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MULTI-UNIT LAND SALE by PUBLIC TENDER

**Multi-unit land is for sale in the
Aspen Ridge Community**

**Contact Saskatoon Land today for further
details!**

Saskatoon Land
201-3rd Ave N
Saskatoon, SK S7K 2H7

Phone: 306-975-3278
Email: land@saskatoon.ca

Saskatoonland.ca

ATTACHMENTS

- 1 – Site Map
- 2 – Architectural Controls
- 3 & 4 – Registered Survey Plans
- 5 & 6 – Registered Feature Plan
- 7 – Cut/Fill Map
- 8 – Design Contour Map
- 9 – RMTN & RMTN1 Zoning Districts
- 10 – Zoning Map
- 11 – Lot Grades



PROJECT FACT SHEET

City/Town:	Saskatoon
Type:	Land
Zoning:	RMTN1
Land Area:	1.63ac (0.66ha)
Civic Address:	425 Bolstad Link
Possession:	Immediate
Occ.:	Vacant
Property Tax:	\$15,200.97 (2020 estimate)
List Date:	10/9/2021
Closing Date:	13/10/2021 2:00pm
Legal:	Parcel D, Plan No. 102207912
ISC Parcel #:	203205372
Lease Type:	None
Environmental:	Yes (for the whole community)
Nearby Amenities:	Evergreen Crossing Commercial, Evergreen Village Square Commercial, Bidulka Park (Playground), University Heights Commercial (restaurants, banks, grocery), Evergreen Elementary Schools, High Schools, Northeast Swale (Conservation Area)

Reserve Price

\$1,999,000

Development on this site will be required to meet Saskatoon Land's Architectural Controls.



Get in Touch

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PROJECT FACT SHEET

City/Town: Saskatoon
 Type: Land
 Zoning: RMTN1
 Land Area: 2.12ac (0.86ha)
 Civic Address: TBD
 Possession: Immediate
 Occ.: Vacant
 Property Tax: \$20,205.33 (2020 estimate)
 List Date: 10/9/2021
 Closing Date: 13/10/2021 2:00pm
 Legal: Parcel J, Plan No. 102291083:
 ISC Parcel #: 203542826
 Lease Type: None

Environmental: Yes (for the whole community)
 Nearby Amenities: Evergreen Crossing Commercial, Evergreen Village Square Commercial, Bidulka Park (Playground), University Heights Commercial (restaurants, banks, grocery), Evergreen Elementary Schools, High Schools, Northeast Swale (Conservation Area)

Reserve Price

\$1,793,000

Development on this site will be required to meet Saskatoon Land's Architectural Controls.



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PROJECT FACT SHEET

City/Town:	Saskatoon
Type:	Land
Zoning:	RMTN1
Land Area:	1.80ac (0.72ha)
Civic Address:	270 Bolstad Manor
Possession:	Immediate
Occ.:	Vacant
Property Tax:	\$16,869.09 (2020 estimate)
List Date:	10/9/2021
Closing Date:	13/10/2021 2:00pm
Legal:	Parcel E, Plan No. 102291083:
ISC Parcel #:	203542343
Lease Type:	None
Environmental:	Yes (for the whole community)
Nearby Amenities:	Evergreen Crossing Commercial, Evergreen Village Square Commercial, Bidulka Park (Playground), University Heights Commercial (restaurants, banks, grocery), Evergreen Elementary Schools, High Schools, Northeast Swale (Conservation Area)

Reserve Price

\$1,575,000

Development on this site will be required to meet Saskatoon Land's Architectural Controls.



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Aspen Ridge



PROJECT FACT SHEET

City/Town: Saskatoon
 Type: Land
 Zoning: RMTN
 Land Area: 1.39ac (0.56ha)
 Civic Address: 255 Bolstad Manor
 Possession: Immediate
 Occ.: Vacant
 Property Tax: \$13,251.94 (2020 estimate)
 List Date: 10/9/2021
 Closing Date: 13/10/2021 2:00pm
 Legal: Parcel F, Plan No. 102207912
 ISC Parcel #: 203205899
 Lease Type: None

Environmental: Yes (for the whole community)
 Nearby Amenities: Evergreen Crossing Commercial, Evergreen Village Square Commercial, Bidulka Park (Playground), University Heights Commercial (restaurants, banks, grocery), Evergreen Elementary Schools, High Schools, Northeast Swale (Conservation Area)

Reserve Price

\$1,183,000

Development on this site will be required to meet Saskatoon Land's Architectural Controls.



