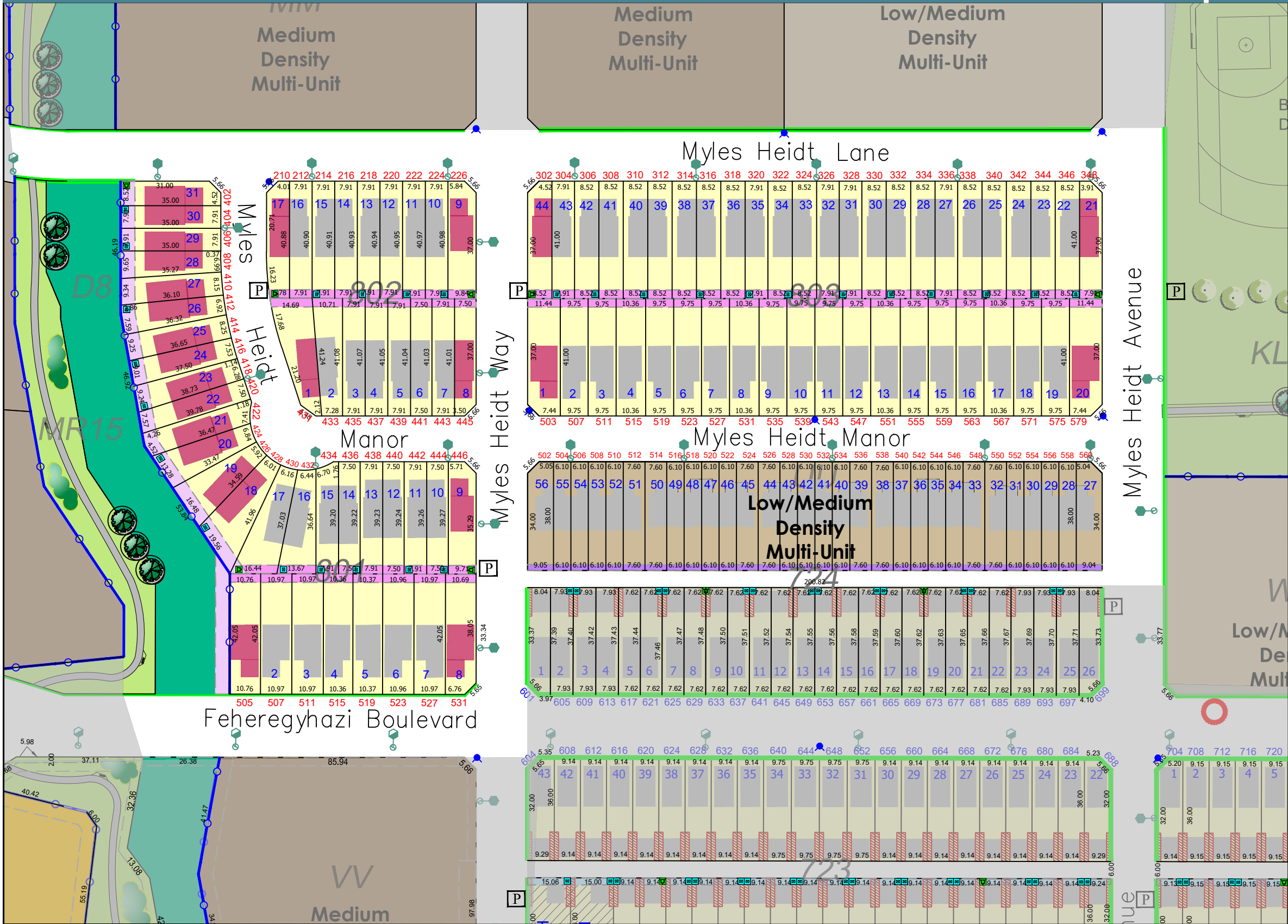
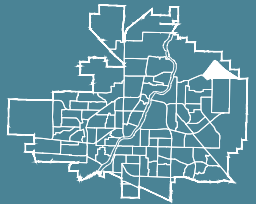




Phase 6 Lot Information Map

122 Lots: Myles Heidt Lane, Myles Heidt Manor, Myles Heidt Avenue & Feheregyhazi Boulevard



Legend:

- Single Family
- Residential Care Home
- Multi-Unit Parcel Low/Medium Density
- Multi-Unit Parcel Medium Density
- Open Space Conceptual Design Subject to Change
- Drainage Channel
- Concrete Pad
- Highly Visible Lot Additional Exterior Materials Required as per Architectural Control Req.
- Corner Garage Location
- Easement 2m
- Easement 3m
- Easement 5m
- Transformer
- Service Pedestal
- Block Number 721
- Lot Number 12
- Civic Address 123
- Mail Box
- Fire Hydrant
- Decorative Fence
- Transit Stop
- Vertical Curb
- Light Standard



Zoning Map of Aspen Ridge

Note: The information contained on this map is for reference only and is not to be used for legal purpose

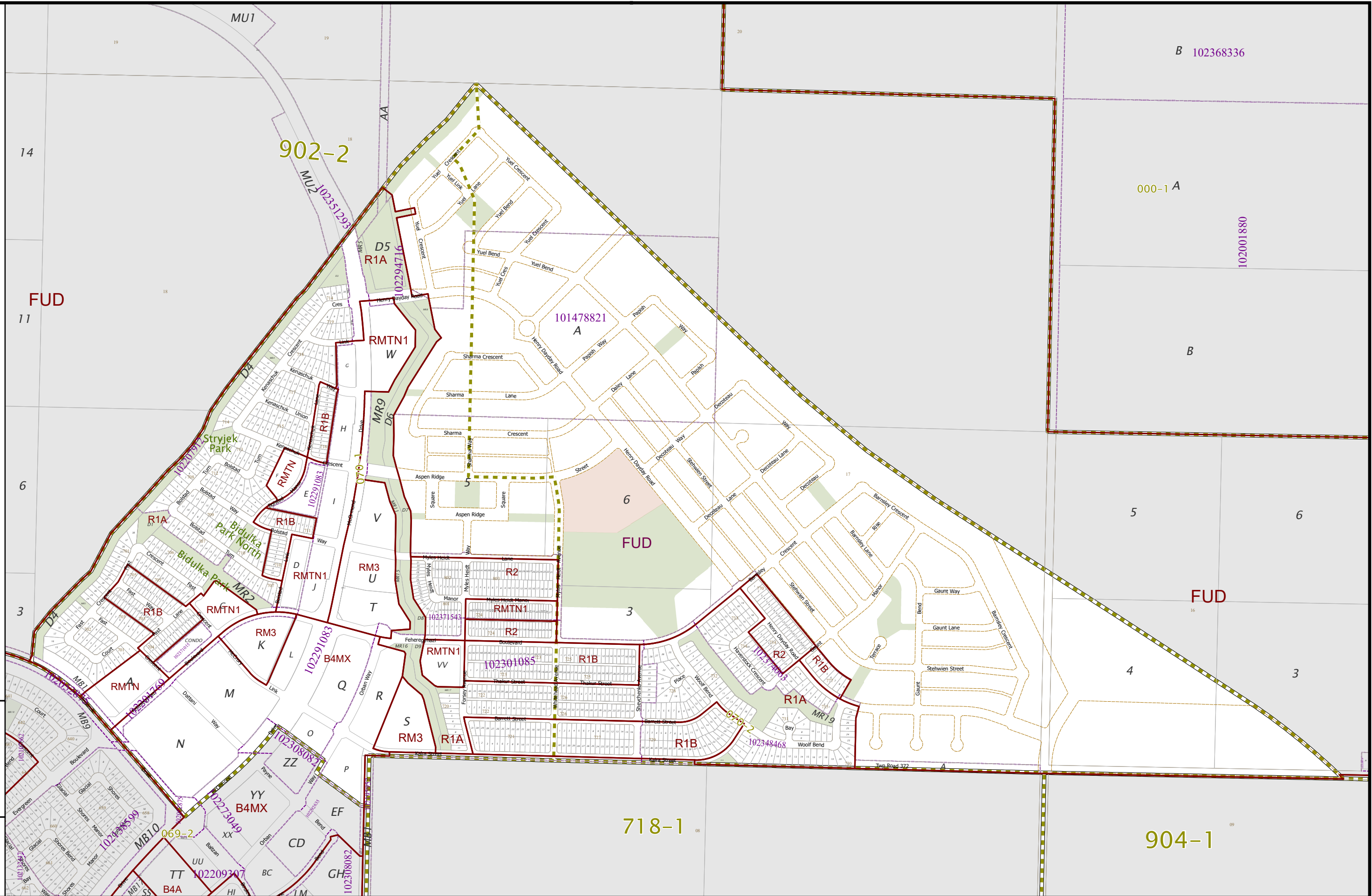


Bylaw 8770

Scale 1:8500

070-0

4/28/2022

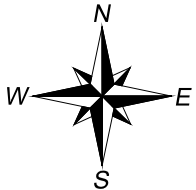


ASPEN RIDGE CONCEPT PLAN

AMENDED FEBRUARY 22, 2021

- LOW DENSITY
- LOW DENSITY MULTI-UNIT
- LOW/MEDIUM DENSITY MULTI-UNIT
- MEDIUM DENSITY MULTI-UNIT
- LOW-DENSITY MIXED-USE
- MEDIUM-DENSITY MIXED-USE
- POTENTIAL SCHOOL SITE
- MUNICIPAL RESERVE
- BUFFER STRIP
- SWALE
- GREENWAY
- LANDSCAPED DRAINAGE OPEN SPACE
- URBAN HOLDING AREA
- FUTURE INTERCHANGE
- POSSIBLE ROADWAY EXTENTION
- CONCEPT PLAN BOUNDARY
- SASKATOON FREEWAY ALIGNMENT
- CITY LIMITS
- POTENTIAL CELL TOWER LOCATION
- POTENTIAL RESIDENTIAL CARE HOME SITE

