graded to design elevations set to accommodate drainage throughout the area. In the case of the utility easements, the grade is constructed approximately 100mm (4 inches) below the final design grade, which allows the homeowner to add topsoil without creating drainage problems for neighbouring yards.

Once house construction is complete, lot grading is a two-step procedure. The first step is the rough grade stage, which includes backfilling the foundation walls and shaping the lot to conform to the pre-grade drainage plan. When rough grading is complete, the lot should be within 7 to 20cm (3 to 8 inches) below the final design grade to allow for the addition of topsoil (4 to 6 inches). Once the lot is at the final design grade, topsoil and sod, decorative rock, wood chips, or other surface treatments can be installed. **It is strongly recommended that homeowners consult a legal surveyor or other qualified professional to get the final grade elevations to their lot before landscaping is started.**



**FIGURE 2: GRADING**

### **Grading Between Lots**

A sloped surface is required to effectively drain water away from the foundation walls, including under steps and decks in order to reduce the risk of water entering the basement during rainfalls or snowmelt. See Figure 2. Drainage swales are shallow sloped channels intended to move surface runoff away from lots toward the storm sewers. On Attachment 12, drainage swales are shown on common property lines and should be graded in accordance with the Lot Grade Drawings.

If decorative rock or wood chips are to be used in the drainage swale the grade below this treatment must be at the final grade elevation to facilitate proper runoff to the storm sewer.

### **Lot Grading Do's & Don'ts**

#### **Do's:**

1. Do require construction plans to include finished grade elevations around the house foundation and along property lines. **Do not leave your house and site grading to chance.** Building Standards requires the submission of the lot corner elevations on the site plan submitted for building permit approval. It is strongly recommended that the plans also include finished elevations along the foundation and garage grade beam, garage slab, foundation windows, side property lines, edge of driveways and sidewalks (particularly along the side of the house), and the top and bottom of any retaining feature.
2. Do use a level to set the finished grades along the property line, particularly before installing sidewalks and fencing.
3. Do discuss with adjacent property owners' final drainage grades along the property line. Proper lot drainage requires cooperation of adjacent homeowners.
4. Do undertake a final site inspection of easements, side yard and sidewalks with each sub-trade prior to releasing final payment.
5. **Please disregard any grade elevation information displayed on electrical pedestals and transformer boxes.**

#### **Don'ts:**

1. Don't excavate into the easement or berm. These contain critical utilities vital to the neighbourhood.
2. Don't fill the rear easement, as this will block the intended drainage.

3. Don't build raised flowerbeds against the fence/property lines without making provisions for drainage (see Attachment 12).
4. Don't try to build HIGHER than both adjacent neighbours. This leads to expensive provisions for retaining walls, and frequent flooding of neighbouring properties.

For more information, please contact Gerald Prefontaine, Drainage Inspector, Community Standards, Community Services at 306-975-2320.

### **Lot Grading – Walkout Basement Lots (Kenaschuk Crescent)**

Some of the lots in this development area have been graded to accommodate the inclusion of a walkout basement into the design of the home. Walkout basement lots are noted with a “W” on the Phase 3 Lot Information Map (Attachment 1). While the “W” lots will accommodate walkout basements, other lots will not. Between walkout basement lots and non-walkout basement lots there are transitional lot areas where the back lot grades slope increases successively on each lot until walkout basements can be accommodated. The grading design for this area is shown on Attachment 13. It is very important to review these plans to determine how your lot has been designed to slope. If there are any questions about this information, they should be directed to Saskatoon Land at 306-975-3278. The Lot Grade Drawings on Attachment 12 also provide important information indicating the specific final design elevations that must be maintained at property corners along the front and rear property lines.

Lots identified on the sales map as Walkout Basement Lots (“W”) must be constructed on these lots. Lots not identified with the “W” may not support walkout basements.

It is strongly recommended that all homeowners discuss their Building and Landscaping plans with their neighbours to ensure that the grades between the houses will meet both of the neighbours needs. Retaining walls or other means may be necessary if one neighbour intends to build a walkout lot in an area where the grades transition from walkout to conventional. Saskatoon Land will not be responsible for the cost of retaining walls or other associated work to accommodate grade variance along property boundaries from their current design shown on Attachment 13 - Design Contour Plan. The intent is that all areas have been graded approximately 100mm (4 inches) below final grade and that no additional grading would be required along the side and rear property lines.



## Foundation Drainage

### 1. Foundation Drainage (Weeping Tile) Requirements

- a. The bottom of every exterior foundation wall shall be drained as per the National Building Code.
- b. Connection of foundation drains of all buildings to the sanitary sewer collection system will not be permitted.

### 2. Discharge of Foundation Drainage Water

- a. All buildings are required to drain foundation water into a sump, which in turn discharges the water to the surface or to a storm sewer.

### 3. Surface Discharge

- a. Sump pumps discharging to surface may not discharge directly onto a pervious ground surface within one metre of any building that has a basement or a level below the finished ground surface.
- b. The location of the point of discharge shall be directed away from adjacent properties.
- c. If the lot is split drainage (Type D), surface discharge may drain either to the front or back yard. If the lot drains from the back to the front (Type A), surface discharge must be to front yard.
- d. The discharge may not be into the area of the required side yard setback unless the side yard is adjacent to a street, park or buffer strip.

### 4. Discharge to Storm Sewer

- a. Sumps discharging to storm sewers shall be pumped to the main by a pressure service connection as per Figure 3 (Page 8) Sump with Pumped Discharge to Storm Sewer.

### 5. Sump Design Criteria – Sump Pit Details

- a. As per National Building Code 9.14.5.2, sump pits are to be a minimum of 750mm deep and 0.25 square metres in area.
- b. Sump pit is to be fitted with a tight fitting removable cover.
- c. Sump pit will be constructed of concrete, plastic, or non-corrosive metal.
- d. Sump pit is to be fitted with an opening to accept a 100mm drain with the invert of the pipe located above centre of the sump pit height.
- e. Sump pit is to be placed on an even, well compacted surface.

### 6. Foundation Drainage (Weeping Tile) to Sump Pit

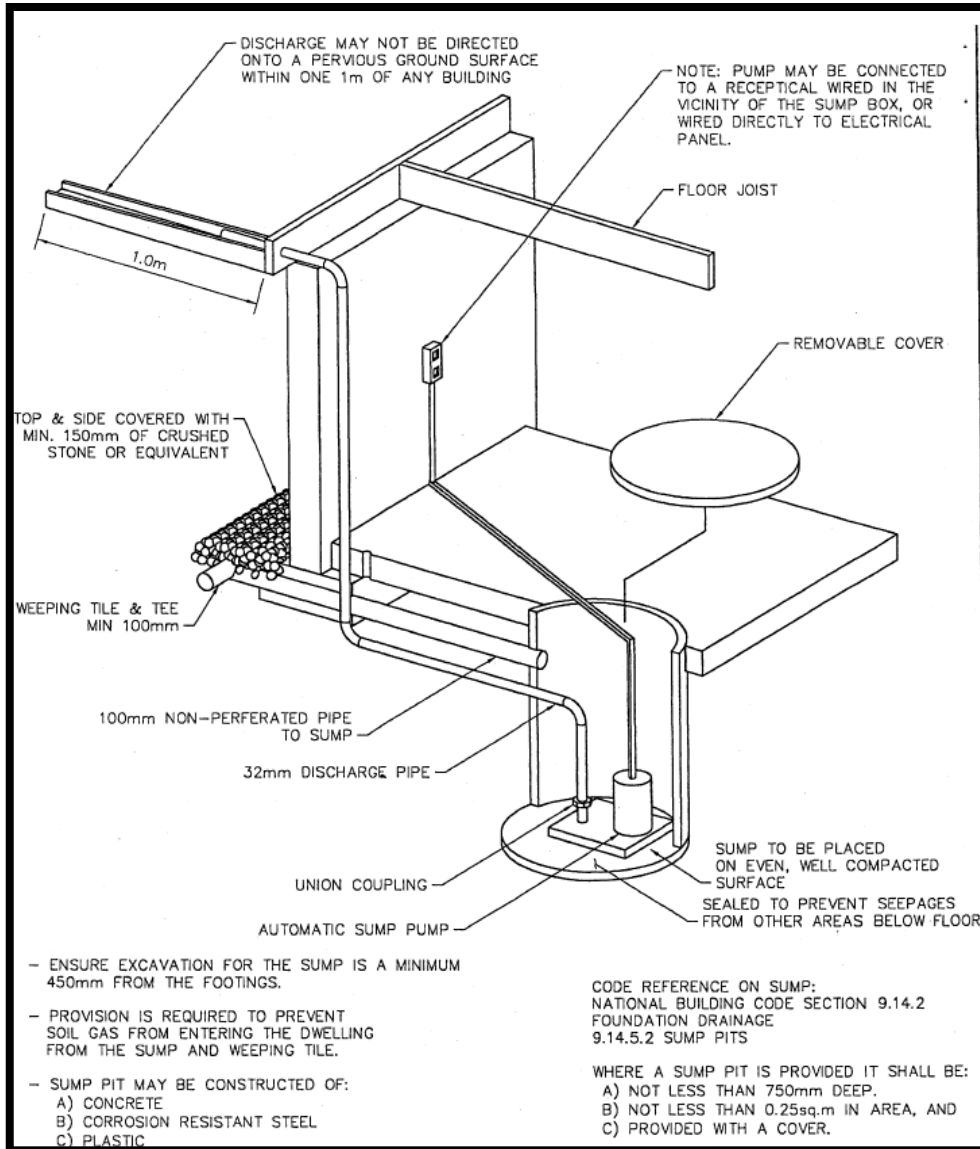
- a. A weeping tile collection system shall be provided around the building perimeter and tied to a sump pit using a positively graded, non-perforated, 100mm pipe which discharges into the side of the pit.

- 
- b. Provision shall be made to ensure soil gas is prevented from entering the dwelling unit through the weeping tile and through the sump pit.

**7. Sump Pump**

- a. Provide a sump pump (column of submersible type) capable of pumping 50 L/m at three metres of head.
- b. The pump shall be fitted with an automatic on/off level control.
- c. The pump discharge must have a minimum pipe diameter of 32mm. The pipe must be adequately secured.
- d. Sump pumps connected directly to a storm sewer must be equipped with a spring-check valve and shut-off valve located downstream of the check valve, so that the connection to the main can be isolated from maintenance.