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Aspen Ridge



PROJECT FACT SHEET

City/Town: Saskatoon
 Type: Land
 Zoning: RMTN1
 Land Area: 2.25ac (0.91ha)
 Civic Address: TBD
 Possession: Immediate
 Occ.: Vacant
 Property Tax: \$21,481.28 (2020 estimate)
 List Date: 10/9/2021
 Closing Date: 13/10/2021 2:00pm
 Legal: Parcel I, Plan No. 102291083:
 ISC Parcel #: 203542477
 Lease Type: None

Environmental: Yes (for the whole community)
 Nearby Amenities: Evergreen Crossing Commercial, Evergreen Village Square Commercial, Bidulka Park (Playground), University Heights Commercial (restaurants, banks, grocery), Evergreen Elementary Schools, High Schools, Northeast Swale (Conservation Area)

Reserve Price

\$1,906,000

Development on this site will be required to meet Saskatoon Land's Architectural Controls.



Get in Touch

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PROJECT FACT SHEET

City/Town: Saskatoon
 Type: Land
 Zoning: RMTN1
 Land Area: 1.85ac (0.75ha)
 Civic Address: TBD
 Possession: Immediate
 Occ.: Vacant
 Property Tax: \$17,634.29 (2020 estimate)
 List Date: 10/9/2021
 Closing Date: 13/10/2021 2:00pm
 Legal: Parcel H, Plan No. 102291083
 ISC Parcel #: 203542512
 Lease Type: None

Environmental: Yes (for the whole community)
 Nearby Amenities: Evergreen Crossing Commercial, Evergreen Village Square Commercial, Bidulka Park (Playground), University Heights Commercial (restaurants, banks, grocery), Evergreen Elementary Schools, High Schools, Northeast Swale (Conservation Area)

Reserve Price

\$1,563,000

Development on this site will be required to meet Saskatoon Land's Architectural Controls.



Get in Touch

(306) 975-3278 | land@saskatoon.ca | 201 – 3rd Ave North Saskatoon, SK S7K 2H7 | saskatoonland.ca



PROJECT FACT SHEET

City/Town: Saskatoon
 Type: Land
 Zoning: RMTN1
 Land Area: 1.09ac (0.44ha)
 Civic Address: TBD
 Possession: Immediate
 Occ.: Vacant
 Property Tax: \$10,389.05 (2020 estimate)
 List Date: 10/9/2021
 Closing Date: 13/10/2021 2:00pm
 Legal: Parcel G, Plan No. 102291083
 ISC Parcel #: 203542860
 Lease Type: None

Environmental: Yes (for the whole community)
 Nearby Amenities: Evergreen Crossing Commercial, Evergreen Village Square Commercial, Bidulka Park (Playground), University Heights Commercial (restaurants, banks, grocery), Evergreen Elementary Schools, High Schools, Northeast Swale (Conservation Area)

Reserve Price

\$1,173,000

Development on this site will be required to meet Saskatoon Land's Architectural Controls.



Get in Touch

(306) 975-3278 | land@saskatoon.ca | 201 – 3rd Ave North Saskatoon, SK S7K 2H7 | saskatoonland.ca

INSTRUCTIONS TO BIDDERS

Bids must be accompanied by a certified cheque or bank draft payable to the City of Saskatoon for 10% of the tendered price, and must be submitted on the attached standard tender form. Subject to the information below, should the successful bidder not purchase the parcel, the deposit will be forfeited. The deposit cheques received from the unsuccessful bidders will be returned. Bids must be determined independently from any other bidder, or potential bidder. If in the opinion of the City there is any appearance that a bidder has consulted another bidder or potential bidder regarding:

- (a) prices;
- (b) methods, factors or formulas used to calculate prices;
- (c) the intention or decision to submit, or not submit, a bid; or
- (d) any other indication of collusion regarding bid prices,

the City may, in its discretion, take any action it considers appropriate including rejecting any bid, or disqualifying any bidder from bidding on this tender or another tender.

- ☒ **No multiple bids for a single parcel will be accepted.**
- ☒ **No bids less than the Reserve Price will be accepted.**
- ☒ **No conditional bids will be accepted.**



ARCHITECTURAL REVIEW

The successful purchaser must enter into a Sale Agreement within thirty (30) days of notification of the award of the sale. Failure to enter into the Sale Agreement within the prescribed time period will be deemed in default of the terms of the sale and the bid deposit will be forfeited.

Multi-unit development on these sites is subject to compliance with Saskatoon Land's Architectural Controls for Multi-unit Dwelling Districts (visit **saskatoonland.ca**).

Purchasers must gain approval of architectural plans for any site from Saskatoon Land through an architectural control review process. Prior to plan preparation, or at any stage during plan development, Saskatoon Land staff are available to meet to view draft plans and discuss the architectural requirements.

From the date the successful purchaser has been notified, the purchaser must submit their draft plans to Saskatoon Land for Architectural Evaluation within eight (8) weeks.

Saskatoon Land will then analyze the plans for compliance with the architectural controls. Saskatoon Land reserves the right to take up to two (2) weeks to review and comment on plans after any submission is made by the successful purchaser. After plans have been reviewed, a meeting with the successful purchaser will be arranged to discuss plan changes, if any, which may be required.

The final Architectural Evaluation and approval of the architectural controls by Saskatoon Land must be obtained by the successful purchaser within eighteen (18) weeks from the date the successful purchaser was first notified.