* ST - STREET TOWNHOUSE
GT - GROUP TOWNHOUSE

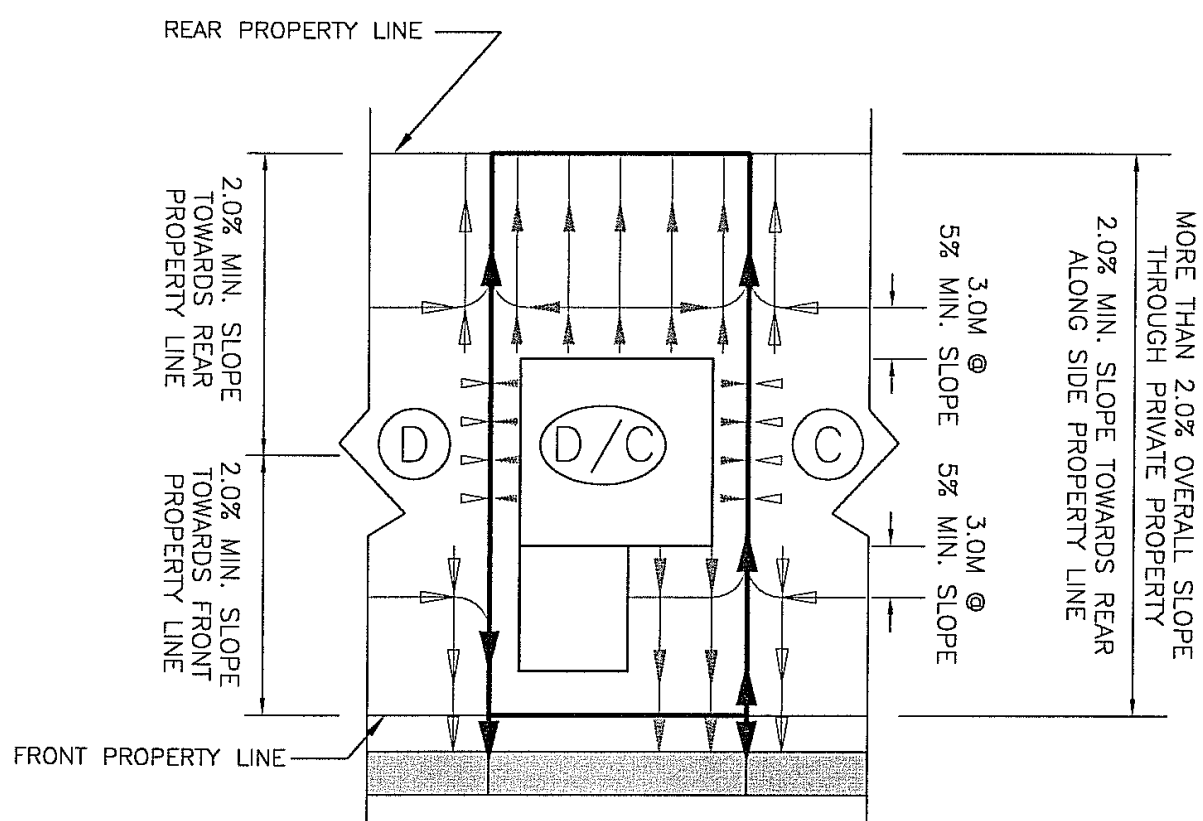
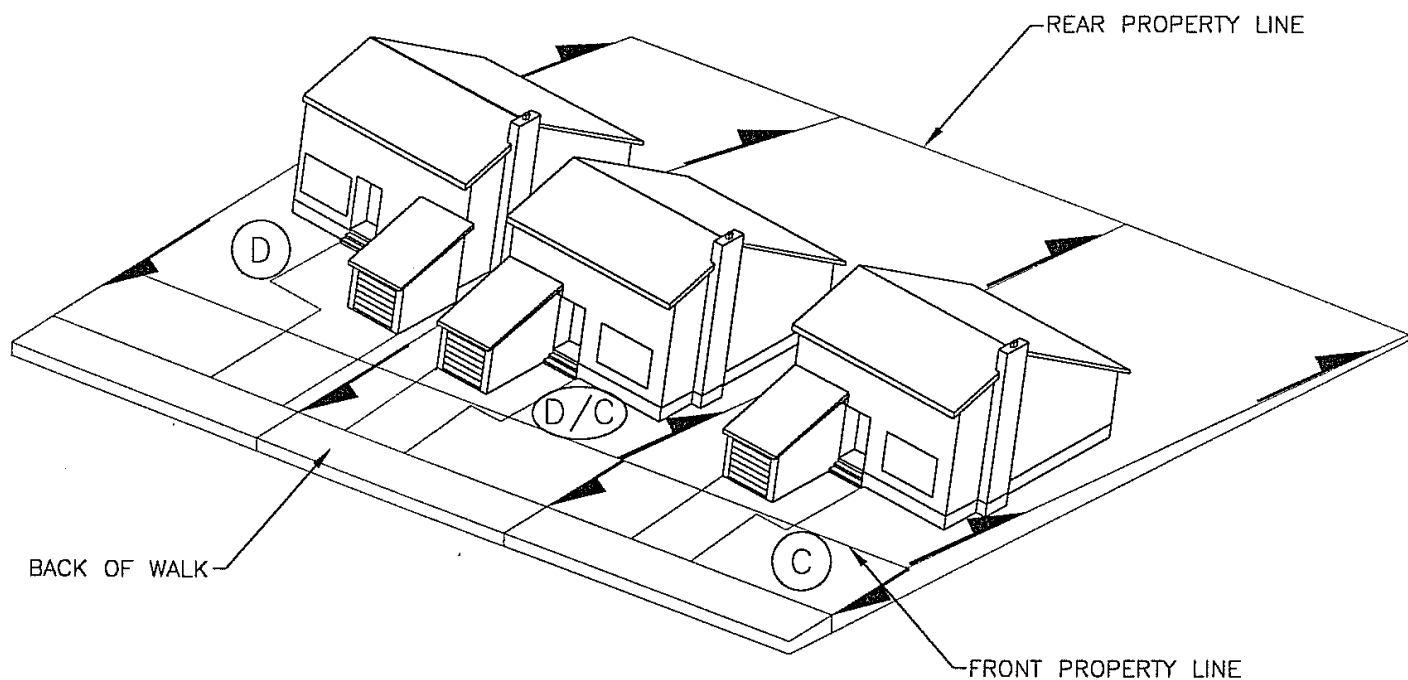


ORIGINAL Aspen Ridge
CONCEPT PLAN
APPROVED JUNE 23, 2014



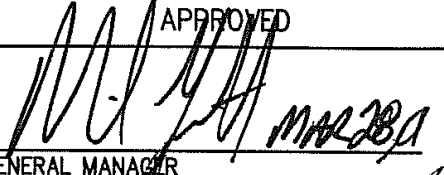
NOTE: The information contained on this map is for reference only and not to be used for legal purposes. All proposed line work is subject to change. This map may not be reproduced without the expressed written consent of Community Services Future Growth, Mapping & Research Section.

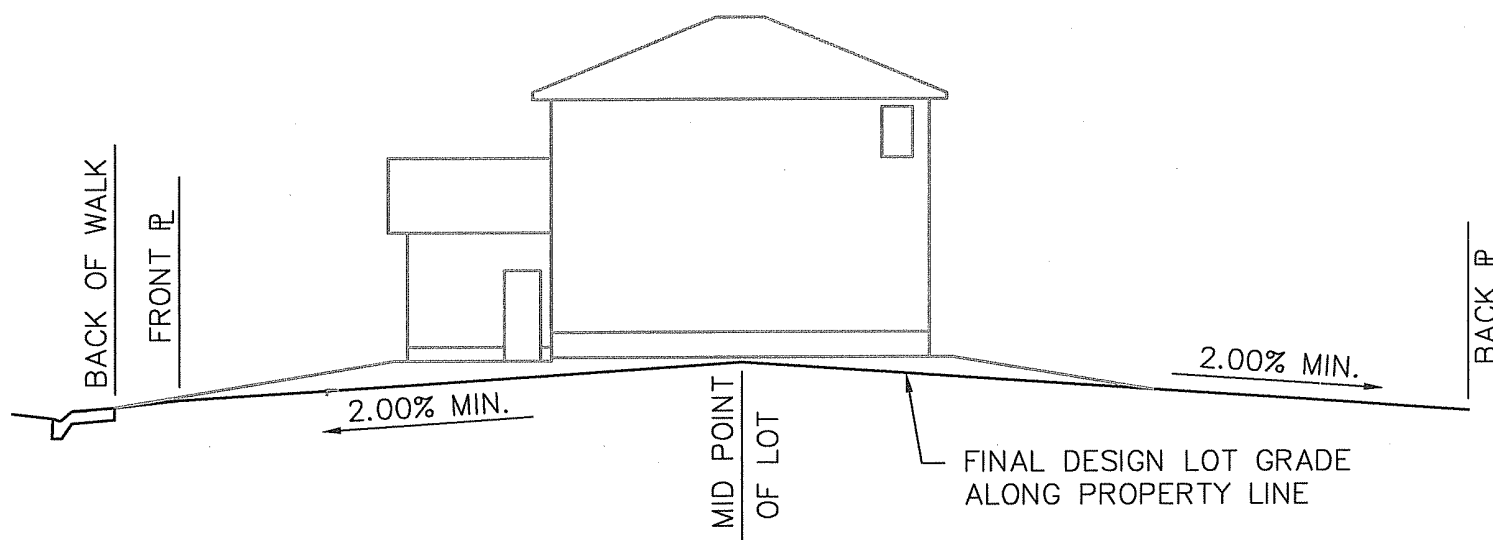
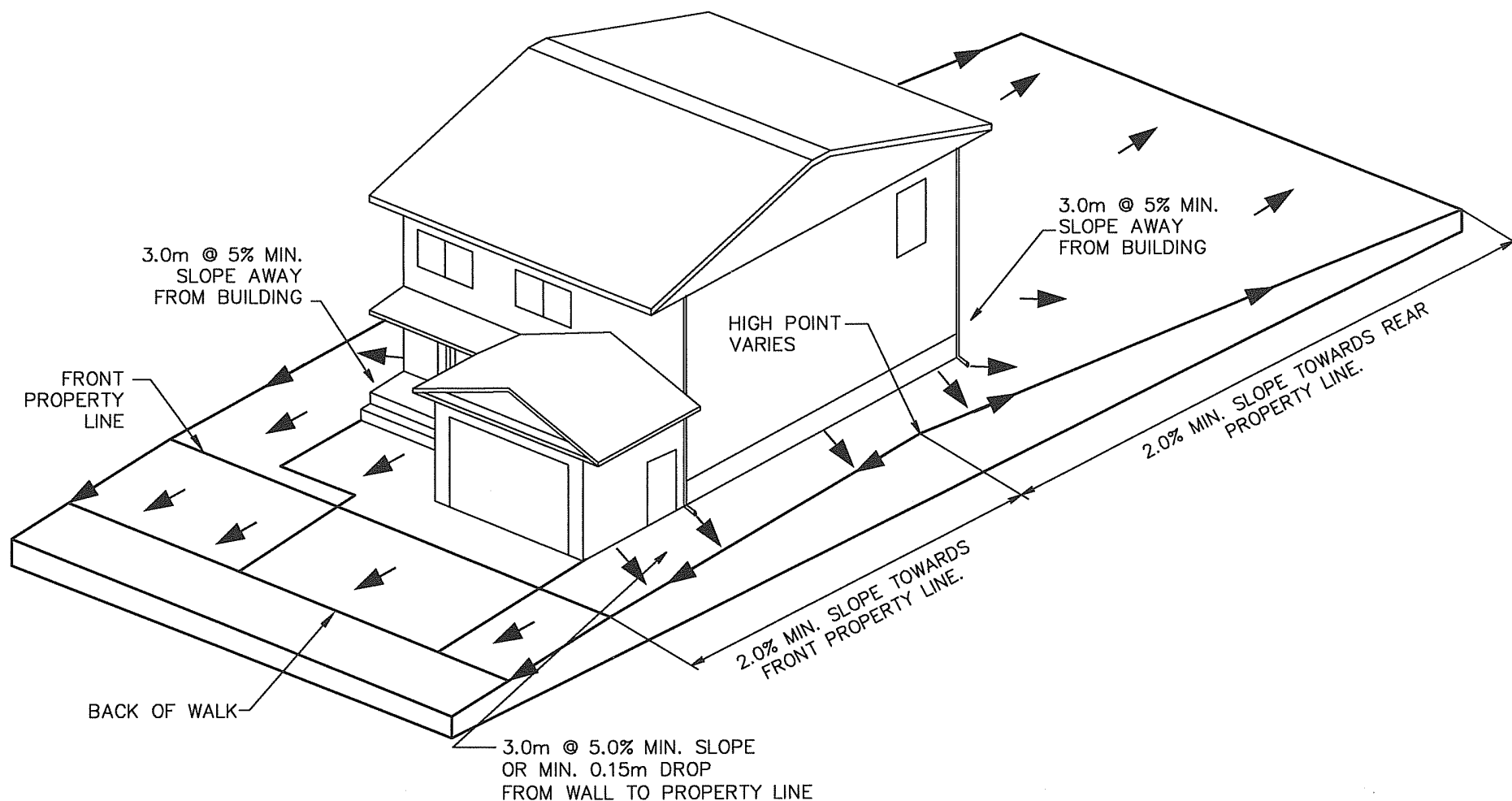
DRAWING NOT TO BE SCALED
August 10, 2022



NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE C/D IS REVERSE OF LOT TYPE D/C

PLAN VIEW
TRANSITION LOT TYPE D/C

PLAN DESCRIPTION/REVISIONS			APPROVED
4			 GENERAL MANAGER
3		LOT GRADING TRANSITION LOT TYPE D/C & C/D	 ENGINEER
2			PLAN NO. 102-0022-014r001
1			
DRAWN BY <u>LMD</u> DATE <u>2010-SEP-14</u>			
SCALE : HOR. _____ VERT. _____			