## SUMP WITH PUMPED DISCHARGE TO SURFACE



## SUMP WITH PUMPED DISCHARGE TO STORM SEWER

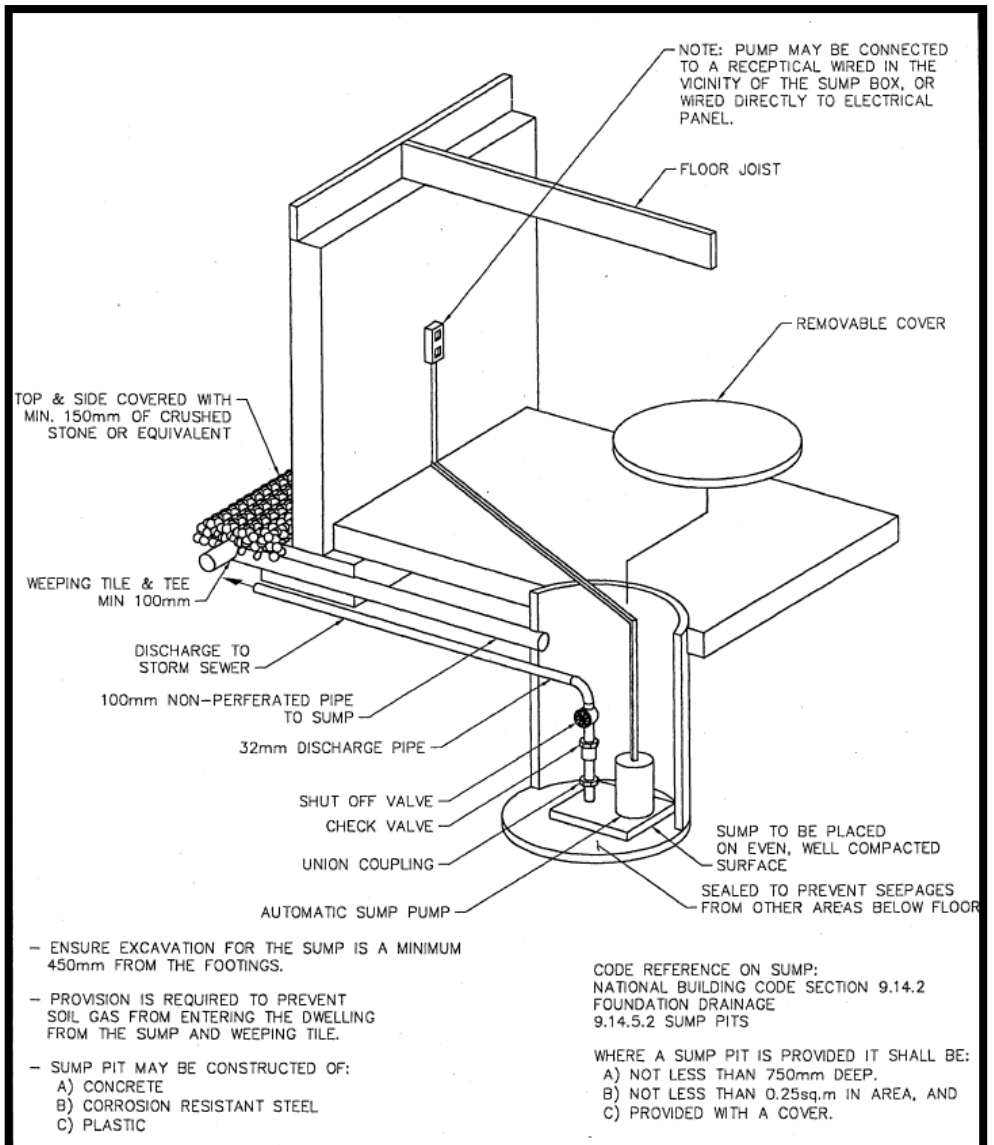


FIGURE 3: SUMP DESIGN

## Fencing

### Decorative Aluminum Fence:

1) A decorative aluminum fence will be placed in the rear yard of:

- Lots 1 to 30, Block 714, Plan No. 102207912

Please be advised that these lots with decorative aluminum fencing backing the Greenway will not have gates installed. Private gates are discouraged. Public access to the Greenway should be by park access only.

2) A decorative aluminum fence without gate will be placed on the side yard of:

- Lot 11, Block 713, Plan No. 102207912

3) A masonry fence will be placed in the side yard of:

- Lot 30, Block 714, Plan No. 102207912
- Lots 1 and 11, Block 719, Plan No. 102207912

Lots that have decorative aluminum fencing are adjacent to a park, drainage parcel, or Greenway. **The centre line of this fence is located approximately 250mm (10 inches) inside the homeowner's property line.** The inside edge of the structural pilings for this fence is located approximately 400mm (16 inches) inside the homeowner's property line. The purchaser will be responsible for all future maintenance of the fence. The location of the fence should be taken into consideration when positioning the building on the lot and specifically during basement excavation. Special attention should be considered to not disturb the structural pilings or other components of the fence during construction. Damages to the fence during house construction is the responsibility of the builder. Figure 4, "Aspen Ridge Decorative Fence Details" illustrates the fence details and style.



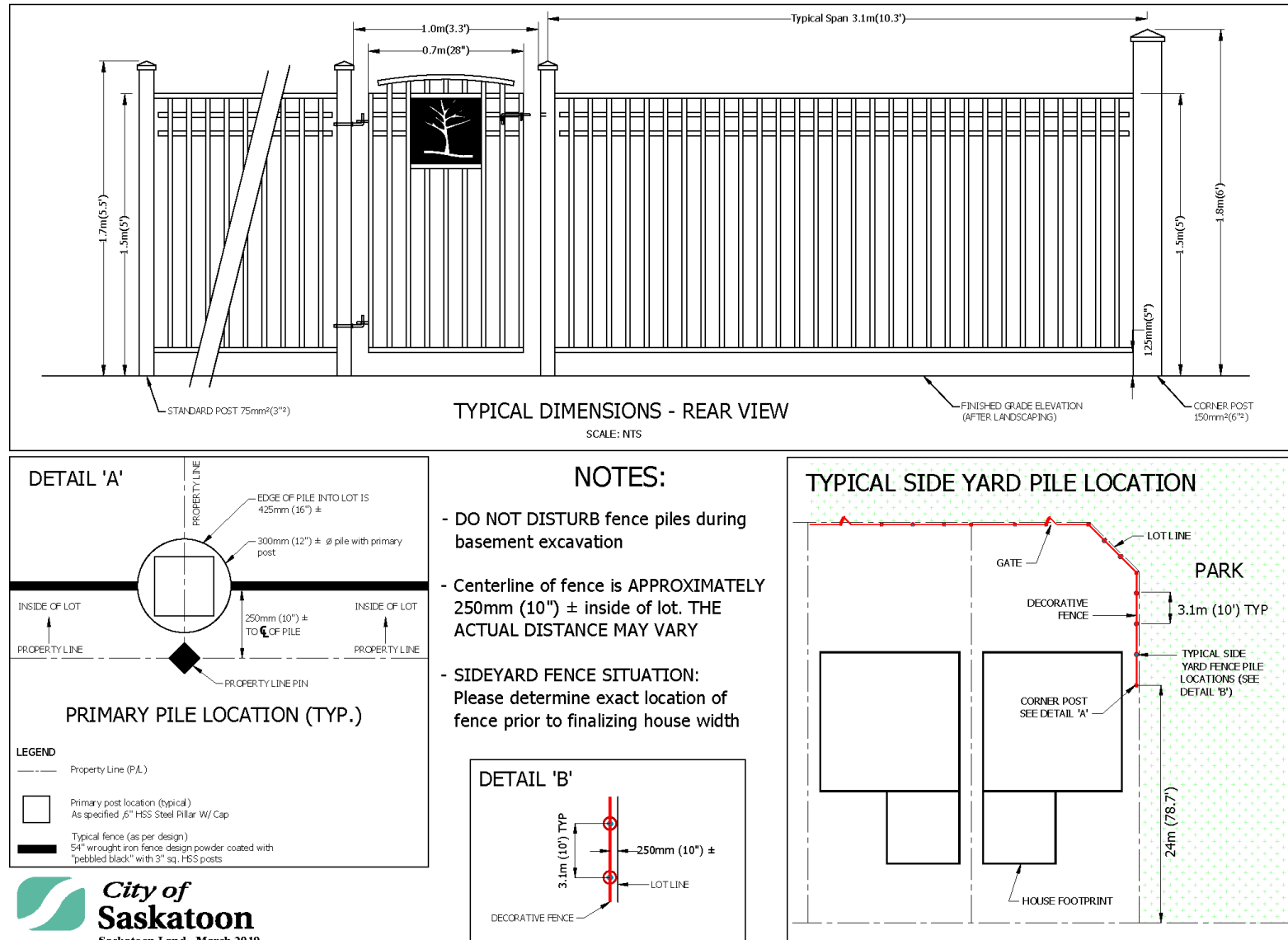


Figure 4: Aspen Ridge Decorative Fence Detail

## Construction Notes

### Starting Construction

Possession of the site is granted for construction purposes when the down payment has been received, finalizing the Agreement for Sale. In order to assist the utility companies, please post your civic address at the front of the property when construction begins.

### Landscaping of City Boulevards

Homeowners are encouraged to landscape and maintain the boulevard along the front of their property and along the side of corner lots. Landscaped boulevards can create beautiful and diverse streetscapes, add character to neighbourhoods, and increase feelings of community pride and safety. Boulevards are defined as the landscaping space between the edge of the roadway and the property lines. Where the sidewalk is not attached to the curb, the boulevard is the space between the curb and the sidewalk and the sidewalk and the property line (see Figure 5A). Where the sidewalk is attached to the curb, the boulevard is the space between the sidewalk and the property line (see Figure 5B). These areas need to be landscaped with a number of materials (for example, sod, grass seed, decorative landscaping rock, paving stones, trees, and gardens). Please refrain from using materials that have height or mass and could restrict views or damage car doors when opening



**Figure 5 A and B: Boulevard Types**

### **Boulevard Tree Planting**

The Community Tree Planting Program was established in 1991 via pre-paid levies from the original sale of lots. Through this program, the City of Saskatoon, Urban Forestry Section hand plants 30mm (1.2 inch) caliper trees on boulevards in recently developed neighbourhoods. Streets are selected for this Program based on a review of newly developed areas. The City considers the number of lots that are fully developed and landscaped. This review is completed the season prior to planting. The *Plant by Request Program* is also available to residents to request to have a tree planted in an available planting site on the boulevard. For Plant by Request Program, please contact Urban Forestry, Community Services at 306-975-2890 or visit <https://www.saskatoon.ca/services-residents/housing-property/yard-garden/trees/tree-request-new-neighborhoods>.

The City of Saskatoon now allows for gardening on City boulevards. For more information please review the City of Saskatoon's Boulevard Gardening & Maintenance Guidelines and complete the Boulevard Garden Agreement.

<https://www.saskatoon.ca/services-residents/housing-property/yard-garden/boulevards>

### **Disclosure of Adjacent Property Owners**

Please note in order to facilitate discussions between property owners respecting lot grading, fencing issues and property maintenance issues, Saskatoon Land will, upon request, disclose the names and contact information of purchasers to adjacent property owners.

### **Construction Waste**

As per City of Saskatoon Bylaw No. 8310, The Waste Bylaw, 2004 any owner or contractor carrying out the construction of a building on any property shall place all waste into a waste container or enclosure. The owner or contractor shall dispose of all waste resulting from the construction in a timely manner so as to ensure there is no unreasonable accumulation of waste on the property during the construction.

It is required that a waste disposal bin remain on each building site for the duration of construction in order to ensure that the waste is not dispersed on or around the property or surrounding properties. Upon completion of construction, it is the owner or the contractor's responsibility to clear their site of all waste. If the waste is not removed, the City may remove the waste and all associated costs will be charged to the property owner or the contractor.