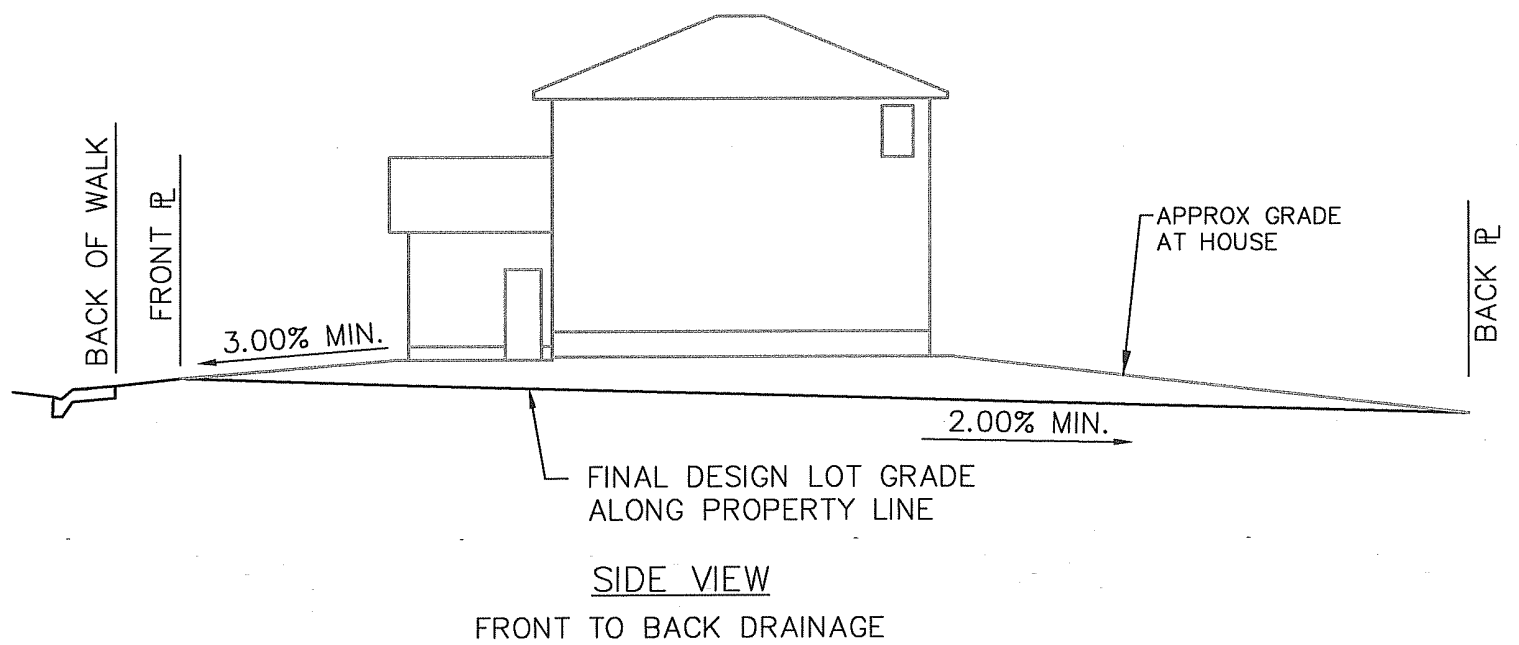
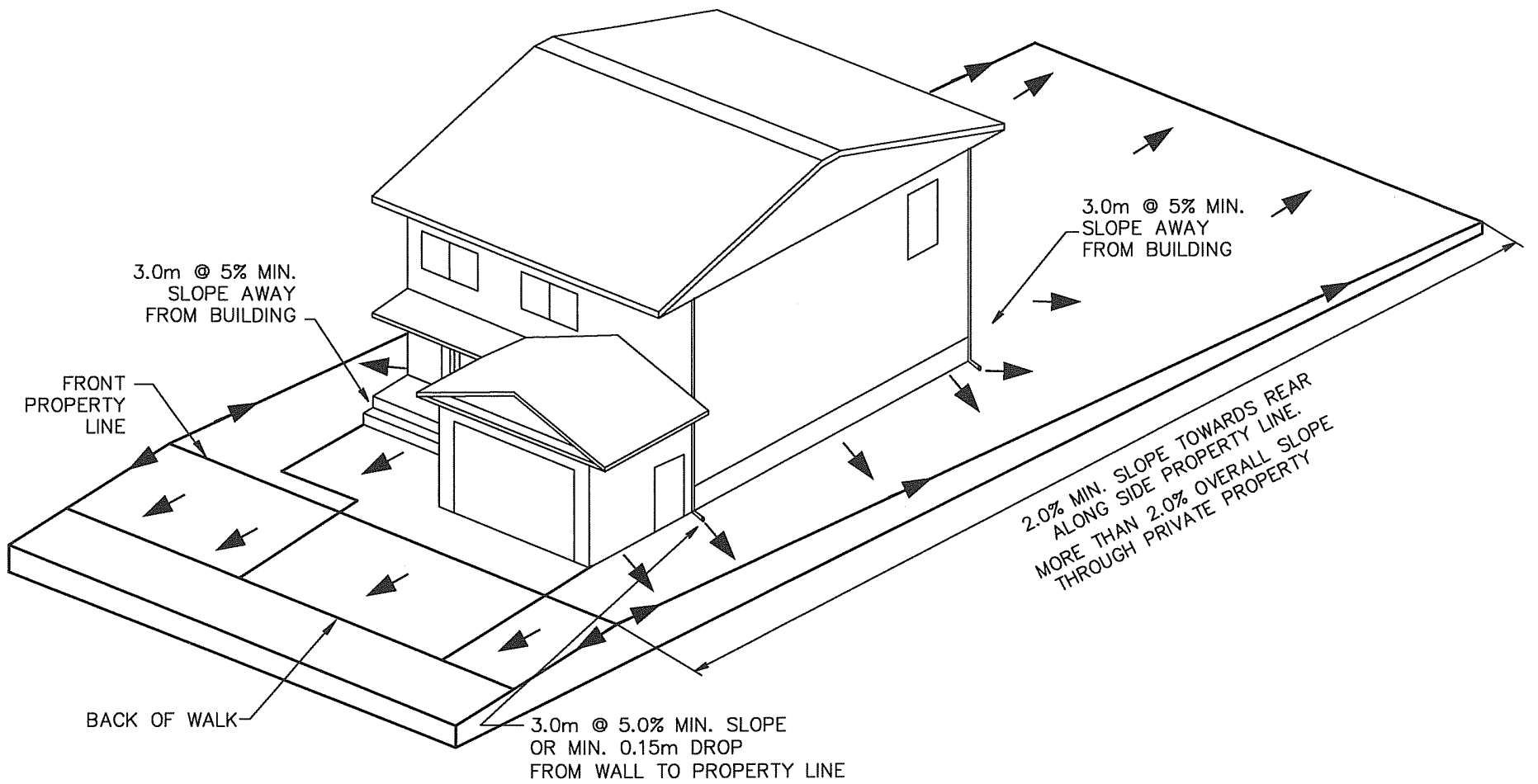
SIDE VIEW
SPLIT DRAINAGE

REVISIONS	
1	
2	
3	
DRAWN BY <u>LMD</u>	
DATE <u>04-OCT-2010</u>	
CHECKED BY _____	
DATE _____	

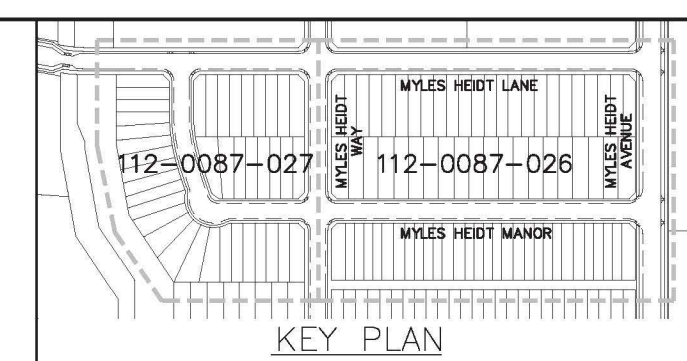
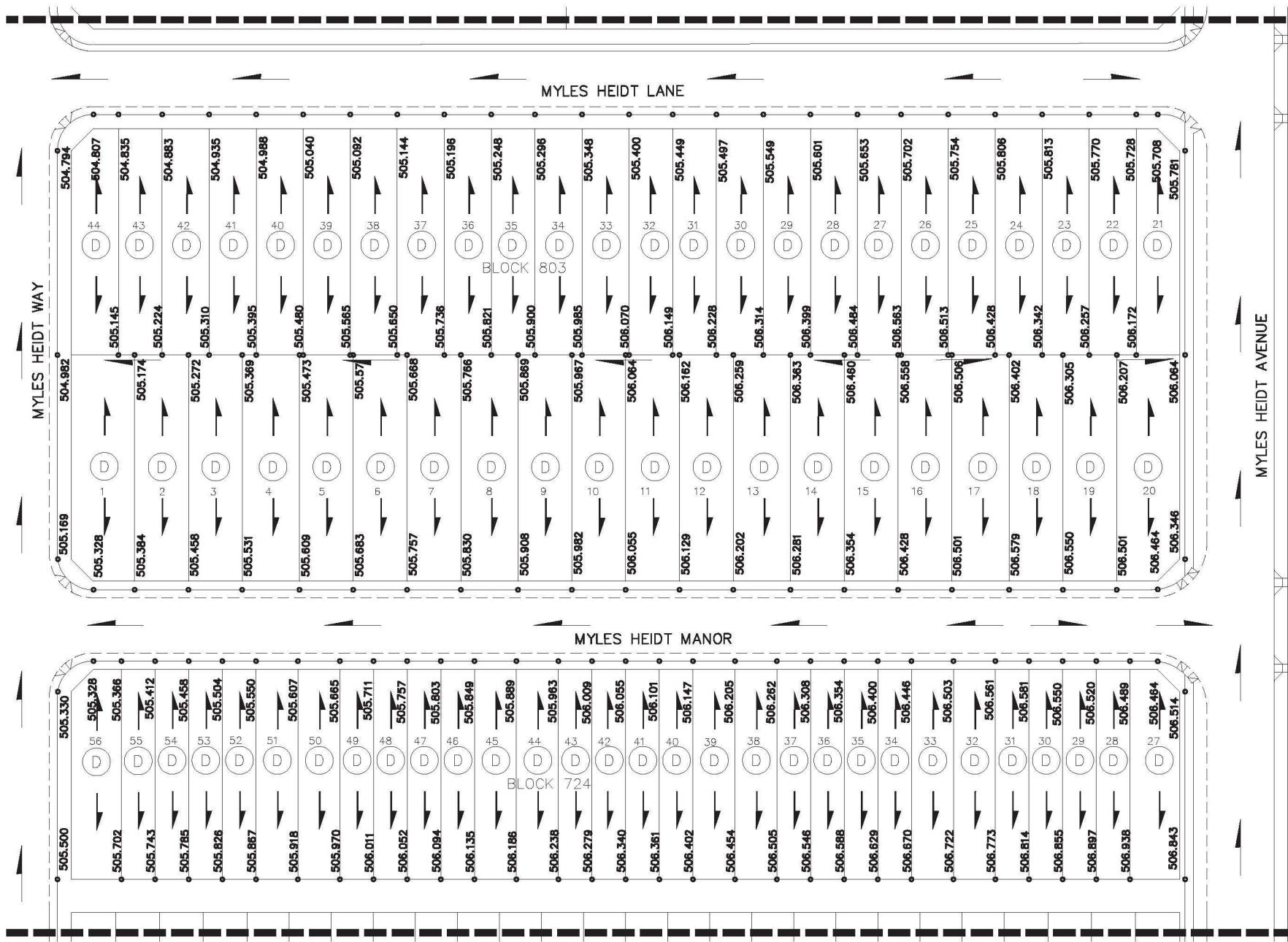
CITY OF SASKATOON
INFRASTRUCTURE SERVICES DEPARTMENT

LOT GRADING
TYPE D

APPROVED	
CITY ENGINEER	NOV 3, 10 P. ENG.
ENGINEER	
ENGINEER	
SCALES : HOR. <u>N.T.S.</u> VERT. <u>N.T.S.</u>	
PLAN NO. 102-0022-017r001	



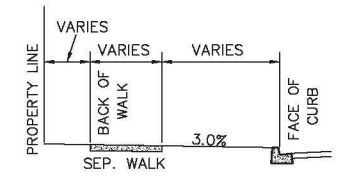
REVISIONS <table border="1"> <tr> <td>1</td> <td></td> </tr> <tr> <td>2</td> <td></td> </tr> <tr> <td>3</td> <td></td> </tr> </table>		1		2		3		CITY OF SASKATOON INFRASTRUCTURE SERVICES DEPARTMENT	APPROVED <i>[Signature]</i> Nov 3, 10 CITY ENGINEER F. ENG.
1									
2									
3									
DRAWN BY <u>LMD</u> DATE <u>04-OCT-2010</u> CHECKED BY _____ DATE _____		ENGINEER ENGINEER SCALES : HOR. <u>N.T.S.</u> VERT. <u>N.T.S.</u> PLAN NO. 102-0022- 018r001							
		LOT GRADING TYPE C							



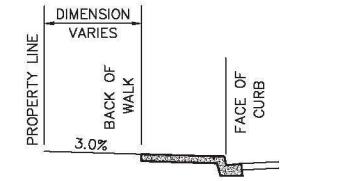
CURB & WALK LEGEND

- ROLLED CURB & WALK
- VERTICAL CURB & WALK
- ROLLED CURB ONLY
- VERTICAL CURB ONLY
- CONCRETE WALKWAY
- PHASE BOUNDARY

SEPERATE CURB & WALK

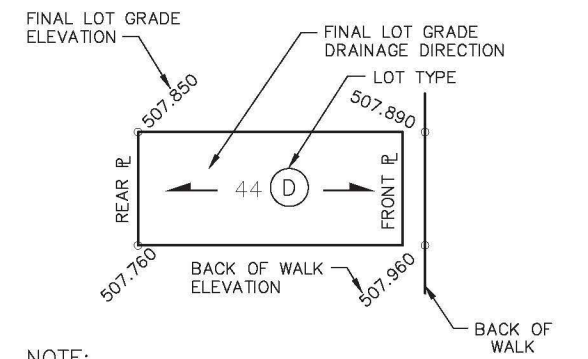


COMBINED CURB & WALK



LOT DRAINAGE DETAILS

LOT TYPE 'D' - SEE DRAWING 102-0022-017
LOT TYPE 'A' - SEE DRAWING 102-0022-016
LOT TYPE 'A-D', 'D-A' - SEE DRAWING 102-0022-013

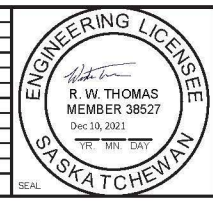


NOTE:

- FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
- DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

CONST.

PLAN DESCRIPTION/REVISION	DATE	BY
1 INITIAL BASE DRAWING SETUP - ISSUED FOR CONSTRUCTION	2021-AUG-27	KDN



CHECKED BY:	CHECKED BY:
SIGNATURE M. Nisar Khan	SIGNATURE
NAME M. Nisar Khan	NAME
DATE Dec 16, 2021	DATE
DRAWN BY KDN	DWG STDS CHECKED BY JAS
DATE 2021-AUG-27	DATE 2021-OCT-04

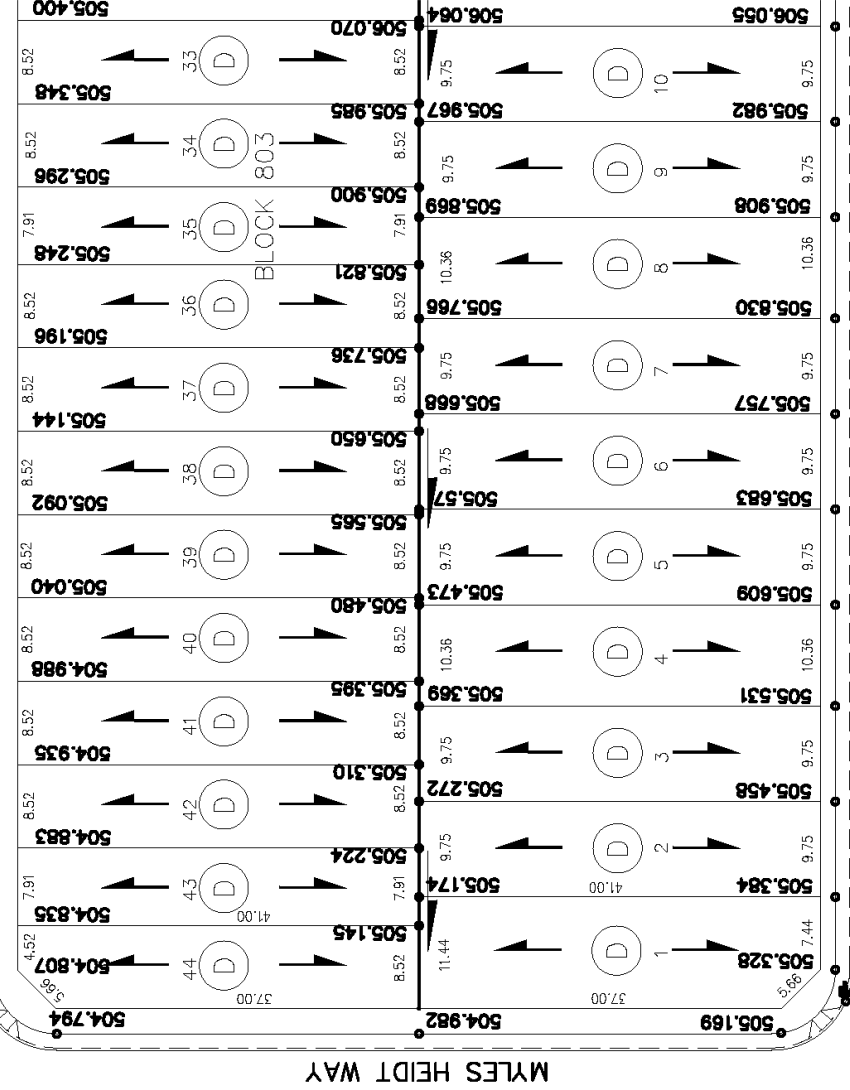


2021 ASPEN RIDGE ROADWAYS - PHASE C1
LOT GRADES
MYLES HEIDT LANE, MYLES HEIDT WAY, MYLES HEIDT MANOR, MYLES HEIDT AVENUE

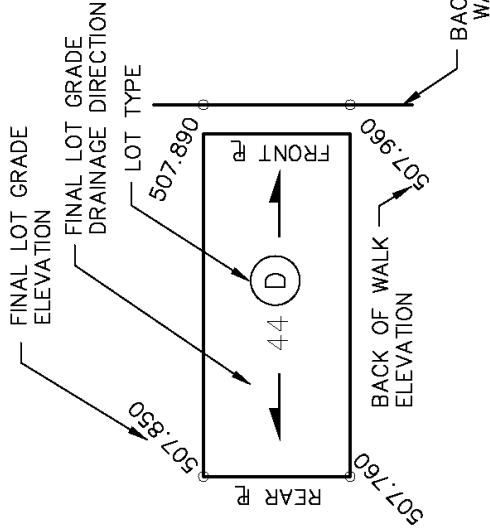
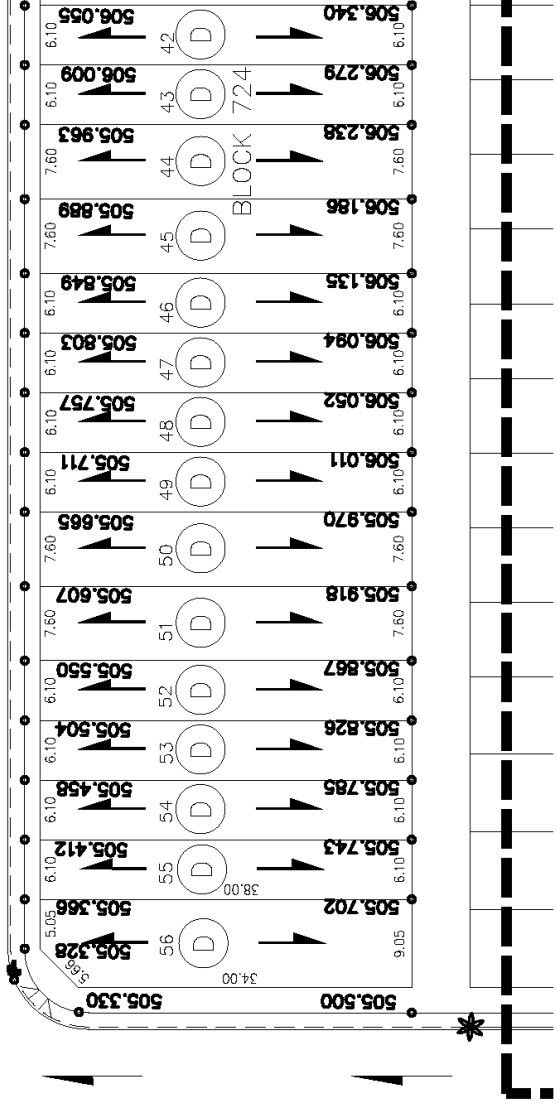
ENGINEERING MANAGER Dec 17, 2021	DATE
SCALE: HOR: 1:1000 VERT:	
SHEET NO. 1 OF 1	PLAN NO. 112-0087-026r001



MYLES HEIDT LANE



MYLES HEIDT MANOR



LOT DRAINAGE DETAILS

LOT TYPE 'D' - SEE DRAWING 102-0022-017
LOT TYPE 'C' - SEE DRAWING 102-0022-018
LOT TYPE 'C-D', 'D-C' - SEE DRAWING 102-0022-014

NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

CURB & WALK LEGEND

- ROLLED CURB & WALK
- VERTICAL CURB & WALK
- ROLLED CURB ONLY
- VERTICAL CURB ONLY
- CONCRETE WALKWAY
- PHASE BOUNDARY

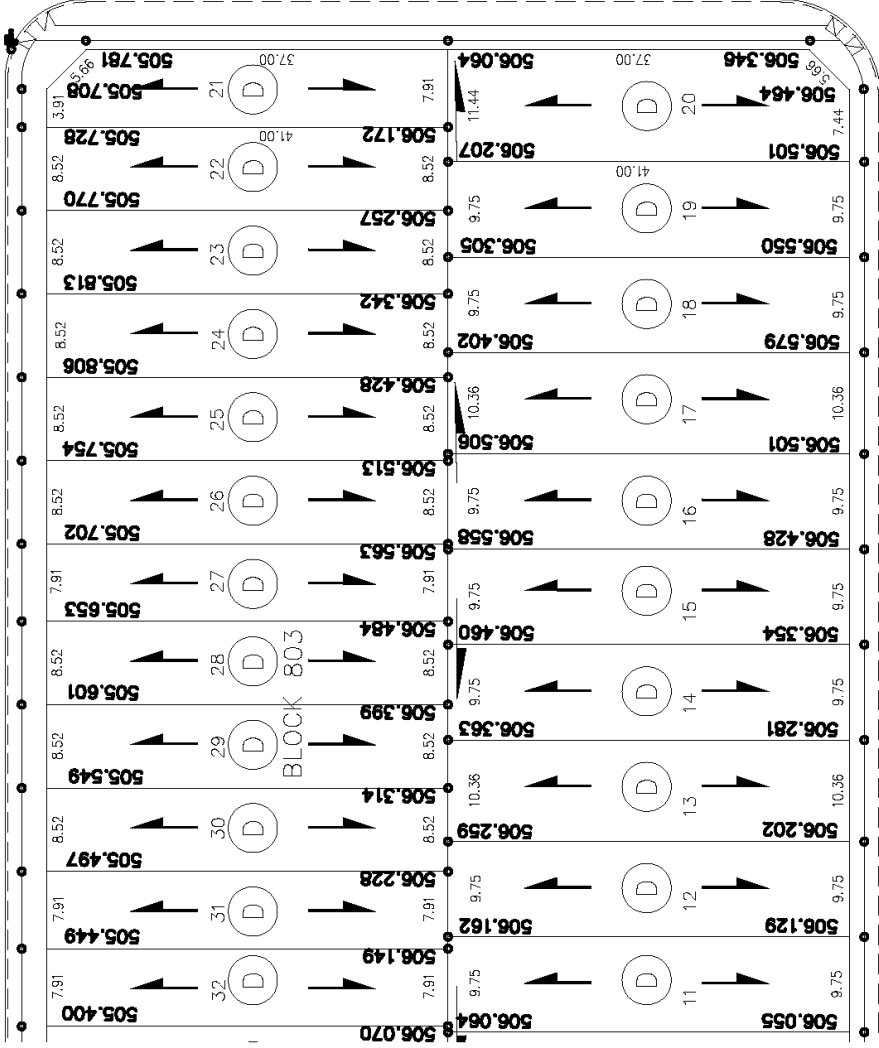
MYLES HEIDT MANOR, MILES HEIDT WAY, MILES HEIDT LANE

DRAWN BY <u>KDN</u> DATE <u>2021-AUG-27</u>		SOURCE DOCUMENT	
SCALE <u>1:1000</u>		PLAN No. <u>112-0087-026</u>	
PLAN NO.		APPROVAL DATE <u>2021-OCT-04</u>	
PAGE <u>1 OF 2</u>		REVISION DATE	



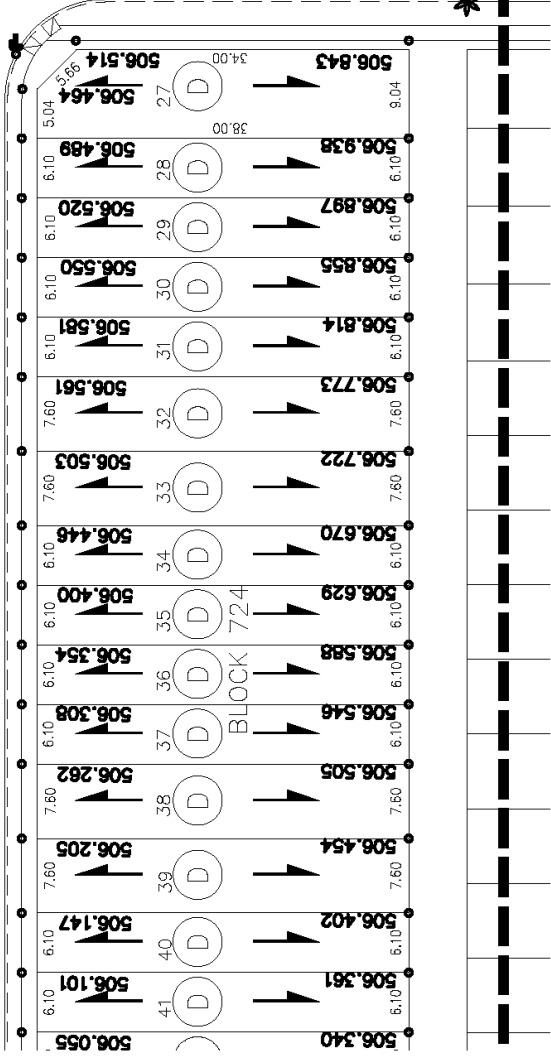


MYLES HEIDT LANE

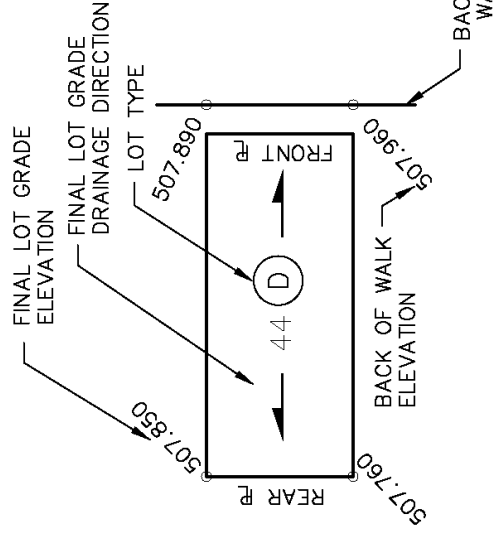


MYLES HEIDT AVENUE

MYLES HEIDT MANOR



22.00



LOT DRAINAGE DETAILS

- LOT TYPE 'D' - SEE DRAWING 102-0022-017
LOT TYPE 'C' - SEE DRAWING 102-0022-018
LOT TYPE 'C-D', 'D-C' - SEE DRAWING 102-0022-014