### **Temporary Water Circulation Boxes**

To ensure water quality is maintained throughout the initial stages of development in this phase; blue temporary water circulation boxes are installed. These temporary water circulation boxes are removed during the installation of the water and sewer connection to the house. For more information, please contact the Construction and Design Division at 306-975-2454.

### **Shallow Utility Servicing Information for New Residences**

Crown Utility Corporations have introduced a Joint Servicing Initiative that includes the installation of gas, electric and communications in a common trench from the main line to the building. This approach achieves efficiencies for the installation of the service lines and addresses the challenges associated with space constraints.

Please see Attachment 16, which includes information on the Joint Servicing Initiative and a site check readiness sheet, which lists the items required prior to the installation of services to your home. For further information on your shallow utilities services, please contact the appropriate utility agency (SaskPower, SaskEnergy, Sasktel or Shaw Cable).



In addition, for lots with lanes, please see Attachment 15. This illustration provides a guide to how SaskPower and SaskEnergy typically provide underground services to each lot.

### **Concrete Garage Pads for Detached Garages**

Please be advised that, as per the National Building Code, foundations for detached garages 55 m<sup>2</sup> (492 ft<sup>2</sup>) and larger must be designed by a design professional (engineer or architect) licensed to consult in The Province of Saskatchewan. The sealed design must be accompanied with a Letter of Commitment for field review.

Garage Pads must not be constructed on rear lot easements. In addition, a utility corridor of 1.2 to 1.5 metres should be provided along the side property line for utility installations.

## **Other Information**

Lots are sold “**As Is**”. These terms are contained in the Agreement for Sale. The terms may change without notice. Any questions should be asked to ensure you understand the terms of your purchase.

### **Aspen Ridge Phase 3 Cash Back Incentives\***

Saskatoon Land offers an Incentive Program to encourage Builders and lot purchasers to improve the curb appeal of newly built homes in Aspen Ridge. The cash back and/or green incentives are part of Saskatoon Land’s commitment to building environmentally sustainable neighbourhoods and encouraging environmentally friendly household practices.

#### **Landscaping Rebate:**

- A maximum rebate of \$2,000 is available for builders or individual lot purchasers for the completion of front yard landscaping within one year of the building permit issuance date.
- A maximum rebate of \$1,000 is available for builders or individual lot purchasers for the completion of front yard landscaping within two years of the building permit issuance date.

#### **Front-Driveway Rebate:**

- 
- A maximum rebate of \$6,000 is available for builder or individual lot purchasers for the completion of front driveway surfacing within one year of the building permit issuance date.
  - A maximum rebate of \$3,000 is available for builder or individual lot purchasers for the completion of front driveway surfacing within two years of the building permit issuance date.

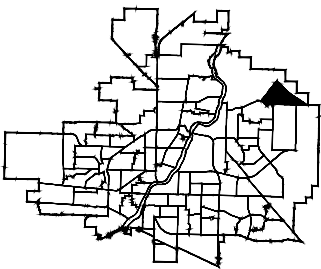
\*Visit [www.saskatoonland.ca](http://www.saskatoonland.ca) for full information and requirements on the Cash Back Incentives





# Phase 3 - Lot Information Map

115 Lots - Kenaschuk Crescent, Link, Way,  
Union, & Lane

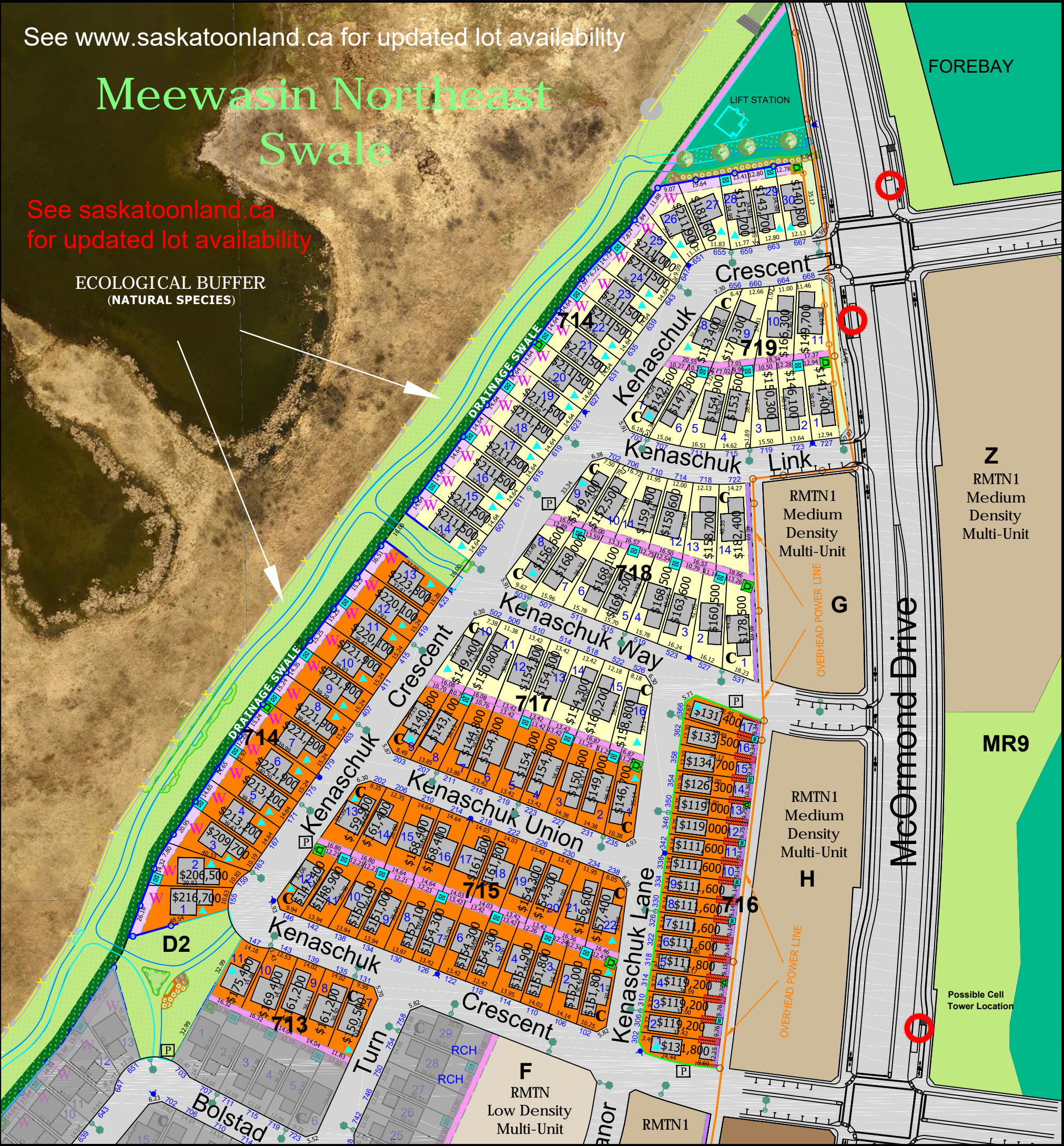


See [www.saskatoonland.ca](http://www.saskatoonland.ca) for updated lot availability

## Meewasin Northeast Swale

See [saskatoonland.ca](http://saskatoonland.ca) for updated lot availability

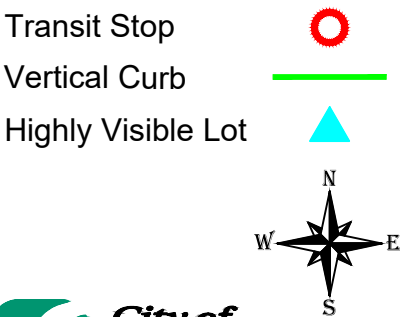
ECOLOGICAL BUFFER  
(NATURAL SPECIES)



Legend:

Single Family Roof Slope Requirement -		Easement 2m		Light Standard	
Single Family No Roof Slope Requirement -		Easement 3m		Corner Garage Location	C
Residential Care Home	RCH	Easement 5m		Mail Boxes	P
Multi-Unit Parcels Low Density -		Lot Number	12	Utility Corridor	
Multi-Unit Parcels Low/Medium Density -		Civic Address	123	Fire Hydrant	
Multi-Unit Parcels Medium Density Multi-Unit -		Transformer		Walkout Basement	W
Buffer		Service Pedestal		Decorative Fence	
Open Space		Concrete Pad		Masonry Fence	
Conceptual Design Subject to Change				Wildlife Fence	

Note: This map is conceptual and may change.







LEGEND

-  Conceptual House and Garage Footprint  
Note: Attached Garages shall not protrude more than 2.4m (8ft) from the facade of any habitable floor area of the dwelling.
-  Zoning Bylaw Building Area



Note: The information contained on this map is for illustrative purposes only and should not be used for legal purposes. All the information was compiled from available sources and the line work is subject to change without notice.



SCALE: NTS                      DATE: NOVEMBER 1, 2017  
DRAWN BY: TF                      FILE NO:

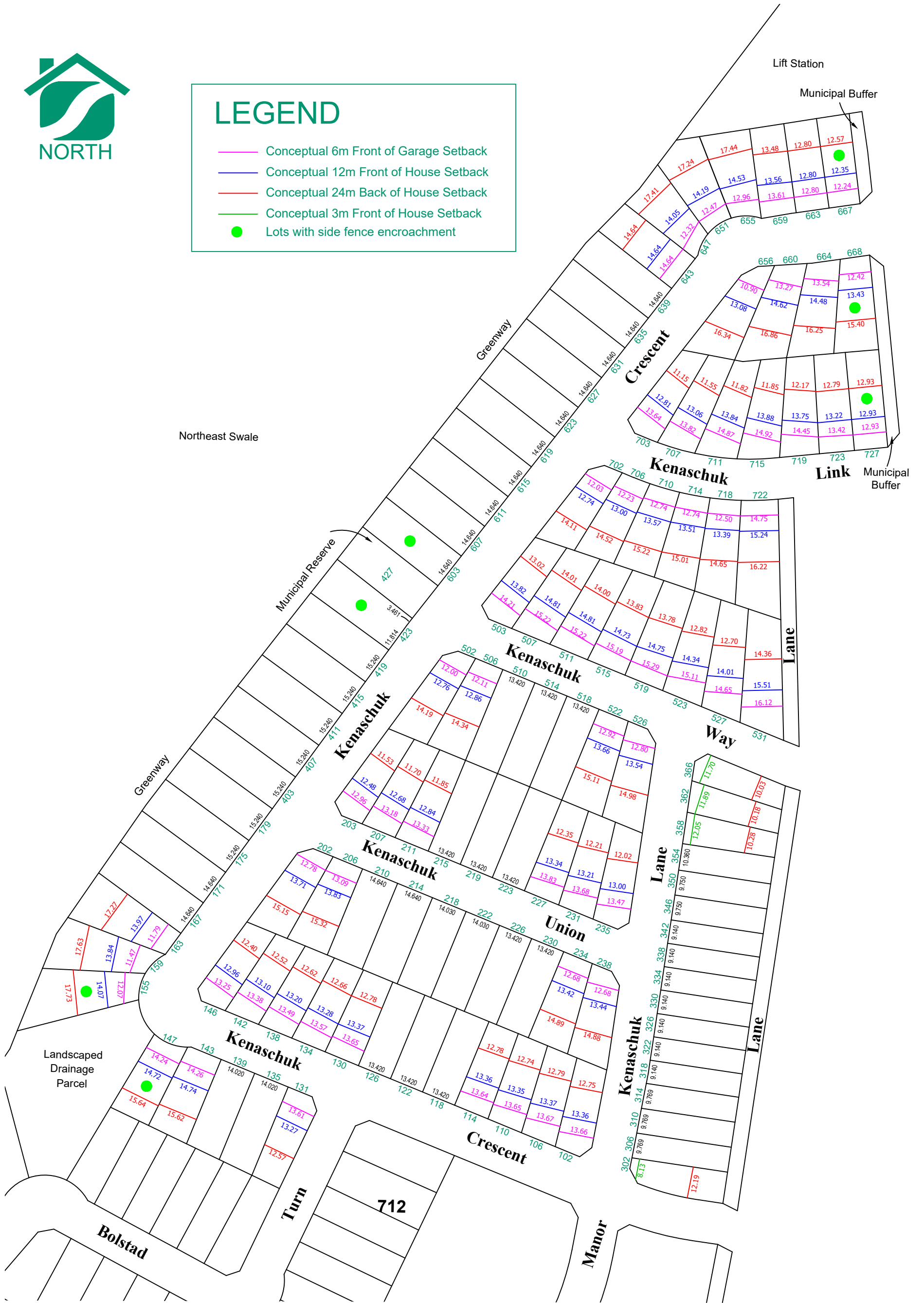
ASPEN RIDGE PHASE 3

HOUSING FOOTPRINTS AND  
ZONING BYLAW BUILDING AREA



LEGEND

- Conceptual 6m Front of Garage Setback
- Conceptual 12m Front of House Setback
- Conceptual 24m Back of House Setback
- Conceptual 3m Front of House Setback
- Lots with side fence encroachment



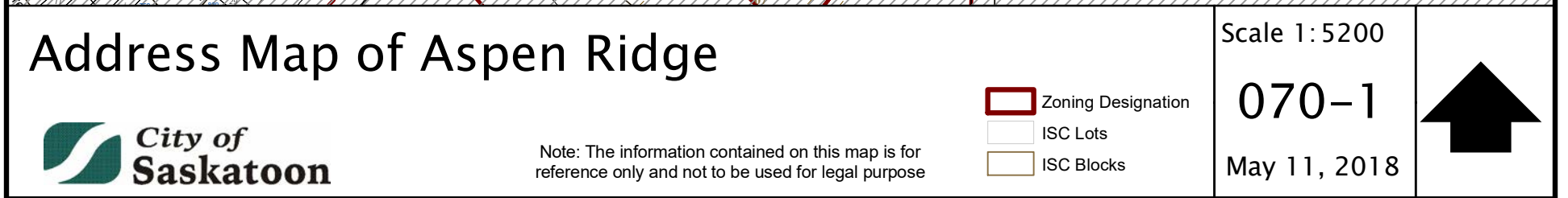
Note: The information contained on this map is for illustrative purposes only and should not be used for legal purposes. All the information was compiled from available sources and the line work is subject to change without notice.



SCALE: NTS      DATE: NOVEMBER 1, 2017  
DRAWN BY: TF      FILE NO:

ASPEN RIDGE PHASE 3  
CONCEPTUAL HOUSE AND GARAGE SETBACKS







# Land Use Concept Plan

**Figure - 3**  
Aspen Ridge Neighbourhood Concept Plan

## Attachment 5

### Legend

- Low Density
- Low Density Multi Unit
- Low/Med Density Multi Unit
- Medium-Density Multi Unit
- Medium-Density Mixed-Use
- Low-Density Mixed-Use
- Park
- Landscaped Drainage Open Space
- Greenway
- Buffer
- Elementary Schools/Community Centre
- Urban Holding Area
- Northeast Swale
- Possible Roadway Extension
- Neighbourhood Boundary
- (RCH) Possible Residential Care Home Site
- Possible Cell Tower Location



Note: This map is conceptual and may change.

## Meewasin Northeast Swale

The Meewasin Northeast Swale is an ancient river channel formed by glacial activity that took place thousands of years ago. This remarkable feature runs adjacent to the South Saskatchewan River and is approximately 2800 hectares in size. The Swale is a grassland ecosystem of rare native prairie and wetland areas. It is an important wildlife corridor, with over 200 plant species and 180 bird species.

The Swale acts as a natural filter for both air and water and mitigates flooding in adjacent neighbourhoods. It promotes physical health and well-being, encourages community engagement and stewardship, and contributes to the vitality and productivity of the community.

The development of The Swale is a once-in-a-lifetime opportunity to enhance the legacy of our region by integrating this important natural system into the fabric of our city.

To help protect the Meewasin Northeast Swale (Swale), here are some important things to remember:

- **The Swale is a nocturnal preserve** - Light from adjacent neighbourhoods affects wildlife and plants in the Swale by altering their daily cycle of light and dark. Aspen Ridge neighbours can help keep the night sky dark by using Dark Sky Compliant lighting; such as downward facing outdoor lighting with cutoffs, no brighter than necessary, on a motion sensor, and turned off when not in use. Visit [www.darksky.org](http://www.darksky.org) for more information about Light Pollution and the Dark Skies Movement.
- **The Swale is home to abundant wildlife** - Many grassland birds, birds of prey (e.g. owls and hawks), waterfowl, deer, coyotes, frogs, snakes, badgers, ground squirrels, and a variety of other fascinating creatures live in the Swale. Please respect the wildlife and allow them a safe distance. Feeding wildlife can lead to dependence on handouts and nuisance animals. Keep garbage and compost in animal proof containers to discourage wildlife and neighbourhood pets.
- **The Swale is native prairie with many rare and unique plants** - Native prairie is highly susceptible to invasion from exotic plants that will outcompete for space and resources. Please consider planting native and non-invasive plants in your yard. Planting seed and fruit bearing shrubs can help to provide food and shelter for birds in your yard. See the Native Plant Society's document "Native Plant Material and Services Supplier List" for recommendations of sources for native plant please visit: [http://www.npss.sk.ca/docs/2\\_pdf/Native\\_Plant\\_Source\\_List\\_2013\\_-\\_revised.pdf](http://www.npss.sk.ca/docs/2_pdf/Native_Plant_Source_List_2013_-_revised.pdf).
- **Chemicals have an impact on Swale flora and fauna** - Please consider the use of fertilizer, herbicides or pesticides cautiously and use environmentally friendly alternatives, when possible, to reduce impacts on the native vegetation, wildlife, and wetlands.
- **For Swale management, call Meewasin** - The native vegetation may look wild and unkempt at times, but even dead trees provide food and shelter for wildlife so please resist conducting any maintenance activities of your own in the Swale or Greenway. Contact Meewasin with any safety concerns regarding vegetation as they regularly conduct resource management activities on site to help keep the Swale healthy and rich with biodiversity.
- **Trails are designed to protect sensitive areas** - Please use only marked trails. These trails have been carefully planned to respect wildlife and sensitive areas. Avoid damaging vegetation and please do not pick wildflowers. Dogs must be on leash in the Recreation Zone and picked up after. There are no dogs allowed in the Ecological Core. Please help protect the rare and endangered species in the Swale.



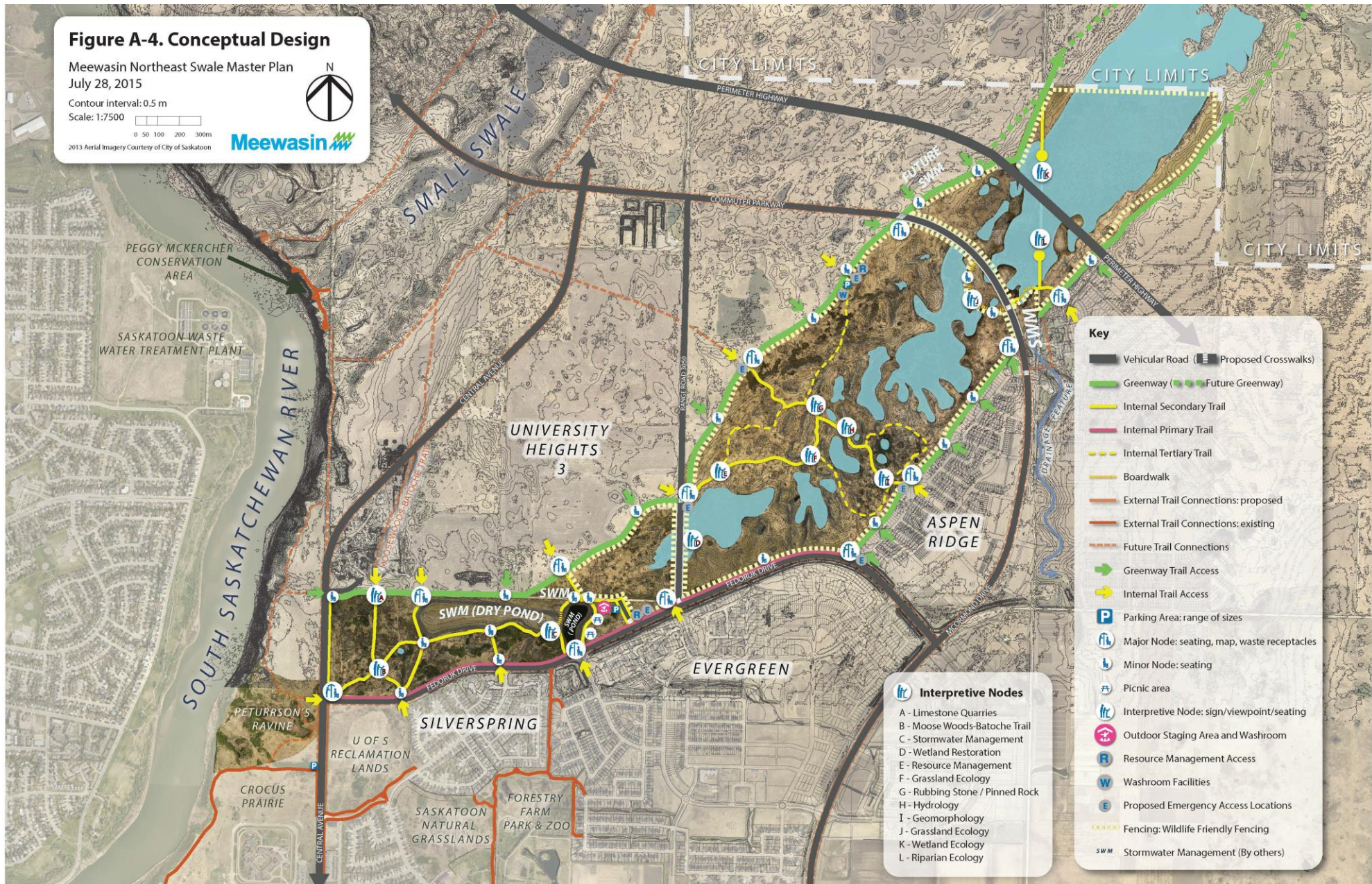
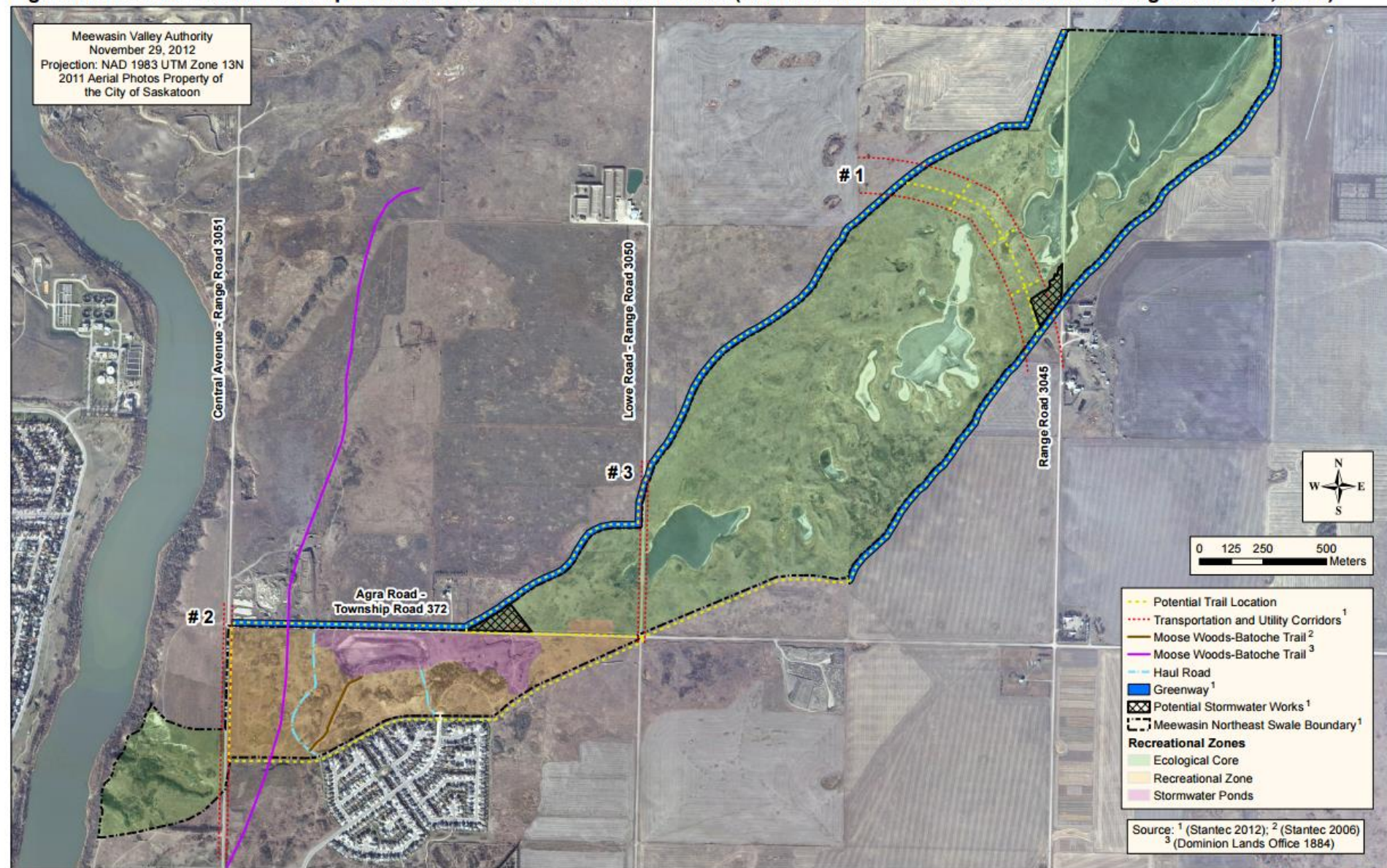




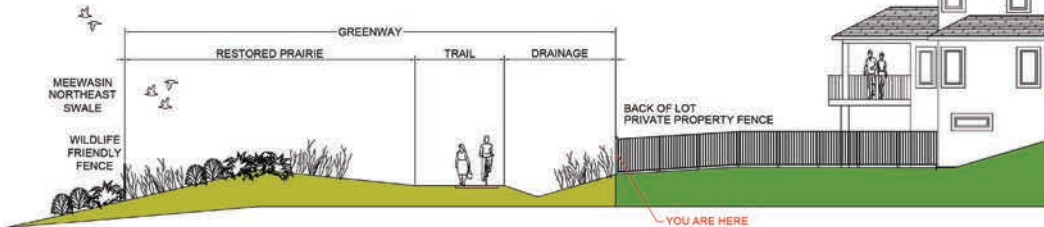
Figure A-8. Guidelines for Development of the Meewasin Northeast Swale (from the *Northeast Swale Resource Management Plan*, 2013)





# Naturalized Area

The Greenway is a corridor that provides a transition between Aspen Ridge and the grasslands and wetlands of the Meewasin Northeast Swale. The Greenway consists of a drainage channel, multi-use trail, and restored prairie.



## What you can do to help.

The Greenway will take a number of years to develop into a mature and stable naturalized ecosystem. On your property, we encourage you to:

- reduce the amount of sod, fertilizer, chemicals, and irrigation used
- remove invasive weeds before going to seed to reduce their potential spread
- plant your yard with native prairie wildflowers, shrubs and grasses
- do not mow or maintain the open space beyond your property
- respect the night sky – use full cutoff exterior lighting
- keep yard clean of construction and household waste
- do not feed wild animals or leave food out and screen gardens and fruit trees
- stay on the designated trails and do not create new access points

## The Greenway promotes active transportation, biodiversity and water conservation.

In keeping with the sustainability goals set out for Aspen Ridge, many features of the Greenway will protect the biodiversity of the Swale:

- residential developments were setback from the Swale edge
- native prairie wildflowers, shrubs and grasses will be re-established in disturbed areas
- the need to irrigate is minimized
- mowing will be restricted to select areas and occur only once or twice per growing season
- ongoing resource management practices will be used such as prescribed burning
- constructed stormwater drainage systems will collect and manage residential runoff
- full cutoff lighting will be installed along the trail



**YES! Walk or Bike**  
on Designated Trails



**YES! Smell Flowers**



**YES! Watch Wildlife**



**YES! Take Photos**



**NO Motorized Vehicles**  
Bylaw No. 7767



**NO Picking Plants**  
Bylaw No. 7767



**NO Off-leash Dogs**  
Bylaw No. 7860

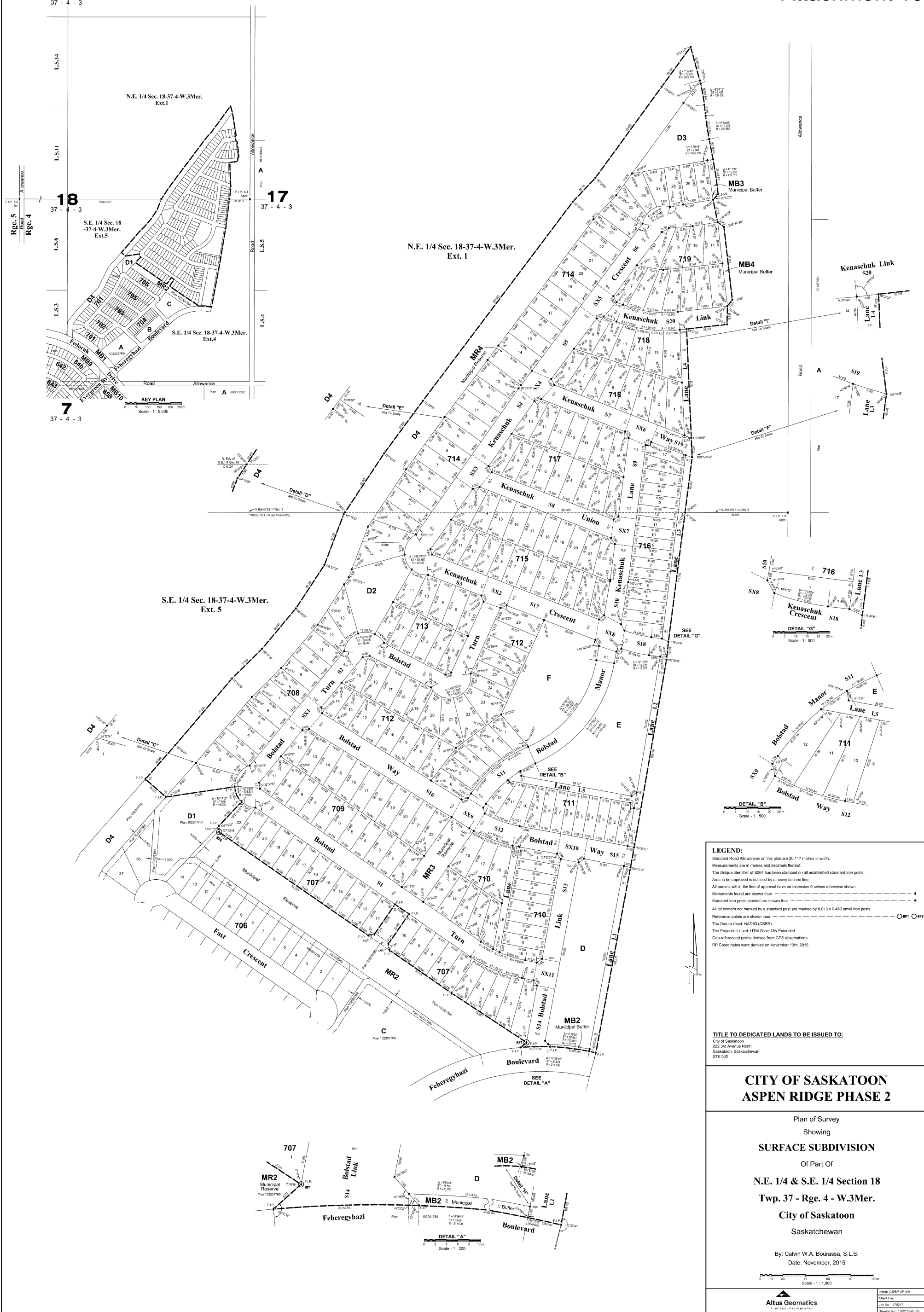


**NO Littering**  
Bylaw No. 7767

37 - 4 - 3

37 - 4 - 3

37 - 4 - 3





# Attachment 11



**LEGEND:**

Standard Road Allowances on this plan are 20.117 metres in width.  
Measurements are in metres and decimals thereof.  
Area to be approved is outlined by a heavy dashed line.  
The extensions of all parcels affected by this feature are 0 unless otherwise shown.