NOTE:

- FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
- DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

CURB & WALK LEGEND

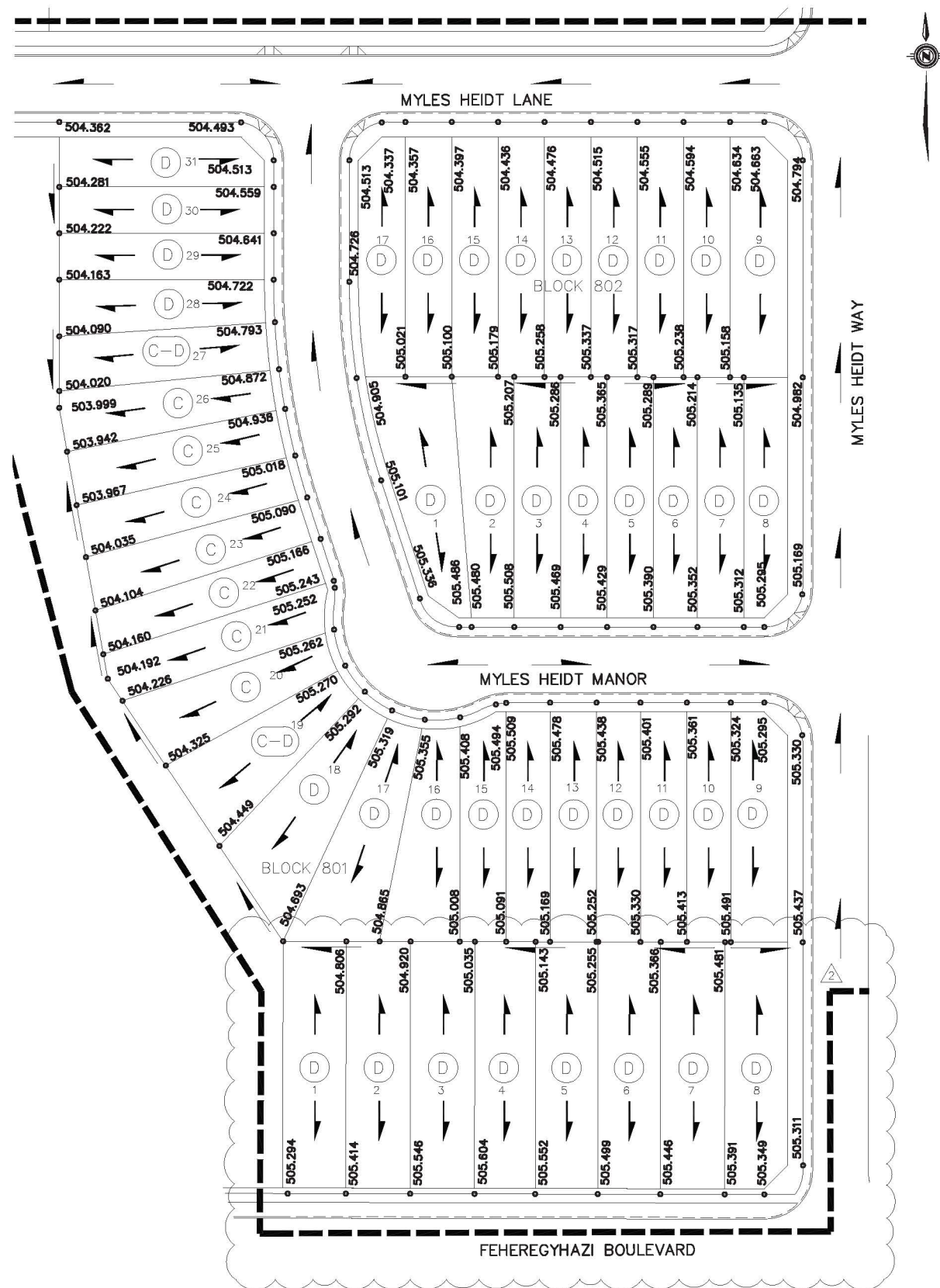
- ROLLED CURB & WALK
- VERTICAL CURB & WALK
- ROLLED CURB ONLY
- VERTICAL CURB ONLY
- CONCRETE WALKWAY
- PHASE BOUNDARY

MILES HEIDT MANOR, MILES HEIDT AVENUE, MILES HEIDT LANE

DRAWN BY	KDN	DATE	2021-AUG-27
SCALE	1:1000		
PLAN NO.			
PAGE	2 OF 2		



SOURCE DOCUMENT	
PLAN No.	112-0087-026
APPROVAL DATE	2021-OCT-04
REVISION DATE	



CONST.

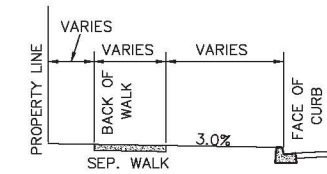


KEY PLAN

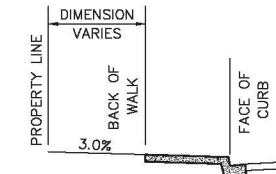
CURB & WALK LEGEND

- ROLLED CURB & WALK
- VERTICAL CURB & WALK
- ROLLED CURB ONLY
- VERTICAL CURB ONLY
- CONCRETE WALKWAY
- PHASE BOUNDARY

SEPERATE CURB & WALK

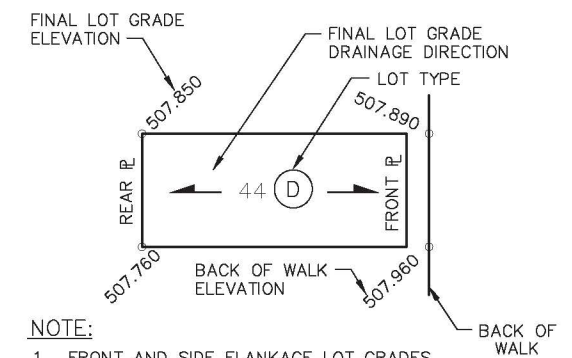


COMBINED CURB & WALK



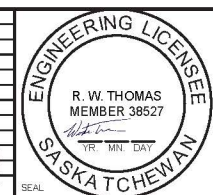
LOT DRAINAGE DETAILS

- LOT TYPE 'D' - SEE DRAWING 102-0022-017
- LOT TYPE 'A' - SEE DRAWING 102-0022-016
- LOT TYPE 'A-D', 'D-A' - SEE DRAWING 102-0022-013



- NOTE:
- FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
 - DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

PLAN DESCRIPTION/REVISION	DATE	BY
2 REVISED PHASE BOUNDARY LIMITS	2022-FEB-28	KDM
1 INITIAL BASE DRAWING SETUP - ISSUED FOR CONSTRUCTION	2021-AUG-27	KDM

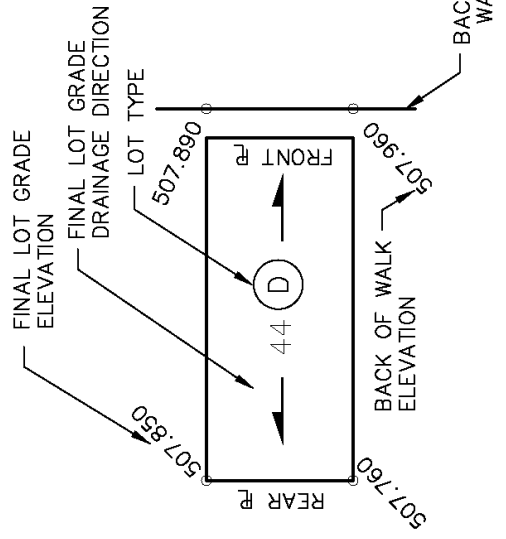
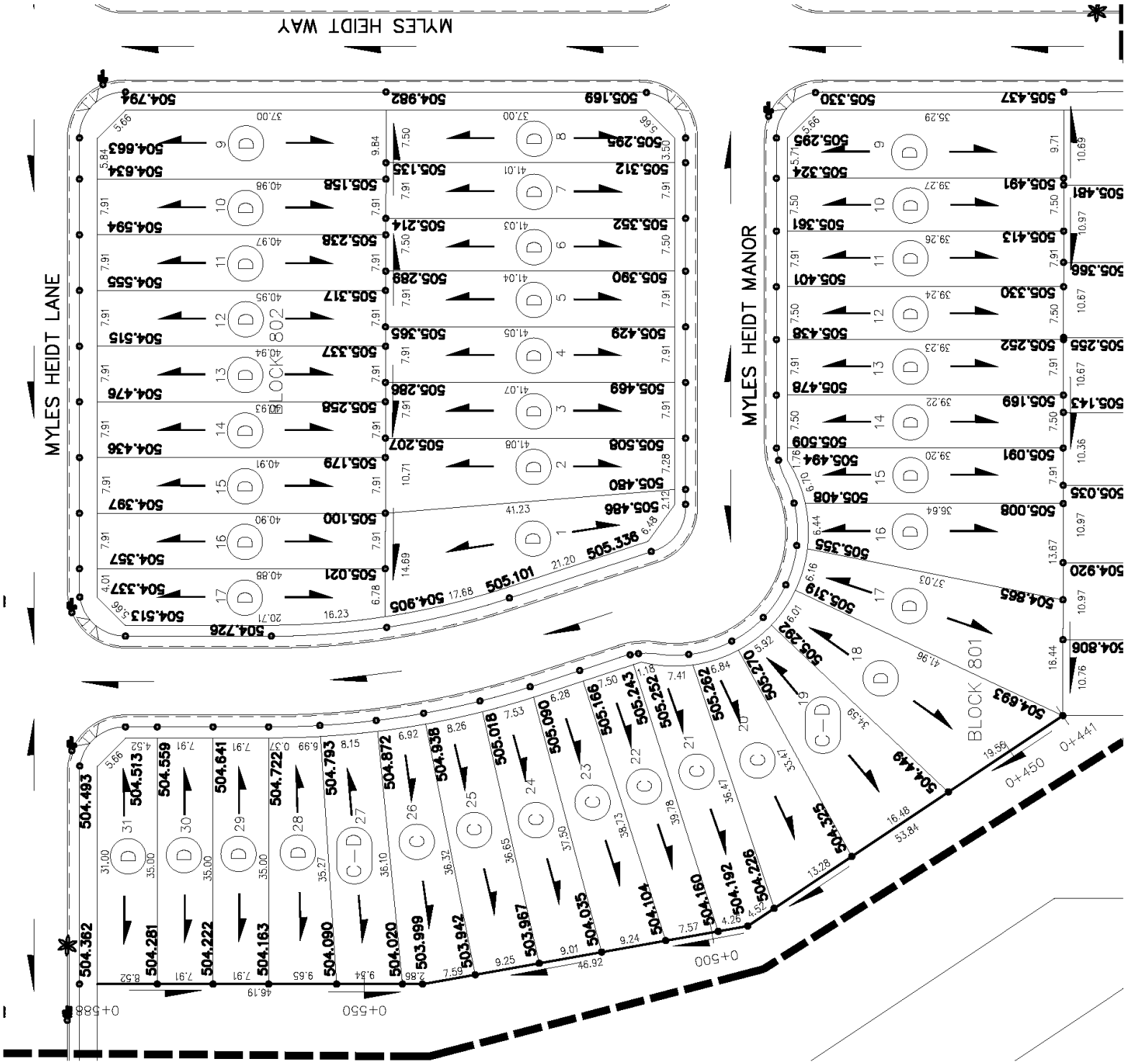


CHECKED BY:	CHECKED BY:
SIGNATURE	SIGNATURE
NAME	NAME
DATE	DATE
DRAWN BY: KDM	DWG STDS CHECKED BY: JAS
DATE: 2021-AUG-27	DATE: 2021-OCT-04



2021 ASPEN RIDGE ROADWAYS - PHASE C1
LOT GRADES
MYLES HEIDT LANE, MYLES HEIDT WAY, MYLES HEIDT MANOR,

ENGINEERING MANAGER	DATE
SCALE: HOR: 1:1250	DATE
SHEET NO. 1 OF 1	PLAN NO. 112-0087-027r002



LOT DRAINAGE DETAILS

- LOT TYPE 'D' - SEE DRAWING 102-0022-017
LOT TYPE 'C' - SEE DRAWING 102-0022-018
LOT TYPE 'C-D', 'D-C' - SEE DRAWING 102-0022-014

NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

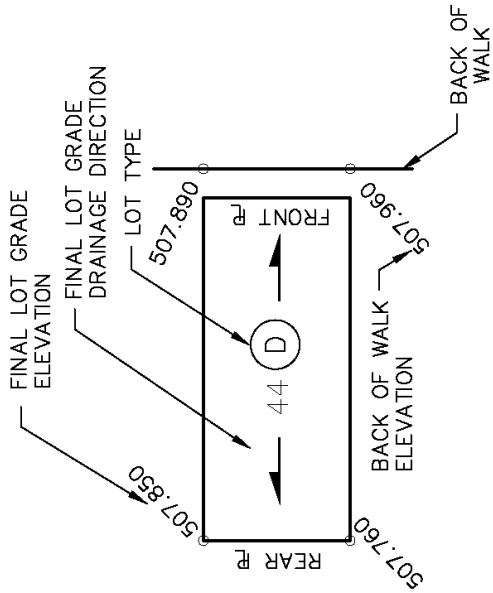
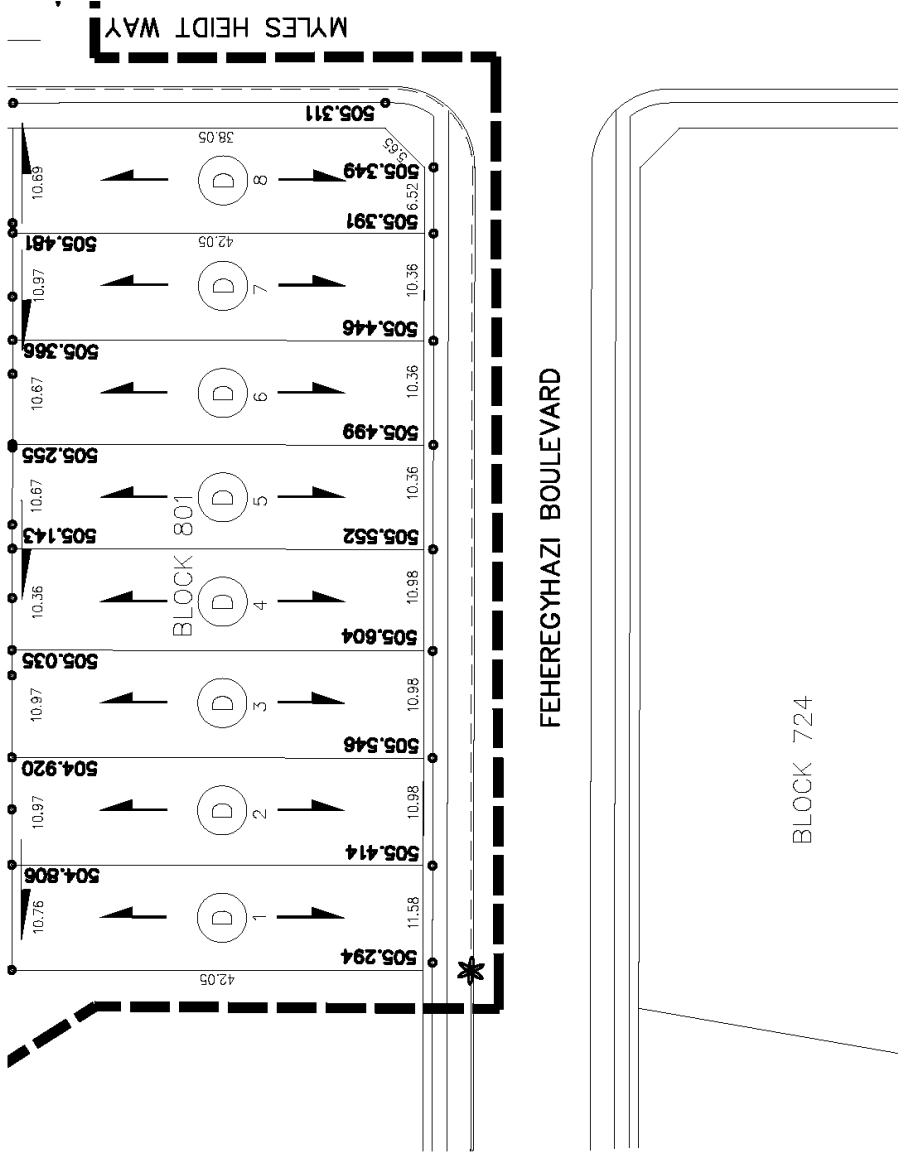
CURB & WALK LEGEND

- ROLLED CURB & WALK
- VERTICAL CURB & WALK
- ROLLED CURB ONLY
- VERTICAL CURB ONLY
- CONCRETE WALKWAY
- PHASE BOUNDARY

MILES HEIDT MANOR, MILES HEIDT WAY, MILES HEIDT LANE

City of Saskatoon Transportation and Construction Division		SOURCE DOCUMENT	
DRAWN BY <u> </u> KDN <u> </u> DATE <u>2021-AUG-27</u>		PLAN No.	112-0087-027
SCALE <u> </u> 1:1000		APPROVAL DATE	2022-MAR-02
PLAN NO. <u> </u>		REVISION DATE	
PAGE <u> </u> 1 OF 2			

MYLES HEIDT LANE



LOT DRAINAGE DETAILS

LOT TYPE 'D' – SEE DRAWING 102-0022-017
LOT TYPE 'C' – SEE DRAWING 102-0022-018
LOT TYPE 'C-D', 'D-C' – SEE DRAWING 102-0022-014

NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

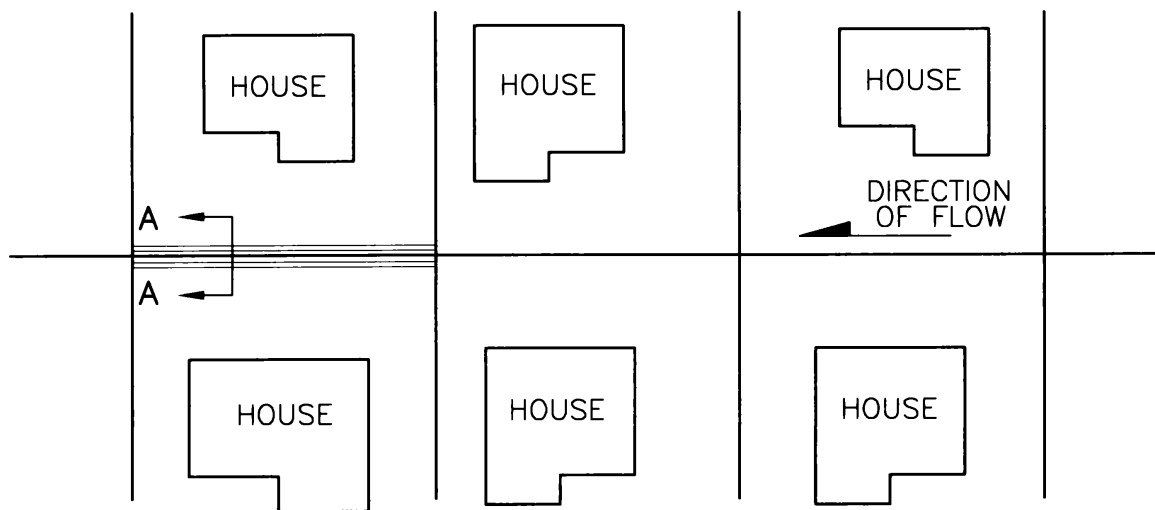
CURB & WALK LEGEND

- ROLLED CURB & WALK
- VERTICAL CURB & WALK
- ROLLED CURB ONLY
- VERTICAL CURB ONLY
- CONCRETE WALKWAY
- PHASE BOUNDARY

FEHEREGYHAZI BOULEVARD, MYLES HEIDT WAY

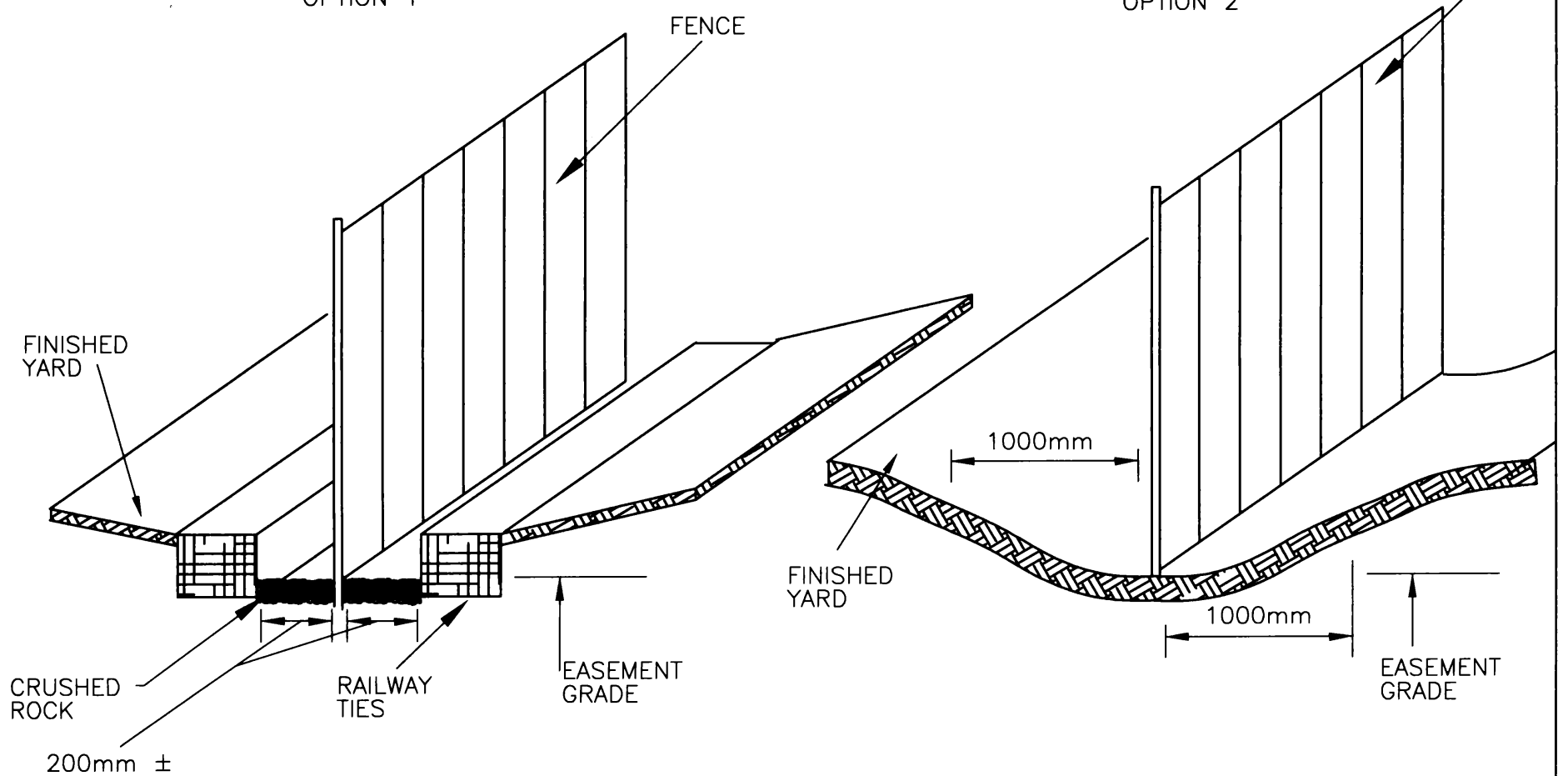
 Transportation and Construction Division	SOURCE DOCUMENT	
	PLAN No.	112-0087-027
	APPROVAL DATE	2022-MAR-02
	REVISION DATE	

DRAWN BY	KDN	DATE	2022-MAR-02
SCALE	1:1000		
PLAN NO.			
PAGE	2 OF 2		

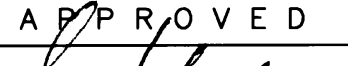


SECTION A-A
OPTION 1

SECTION A-A
OPTION 2



NOTE: REAR LOT GRADES ARE DESIGNED TO
FLOW ALONG THE FENCE LINE, SEE LOT GRADE
"PREGRADES" AND DIRECTION OF FLOW.