Monuments found are shown thus  
Reference points are shown thus  
The Datum Used: NAD83 (CGRS)  
The Projection Used: UTM Zone 13N Extended  
Geo-referenced points derived from GPS observations  
RP Coordinates were derived on November 13th, 2015

## CITY OF SASKATOON ASPEN RIDGE PHASE 2

Descriptive Plan - Type 2  
Showing  
**FEATURE UTILITY RIGHT-OF-WAY**  
Within

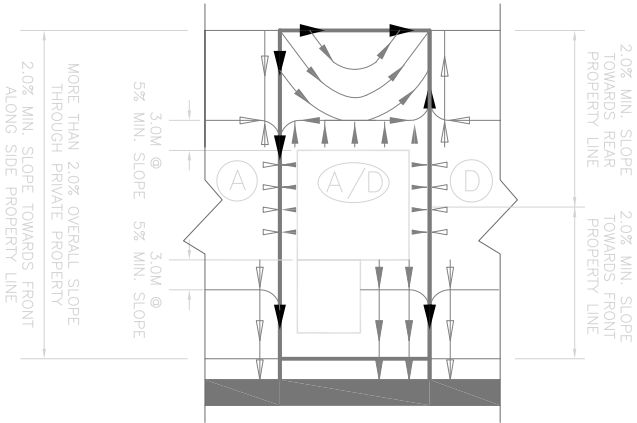
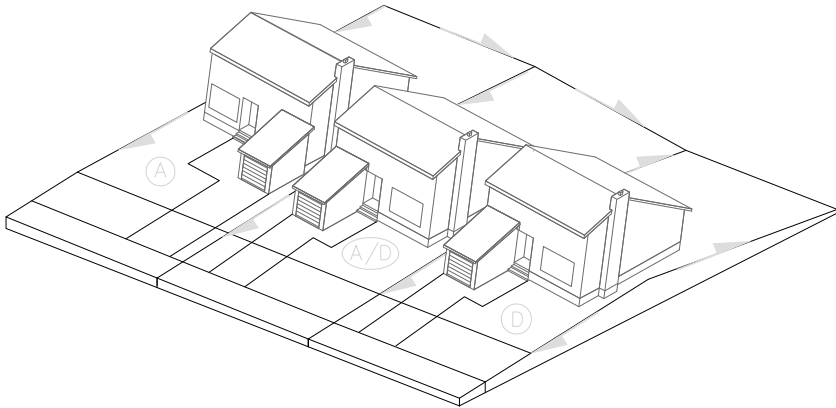
**Lots 1-22, Block 707**  
**Lots 1-13, Block 708**  
**Lots 1-22, Block 709**  
**Lots 4-8 & 11-18, Block 710**  
**Lots 2-6 & 8-11, Block 711**  
**Lots 1-29, Block 712**  
**Lots 1-11, Block 713**  
**Lots 1-30, Block 714**  
**Lots 1-22, Block 715**  
**Lots 1-17, Block 716**  
**Lots 1-16, Block 717**  
**Lots 1-14, Block 718**  
**Lots 1-11, Block 719**

**Parcels D, D2, D3, D4, E, F,**  
**Municipal Reserve MR3 & MR4,**  
**Municipal Buffers MB2, MB3 & MB4**

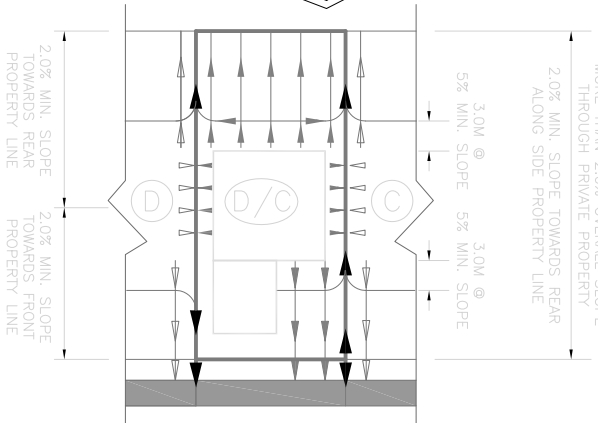
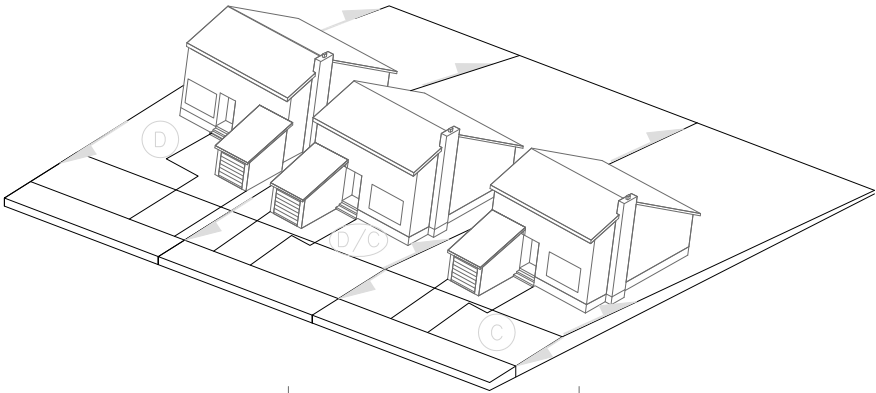
**Plan 102207912**  
**In E. 1/2 Section 18**  
**Twp. 37 - Rge. 4 - W.3Mer.**  
**City of Saskatoon**  
**Saskatchewan**  
By: Calvin W.A. Bourassa, S.L.S.  
Date: November 13th, 2015

0 10 20 40 60 80 100m  
Scale - 1 : 1,000

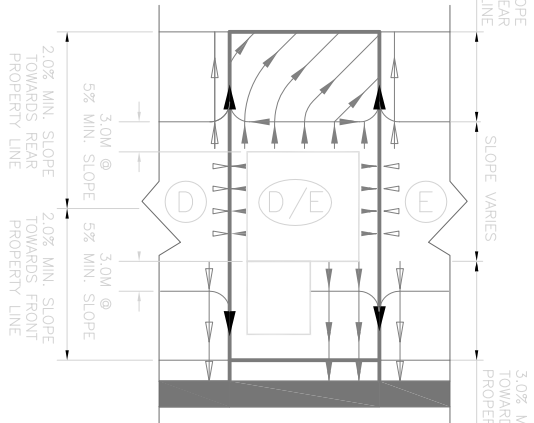
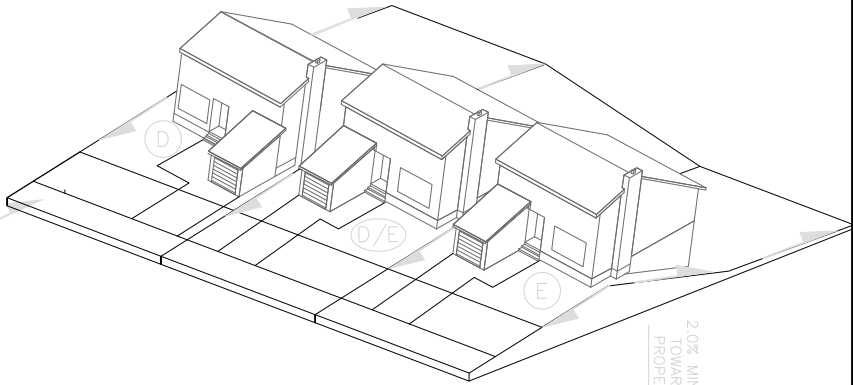
Lot Grading Types



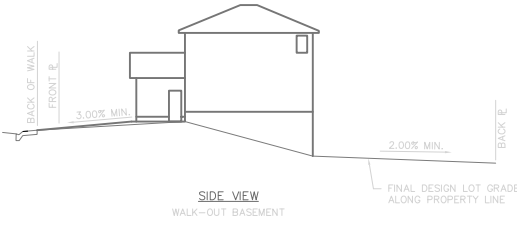
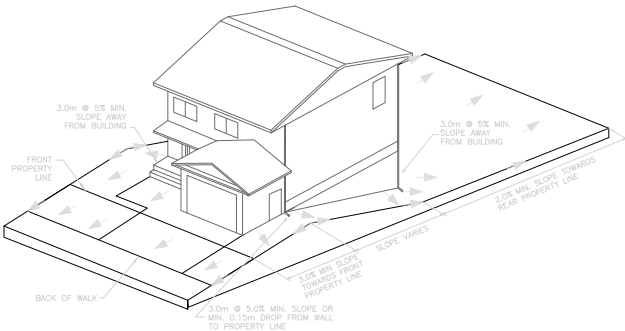
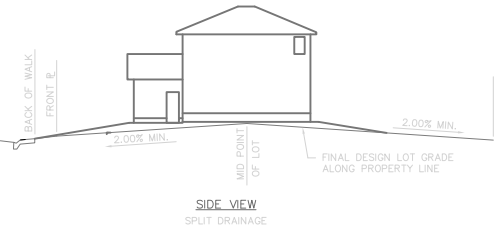
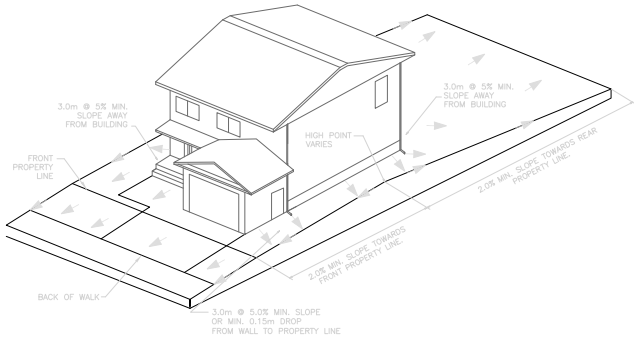
NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE  
2) LOT TYPE D/A IS REVERSE OF LOT TYPE A/D



NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE  
2) LOT TYPE C/D IS REVERSE OF LOT TYPE D/C

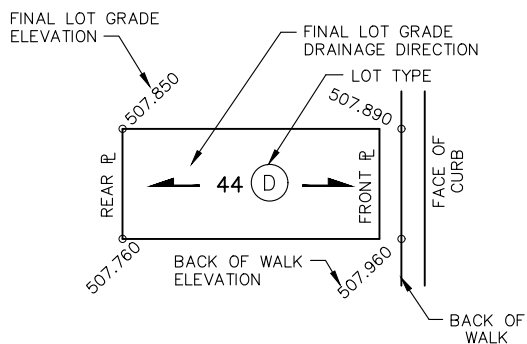


NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE  
2) LOT TYPE E/D IS REVERSE OF LOT TYPE D/E





### LEGEND



### NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

## KENASCHUK CRESCENT, KENASCHUK LINK

DRAWN BY JVS DATE 2016-JUN-20

SCALE: 1:1000

PLAN No.:

PAGE: 1 OF 12



**City of  
Saskatoon**

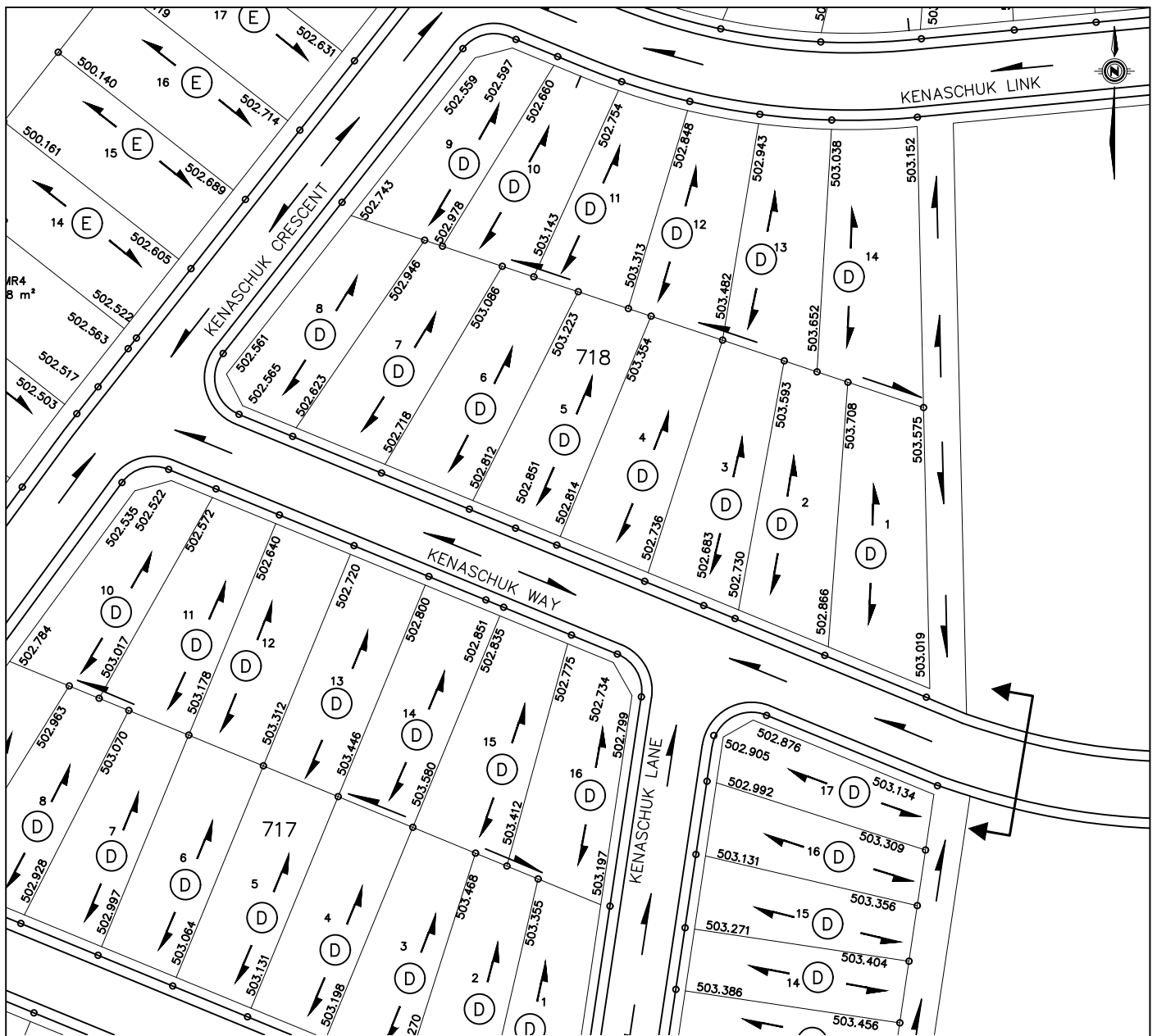
Transportation & Utilities Department

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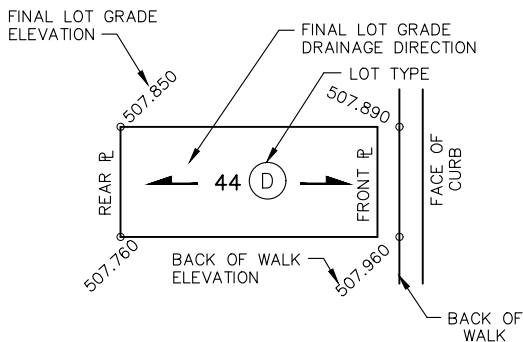
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APPROVAL DATE:

REVISION DATE:



### LEGEND



### NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

## KENASCHUK CRESCENT, KENASCHUK LINK, WAY & LANE

DRAWN BY JVS DATE 2016-JUN-20  
 SCALE: 1:1000  
 PLAN No.:  
 PAGE: 2 OF 12



**City of  
Saskatoon**

Transportation & Utilities Department

SOURCE DOCUMENT

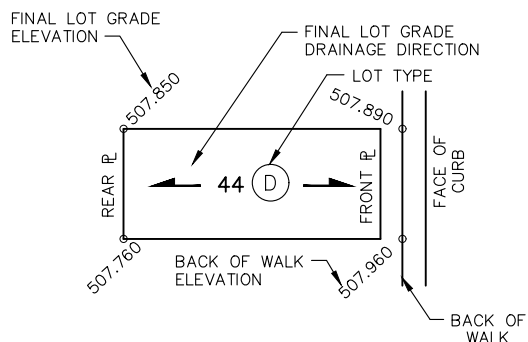
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APPROVAL DATE:

REVISION DATE:



### LEGEND



### NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

## KENASCHUK CRESCENT, KENASCHUK WAY & UNION

DRAWN BY JVS DATE 2016-JUN-20

SCALE: 1:1000

PLAN No.:

PAGE: 3 OF 12



**City of  
Saskatoon**

Transportation & Utilities Department

SOURCE DOCUMENT

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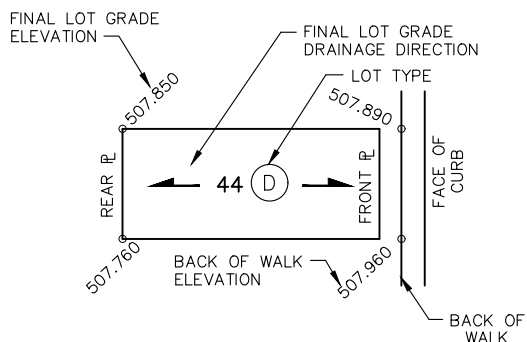
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### LEGEND



### NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

## KENASCHUK CRESCENT, LANE & UNION

DRAWN BY JVS DATE 2016-JUN-20  
 SCALE: 1:1000  
 PLAN No.:  
 PAGE: 5 OF 12



**City of  
Saskatoon**

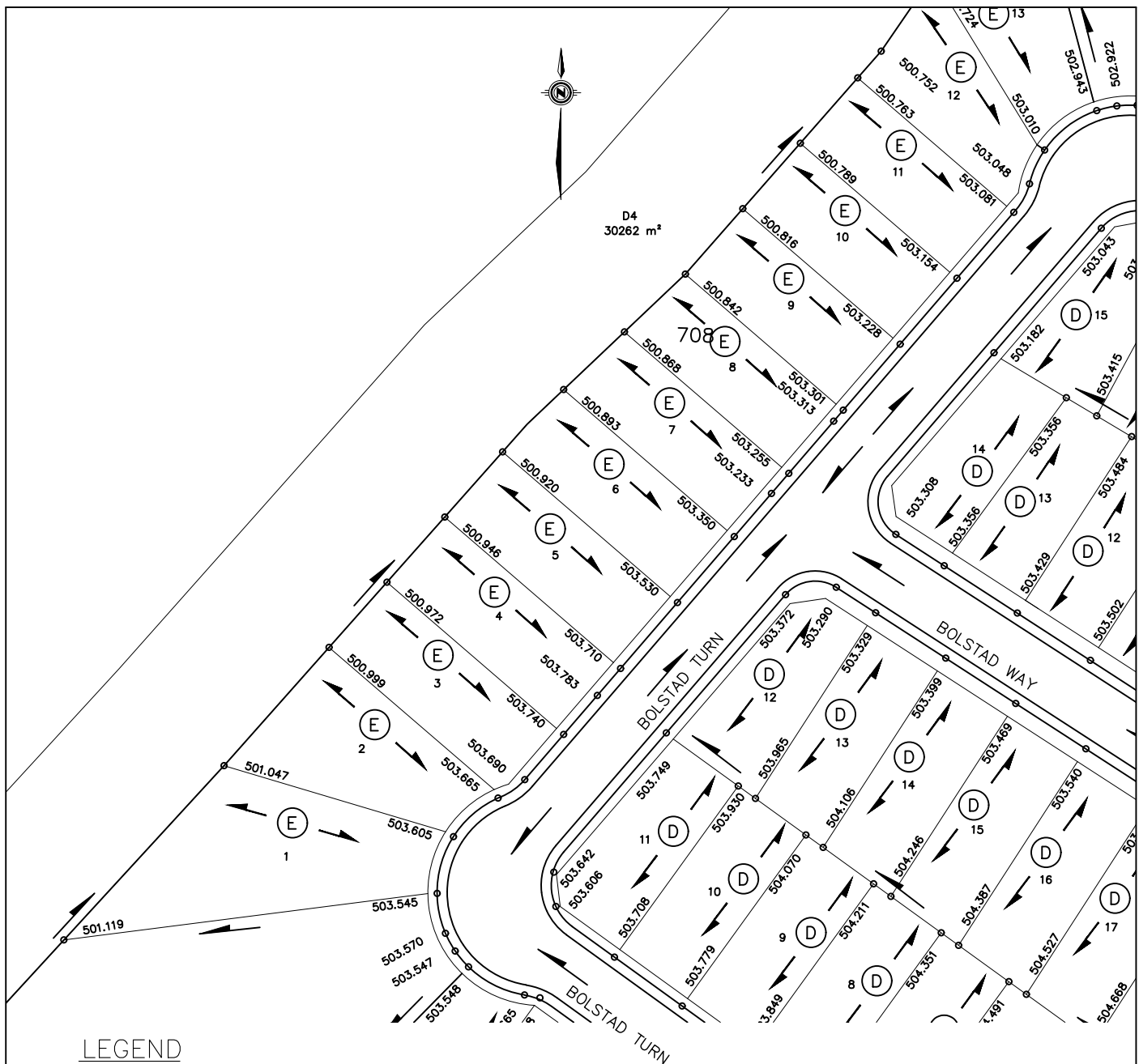
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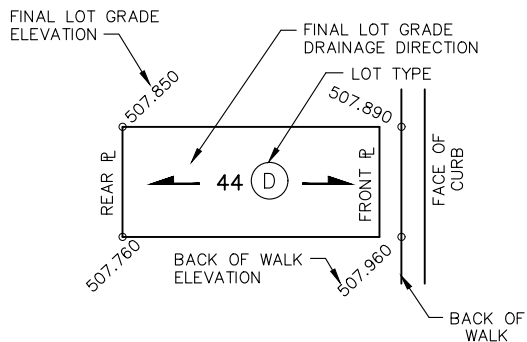
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APPROVAL DATE:

REVISION DATE:



### LEGEND



### NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

## BOLSTAD TURN & BOLSTAD WAY

DRAWN BY JVS DATE 2016-JUN-20  
 SCALE: 1:1000  
 PLAN No.:  
 PAGE: 6 OF 12



**City of  
Saskatoon**

Transportation & Utilities Department

SOURCE DOCUMENT

PLAN No.: 112-0087-005 & 6

APPROVAL DATE:

REVISION DATE:

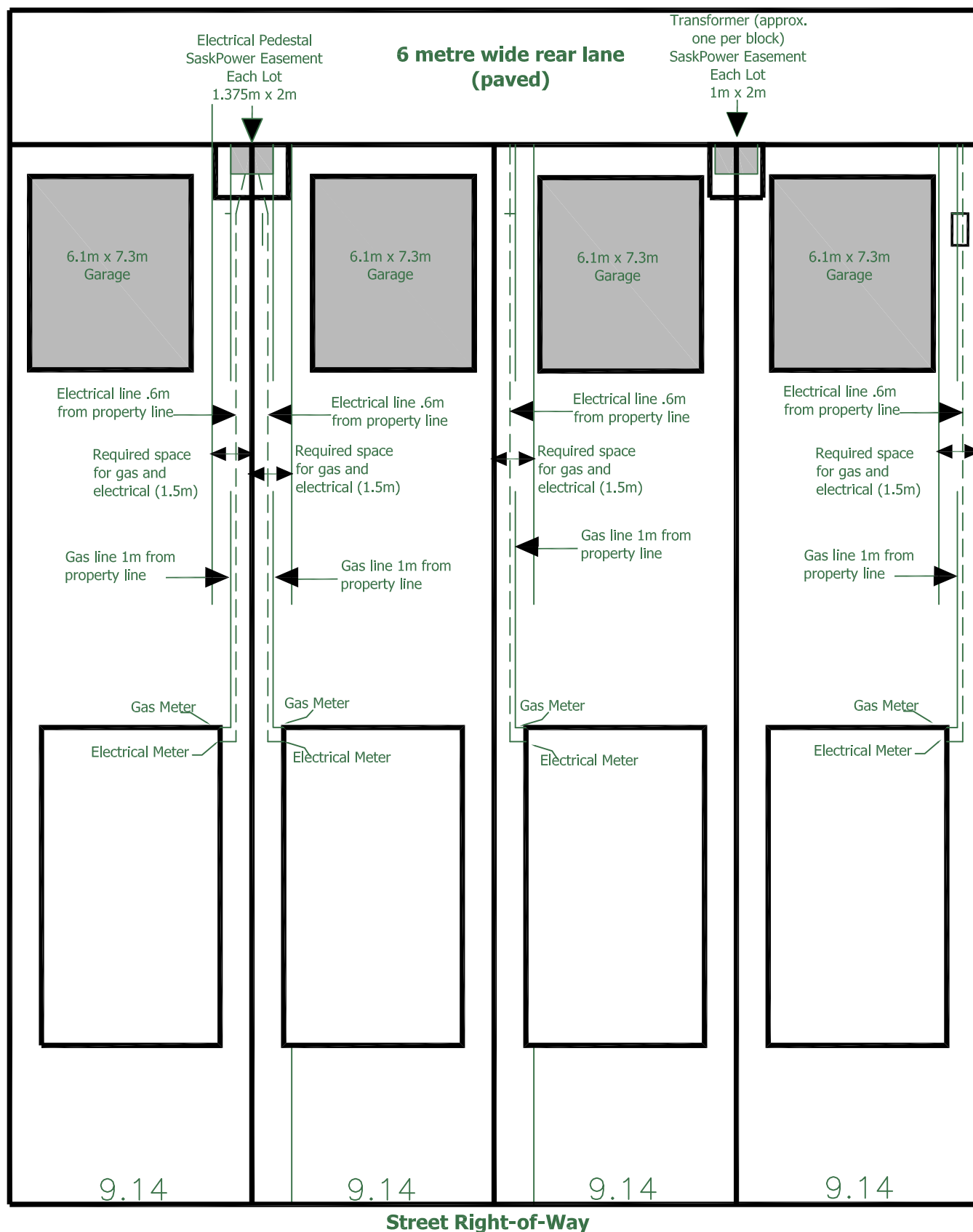




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### Servicing From Lane SaskPower and SaskEnergy Underground Lines

#### Notes:

- This drawing is intended as a guide only. For more accurate information please contact the respective utilities and the City of Saskatoon Building Standards Division.
- For the purpose of this illustration, each lot is shown as 9.14m wide and 40m deep.
- A garage, or other accessory building may not be built over the gas line or electrical service.
- Saskatoon Land takes no responsibility regarding the legality of the building layout on your lot.

# Joint Servicing Initiative

January 2015



## ■ Background of the Joint Servicing Initiative

To support the thriving economy currently being experienced in Saskatchewan; SaskEnergy, SaskPower and SaskTel are working on refining and broadening the process of a “joint service installation” approach for urban residential home builders.

This process will provide a timely, cost-effective and coordinated service to home builders that includes the installation of gas, electric and communications in a common trench from the main line to the dwelling. This collaborative approach will achieve efficiencies for the installation of the urban service lines and address challenges associated with space constraints for new lots.



## ■ What You Need to Know About Joint Trench Lots

Joint Trench Lots are for shallow utility services in urban residential areas (single family homes) where the electric, gas, and communication lines are all installed in a common trench. Currently joint trench installation is only being done in Regina, Saskatoon, Warman, Martensville and Dalmeny.

If you have purchased a lot in any of these locations, a contract crew will be installing all shallow utilities in one trench from the main line at the back of the lot to the dwelling.

To prepare for the installation of your shallow utilities please refer to the Site Check Readiness list on the following page.



### *Index:*

- Background
- Joint trench lots
- Site Check Readiness
- Procedures for applying for services



## Site Check Readiness

To ensure installation of your service is completed when scheduled, your site must be ready for the crew on the date you indicate on the application (site ready date). Along with your application, please submit a plot plan for the address or addresses you are applying for.

Site readiness includes the following:

1. Provide a plot plan that indicates the location of the residence within the property.
2. House number must be visible from the street.
3. In order to secure the natural gas bracket, a 24" x 10" pressure treated board must be in place that does not contravene any natural gas codes.
4. You must maintain a .9 metre (3 ft) clearance around the natural gas service regulator with any exhaust vents, opening windows or doors. Please refer to your mechanical contractor for appropriate codes of other intake clearances.
5. The area around the house is backfilled and the lot is to within 150 mm (6") of finished grade. To ensure proper installation routing, customers are asked to ensure that property pins are in place and marked for easy locating by our field staff.
6. Utility access within the site must meet the following requirements:
  - i) Access is required for equipment to get into the yard(s) where the work needs to occur (trencher, mini hoe, etc.), clear of buildings, fences, decks, etc.
  - ii) A clear path is maintained for the trench route from the metering points to the takeoff points. The width needs to be enough to operate small trenchers and mini hoes at a minimum in ideal soil conditions, and larger equipment when frozen or rocky conditions exist. The trench is to be at least 0.6 metres (2 ft) off of the parallel property line (for fencing) and at least 0.6 metres (2 ft) wide to ensure separation of facilities in the trench. Further width is often required at surface to slope trench during installation for safe trenching rules. This will require approximately 2 metres (6.5 ft) clear access along the property line to the meter (electric and gas) boards to allow for construction of the facilities.
  - iii) Be aware that any pads or foundations near this route may slump with settling of the trench.
7. The trench is from the pedestal or pole to the meter location(s) (typically the closest corner from the pedestal or pole to the house). This service route must be clear of debris or obstructions, such as dirt piles and lumber.
  - i) SaskEnergy and SaskPower reserve the right to determine the meter location due to physical impediments that may restrict access for personnel and equipment. Alternate meter locations must be pre-approved prior to construction.
8. If separate trenches are utilized, the natural gas trench (SaskEnergy) must be at least 1 metre (3 ft) in distance from the SaskPower trench.
9. In instances where both gas, electric and communication cables are installed in the same trench (currently only in Regina, Saskatoon, Warman, Martensville and Dalmeny), you must leave a 1.2 metre (4 ft) corridor adjacent to the property line for utilities. If the minimum of 1.2 metres is not maintained, an encroachment over the gas service may occur and you will be responsible for reparation and subsequent cost.
10. Your electrician has attached an energization sticker on the meter socket indicating the service is ready for connection. The sticker ensures:
  - i) An electrical permit has been obtained
  - ii) The main panel is connected and in the open (off) position
  - iii) The service is grounded and ready to be connected to SaskPower's electrical system
11. To facilitate your service connection, please notify SaskPower once your electrician has affixed the energization sticker.



## **Urban Applications for Services**

SaskEnergy and SaskPower have been working on a process to streamline our customers application experience. Beginning February 17, 2015, you will be able to make application for gas and electric urban services by utilizing either one of the Crowns' websites. The information will be shared between the two Crowns using a secure file transfer protocol.

We encourage you to make application via SaskPower's website rather than SaskEnergy's. This will enable the Crowns to eliminate some manual processes that would otherwise occur when applying via SaskEnergy's website.

When you know the date that your property will be ready for servicing, you can make application to either SaskEnergy or SaskPower by the following methods:

- If you use SaskEnergy's application, please apply online at [saskenergy.com](http://saskenergy.com)
- If you use SaskPowers application, please apply online to [saskpower.com](http://saskpower.com) or call 1-888-SKPOWER (1-888-757-6937) and select Option 4.
- For your telephone and cable providers (SaskTel, Shaw or Access) the conduit will be installed in the joint trench along with SaskPower and SaskEnergy. It is the responsibility of the homeowner to apply for telephone and cable service to one of these providers.

Even though Joint Installation is only being offered in Saskatoon, Regina, Warman, Martensville, and Dalmeny all urban applications for service will be shared between the crowns.



## ASPEN RIDGE PHASE 3&4

# Cash back incentives.

Competitive payment terms and cash back landscaping and driveway incentives are available for lots sold in Aspen Ridge (Phase 3&4).

### FINANCING

**0% INTEREST** FOR THE FIRST **12 MONTHS\***  
\* of the parcel being under an agreement for sale  
then

**5% INTEREST** AFTER THE FIRST **12 MONTHS**

### LANDSCAPING INCENTIVE REBATE

Year 1\*  
**\$2000**  
cash back!

Year 2^  
**\$1000**  
cash back!

\*Completion within one year of building permit issuance date.

^Completion within two years of building permit issuance date.

### FRONT DRIVEWAY INCENTIVE REBATE

Year 1\*  
**\$6000**  
cash back!

Year 2^  
**\$3000**  
cash back!

\*Completion of driveway surfacing within one year of building permit issuance date.

^Completion of driveway surfacing within two years of building permit issuance date.



Limited  
time offer!



## ASPEN RIDGE



Contact Saskatoon Land at  
306-975-3278 or visit  
[saskatoonland.ca](http://saskatoonland.ca)  
for full details and requirements

[saskatoonland.ca](http://saskatoonland.ca)

Incentives are also available for 2019 inventory in Aspen Ridge, Kensington, Parkridge, and Evergreen communities.



City of  
**Saskatoon**  
Saskatoon Land