R E V I S I O N S		CITY OF SASKATOON INFRASTRUCTURE SERVICES DEPARTMENT	A P P R O V E D	
1			 CITY ENGINEER	P. ENG.
2			 ENGINEER	
3			 ENGINEER	
DRAWN BY <u>RPL/MRH</u> DATE <u>03/07/96</u>		EASEMENT GRADING BACK YARD	SCALES : HOR. <u>N.T.S.</u> VERT. <u>N.T.S.</u>	
CHECKED BY _____ DATE _____			PLAN NO. 102-0022-003r001	

COS Phase C1

LEGEND:

— -0.25 CUT CONTOUR
— 0.25 FILL CONTOUR
— 0.0 0.0 CUT/FILL CONTOUR

NOTE:

1. CUT/FILL CONTOURS DERIVED FROM A VOLUMETRIC COMPARISON OF "EXISTING GROUND" (TOPSOIL) (COS SURVEY SEP 2019) vs "PRELIMINARY DESIGN"

ASPEN RIDGE C1 — EARTHWORKS

CUT: 270,471m³
FILL: - 61,213m³
NET (CUT): 209,258m³

— ESTIMATED CUT/FILL IN PLACE. NO COMPACTION, OR SHRINKAGE FACTORS USED.



THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES.

PRELIMINARY ONLY

DATE

11			
10			
9			
8			
7			
6			
5			
4			
3			
2			
1	PRELIMINARY	2019-MAR-03	EDH
	PLAN DESCRIPTION/REVISION	DATE	BY

SEAL

CHECKED BY:

CHECKED BY:

DATE

DATE

DRAWN BY

DATE



City of
Saskatoon

Transportation & Utilities Department

ASPEN RIDGE LAND DEVELOPMENT PHASE C1

AREA GRADING

CUT & FILL CONTOURS

CHIEF ENGINEER

SCALES:

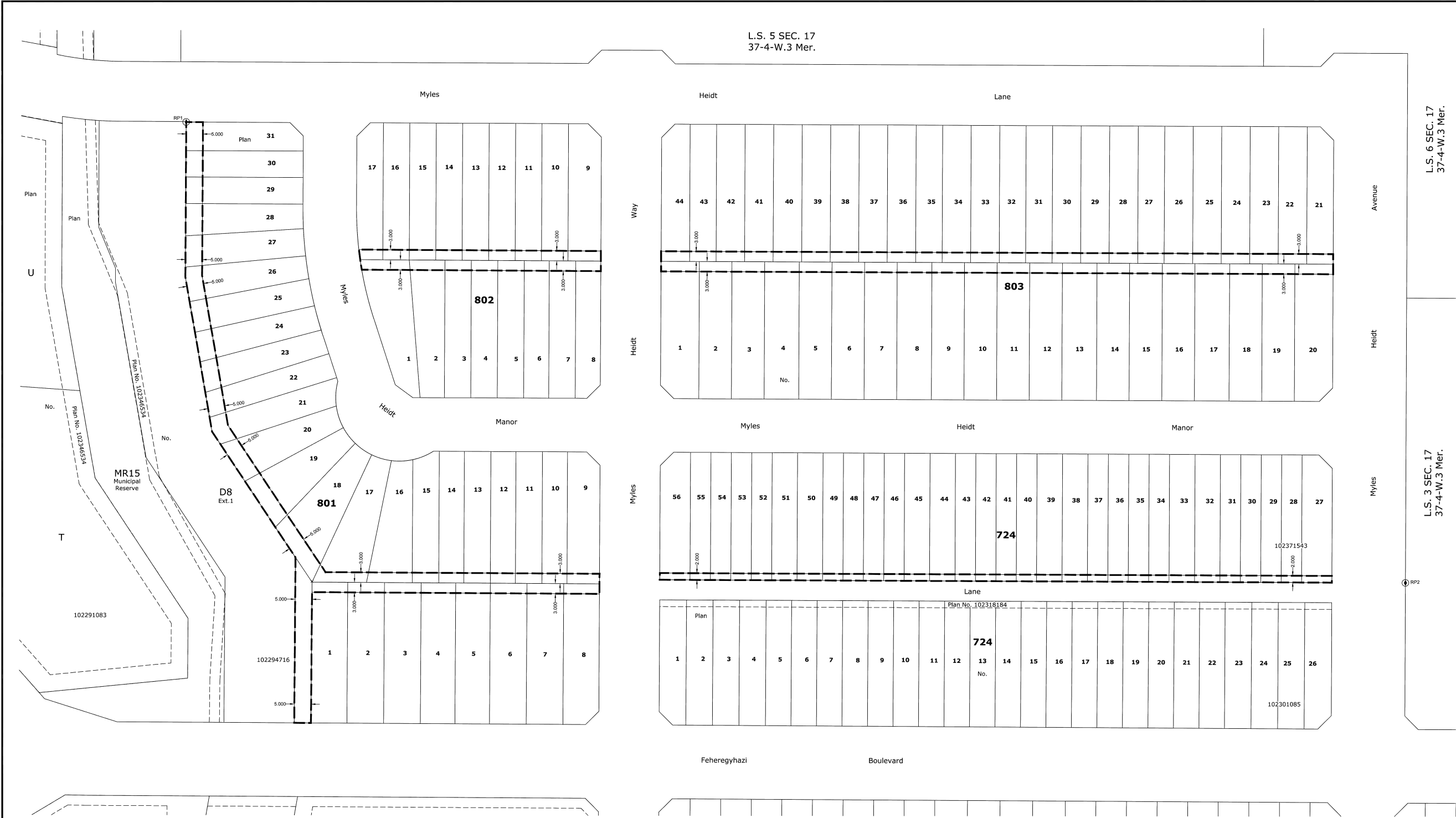
HOR. 1:2500

VERT. 1:2500

SHEET NO.

PLAN NO.

113-0087-326r001



DESCRIPTIVE PLAN - TYPE II
showing
FEATURE UTILITY RIGHT OF WAY
in

Lots 27-56, Block 724,
Lots 1-31, Block 801,
Lots 1-17, Block 802,
and Lots 1-44, Block 803,
Plan No. 102371543,
and in Parcel D8,
Plan No. 102294716
S.W.1/4 Sec.17,
Twp.37-Rge.4-W.3 Mer.,
Saskatoon, Saskatchewan
By: J.L. Jacobson S.L.S.
Date: March 8, 2022
Scale: 1:500

Notes
Measurements are in metres and decimals thereof.
Area to be approved is outlined with a heavy dashed line.
Width of right of way is as shown.
The extensions of all parcels affected by this feature are 0 unless otherwise shown.
New Right of Way limits are straight lines unless otherwise shown.
The Datum used: NAD83 (CSRS).
The Projection used: UTM Zone 13N extended.
RP Coordinates were derived on July 22, 2021.
Geo-referenced points derived from GNSS Observations.

Legend
Standard iron posts found are shown thus ♦
Reference Points are shown thus ○ RP1 ○ RP2

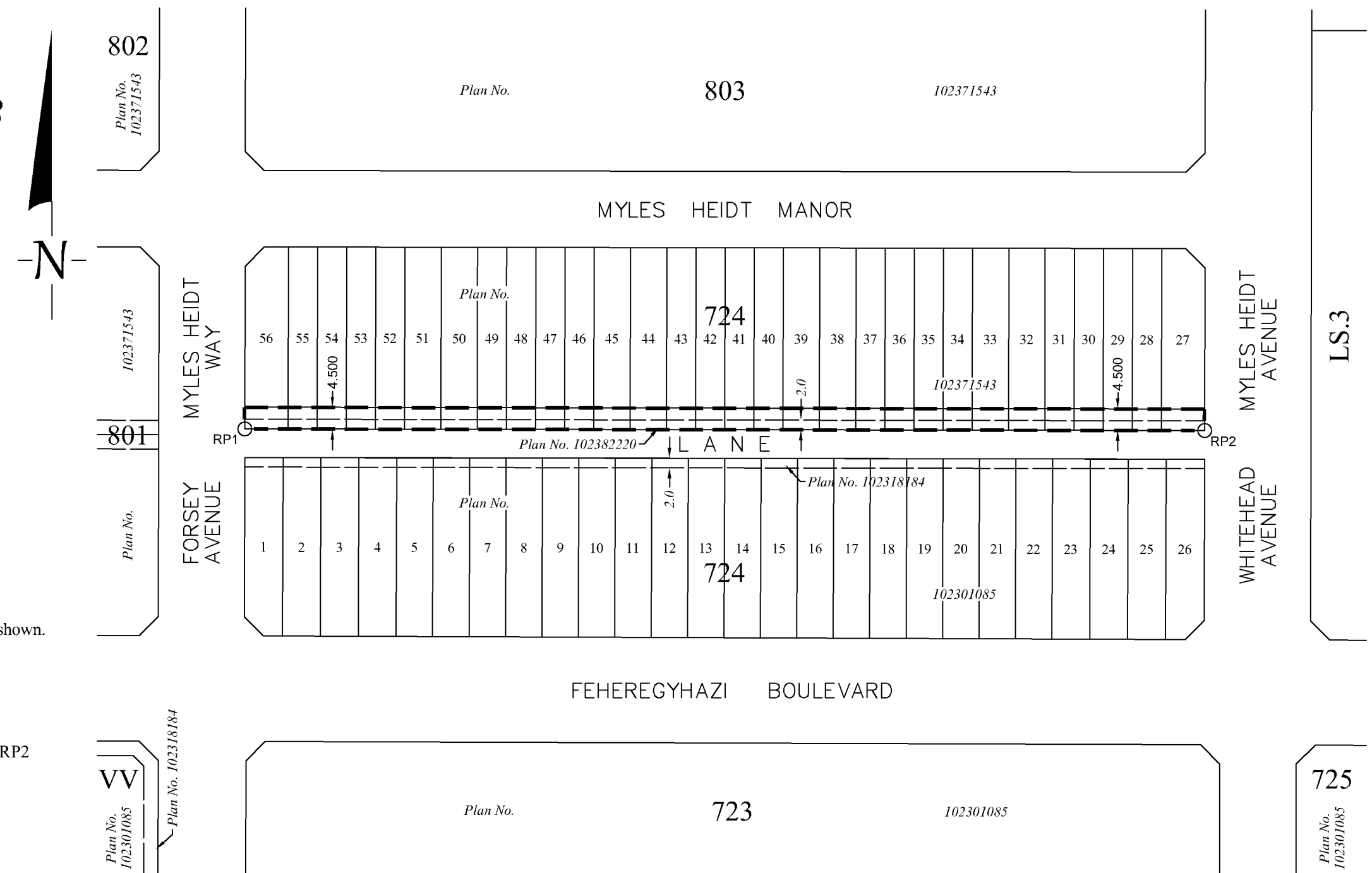
Descriptive Plan - Type II
Showing
Feature Utility Right of Way

in
Lots 27 to 56 inclusive
Block 724, Plan No. 102371543
within SW ¼ Section 17
Twp 37 - Rge 4 - W3Mer.
Saskatoon, Saskatchewan

By: J.C.Lehmkuhl S.L.S.
Date: November 23, 2022
Scale: 1:1000

LEGEND

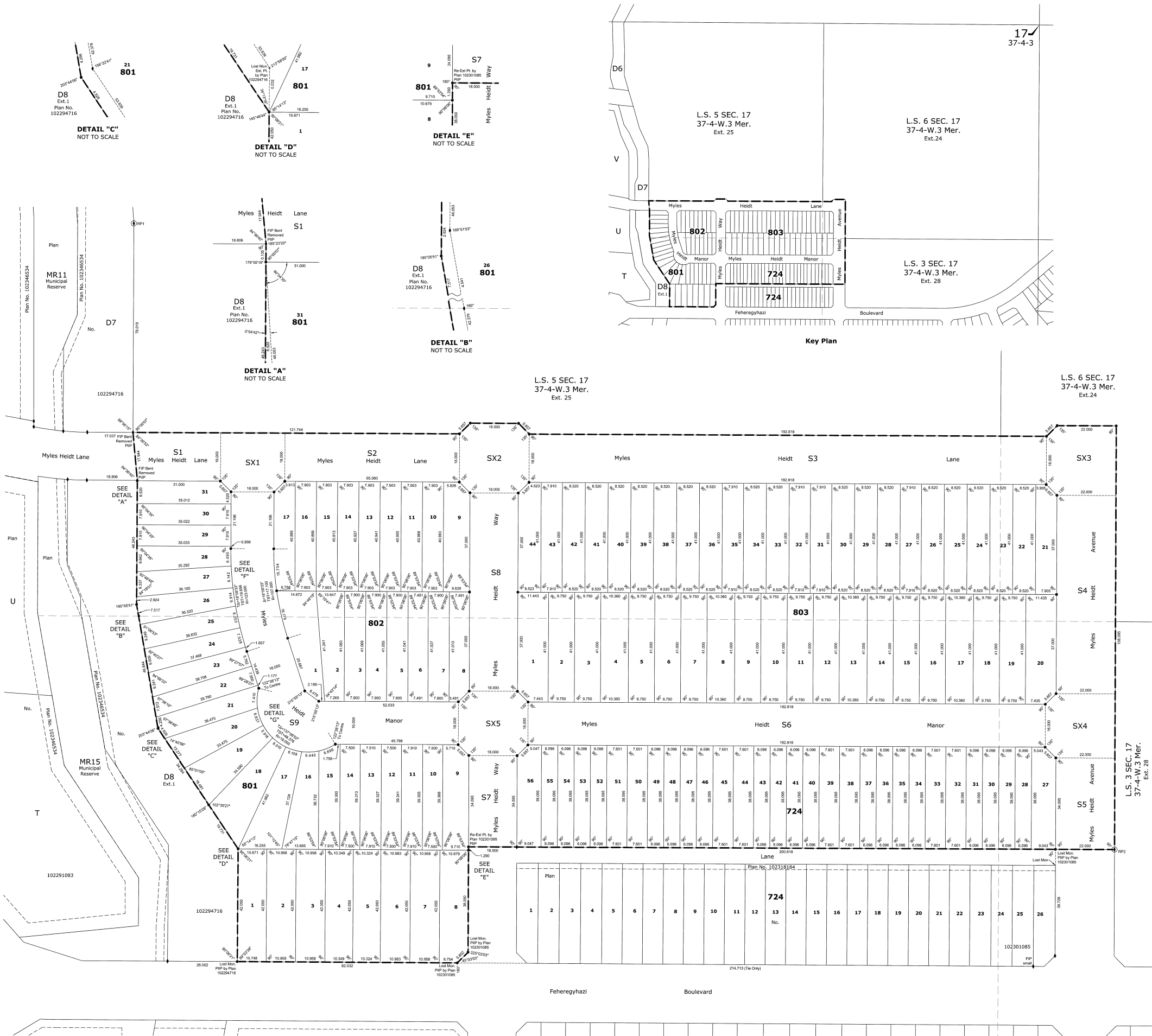
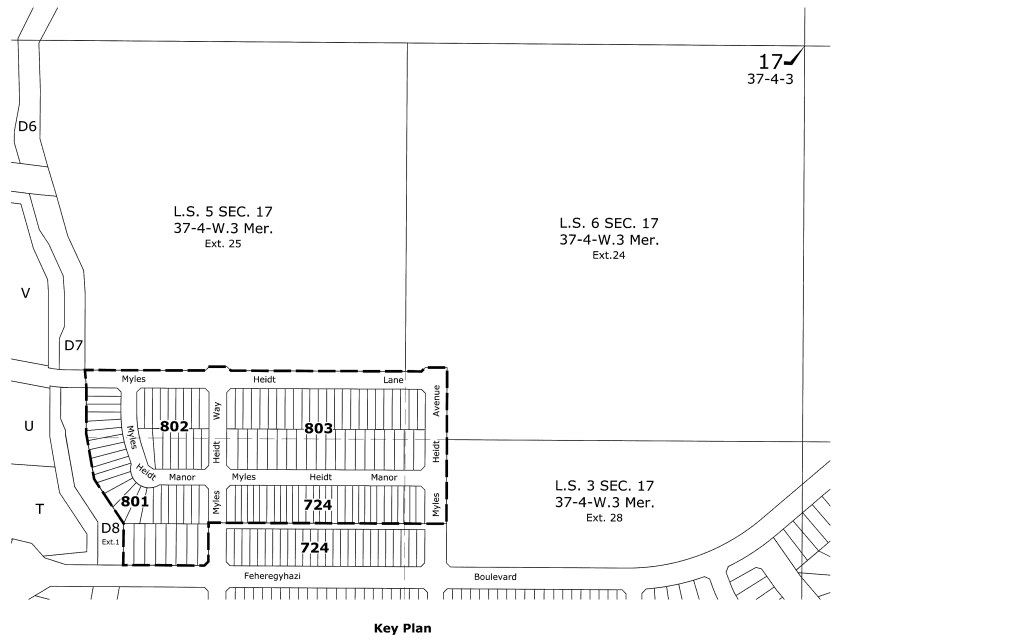
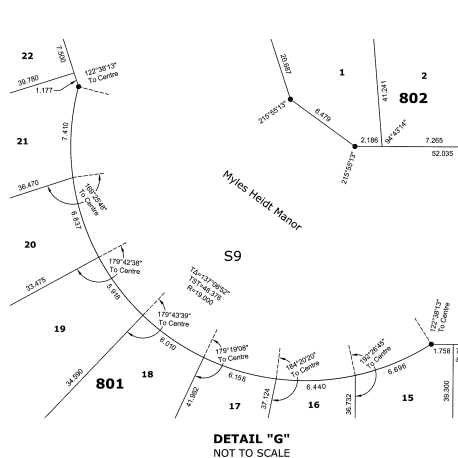
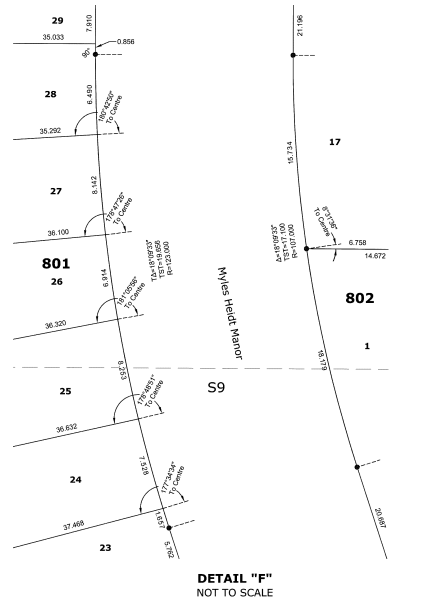
Measurements are in metres and decimals thereof and are copied.
Area to be approved is outlined by a heavy dashed line.
The extensions of all parcels affected by this feature are 0 unless otherwise shown.
New Right of Way limits are straight lines unless otherwise shown.
Width of Right of Way is 4.5m unless otherwise shown.
The Datum used: NAD83 (CSRS)
The Projection used: UTM Zone13N extended
RP coordinates are current as of November 23, 2022 AD
Reference points are shown thus ○ RP1 , ○ RP2
Georeferenced points derived from SaskGrid.



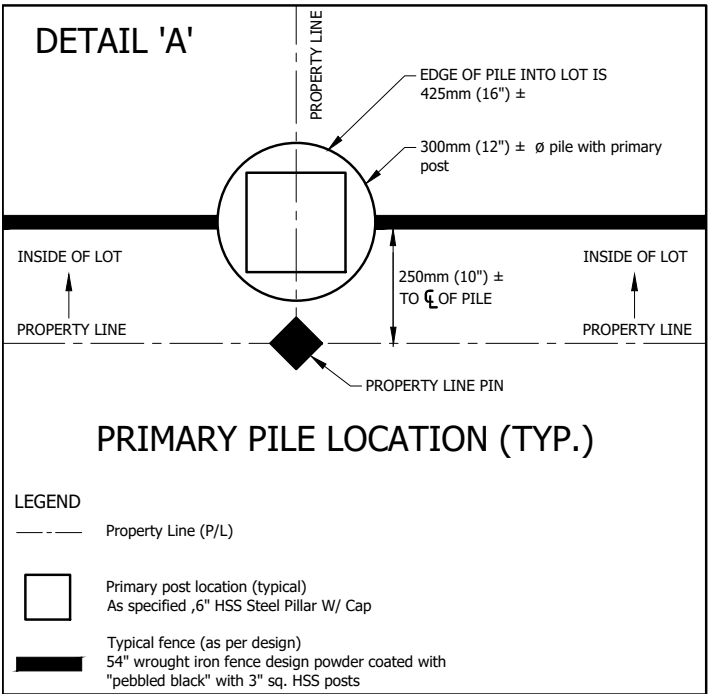
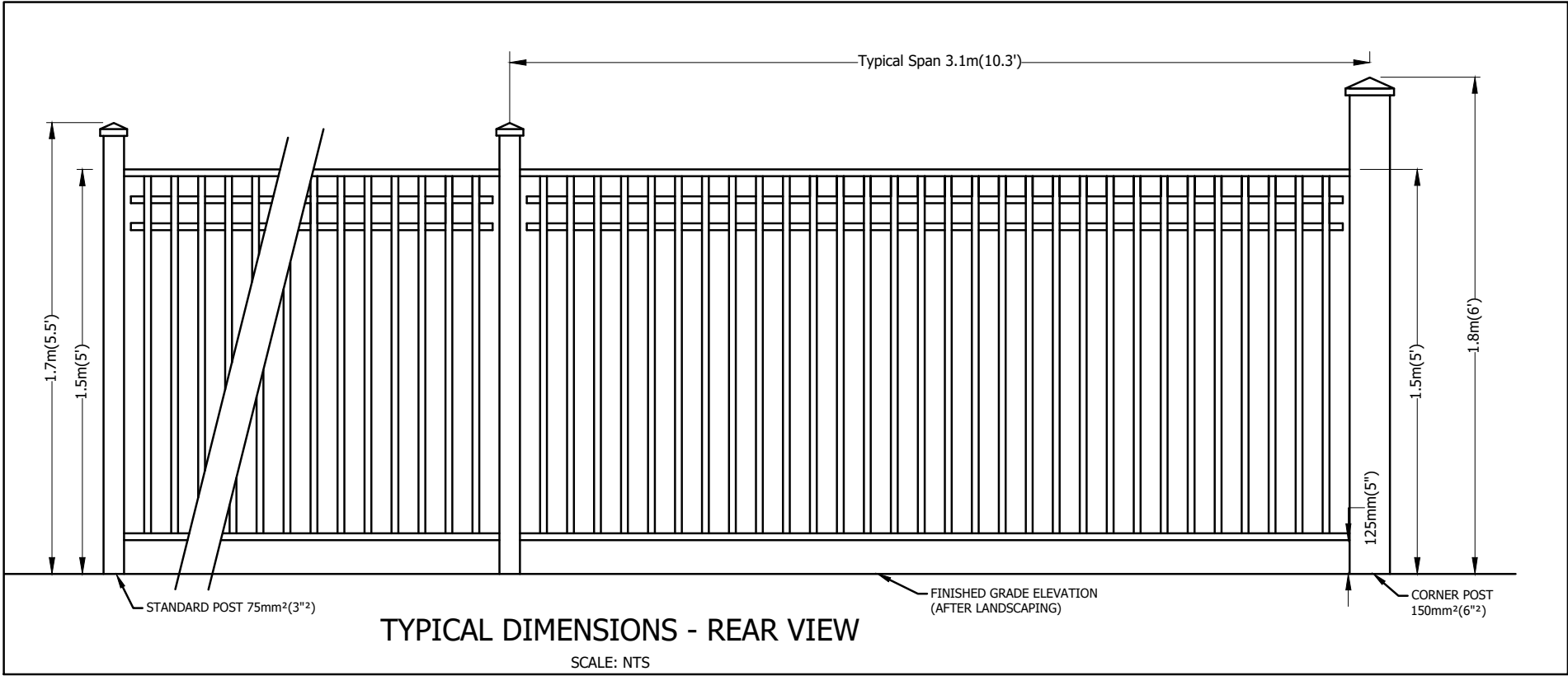
PLAN OF SURVEY
showing
SURFACE SUBDIVISION
of all of
L.S.4 Sec.17,
Twp.37-Rge.4-W.3 Mer.
and part of
L.S.3, L.S.5 & L.S.6 Sec.17,
Twp.37-Rge.4-W.3 Mer.
and part of
Parcel D8, Plan No. 102294716,
in the
S.W.1/4 Sec.17,
Twp.37-Rge.4-W.3 Mer.
Saskatoon,
Saskatchewan
By: J.L. Jacobson, S.L.S.
Date: July-September, 2021
Scale: 1:500

Notes
Measurements are in metres and decimals thereof.
All lot corners, not marked by a standard iron post, are marked by 0.013 x 0.450 small iron posts.
Area to be approved is outlined with a heavy dashed line.
All parcels within the line of approval have extension (0) unless otherwise shown.
The Unique Identifier of S280 has been stamped on all established standard iron posts.
The Datum used: NAD83 (CSRS).
The Projection used: UTM Zone13N extended.
RP Coordinates were derived on July 22, 2021.
Geo-referenced points derived from GNSS observations.

Legend
Standard iron posts found are shown thus
Standard iron posts planted are shown thus
Established points are shown thus
Reference Points are shown thus RP1 ○ RP2



Aspen Ridge No Gate Decorative Fence Details



NOTES:

- DO NOT DISTURB fence piles during basement excavation
- Centerline of fence is APPROXIMATELY 250mm (10") ± inside of lot. THE ACTUAL DISTANCE MAY VARY
- SIDEYARD FENCE SITUATION: Please determine exact location of fence prior to finalizing house width