The successful purchaser will not be able to apply for a building permit until receiving final approval from Saskatoon Land. Once the Architectural Evaluation is completed, the successful purchaser may apply for a Building Permit by providing the Building Standards Department with a copy of the Sale Agreement and building plans. These plans will be cross checked to the plans which were submitted to and approved by Saskatoon Land. If the successful purchaser makes changes to its plans following approval from Saskatoon Land, a delay in the approval process may occur and the successful purchaser will be required to obtain a second approval from Saskatoon Land to ensure that the design still meets all architectural controls.

Final payment is due thirty (30) days from the date that Saskatoon Land approves the building plans for compliance with the architectural controls. The following information is required for the Architectural Evaluation:

- A site plan, to scale showing buildings, roads, parking, loading areas, fences, and the landscaping concept;
- Floor plans of all floors for each building to scale;
- All exterior elevations of each building to scale indicating location of materials;
- Building section of each building to scale indicating building height, roof slopes, and features; and
- Specifications and colours for all exterior building materials of each building and for site development.



SERVICES

The purchase price includes all levies. Services are provided adjacent to the site and are typically located in adjacent rights of way. Any costs associated with service connections or private crossings are not included in the price and are the responsibility of the successful purchaser.

Final site grading is the responsibility of the purchaser and must be approved by the City of Saskatoon, Saskatoon Water Department. The purchaser is also responsible for the topsoil, seeding, irrigating and maintenance of boulevards adjacent to their parcel to the back of the sidewalk and/or between the sidewalk and the curb in some locations. Saskatoon Land will be streetscaping portions of McOrmond Drive so prior to Landscaping Plan preparation, purchasers are encouraged to meet with Saskatoon Land to coordinate Landscaping Plans.

ZONING

The parcels are zoned RMTN (Townhouse Residential) District and RMTN1 (Medium Density Townhouse Residential) District in the City's Zoning Bylaw. Refer to Attachments 9-10 for further information. Interested purchasers are advised to consult with the Planning and Development Department at 306-975-2645 as to permitted uses and other details regarding applicable zoning provisions.

REPRESENTATIONS, WARRANTIES & ENVIRONMENTAL CONDITION

The properties are being sold "as is". A Phase 1 Environmental Site Assessment (ESA) report for the community will be supplied to the purchaser upon request. Any further subsurface environmental investigations to evaluate for soil conditions on the site will be at the expense of the purchaser.

EASEMENTS & MUNICIPAL BUFFERS

The purchaser is required to agree to grant the utility agencies any easements which may be required at no cost. Existing easements are identified in Attachment 5&6. Municipal Buffers are shown on Attachment 3&4.

PARCEL ACCESS

If access other than from the lane is required, the purchaser is required to submit a Driveway Crossing Permit Application to the City of Saskatoon Transportation and Construction Department showing their proposed access locations for consideration of approval (Parcel F does not have lane access and Parcel D & J will have the lane completed and paved in 2021). Attachment 1 shows roadway median, transit stops, street light, fire hydrant, and overhead power pole and tie down possible access restrictions.

POSSESSION

Possession of the site will not be granted until completion of the Architectural Evaluation.

The successful purchaser will be granted possession of the parcel after payment in full has been received. Payment in full must be secured no later than 30 days after architectural plans have been approved.

The following outlines the conditions of possession:

- 1) On or before the possession date, the successful purchaser will deliver to the City of Saskatoon, Saskatoon Land the following:
 - a. A certified cheque, bank draft or solicitor's trust cheque for the balance of the purchase price.
- 2) Property taxes will be adjusted at the possession date.
- 3) Purchaser is responsible for fees to transfer Title. The Purchaser must provide the name of their solicitor who will undertake to register the Transfer Authorization on their behalf. The City of Saskatoon will provide a Transfer Authorization to the purchaser's solicitor upon receipt of the balance of the purchase price.



CONDITIONS

There will be no exceptions as to conditions of this tender.

TERMS AND CONDITIONS

1. DEPOSIT / CLOSING DATE / POSSESSION / ADJUSTEMENT DATE:

- a. 10% deposit due with Tender submission by Certified cheque or bank draft.
- b. Balance of purchase price due within 30 days of obtaining architectural approval or as agreed to between the vendor and the purchaser..

2. SPECIAL TERMS AND CONDITIONS:

- a. The parcel is sold “as is” and the purchaser shall assume all responsibility and liability including any environmental matters existing as of the closing date. Phase 1 ESA for the community could be provided to the purchaser upon request.
- b. Development on these sites will be required to meet Saskatoon Land's Architectural Controls for Multi-unit Dwelling Districts.
- c. Possession of the site will not be granted until completion of the Architectural Evaluation.
- d. The purchaser further agrees to grant the City of Saskatoon, Saskatchewan Telecommunications, Saskatchewan Power Corporation, SaskEnergy Incorporated, and any utility agency any easement, which may be required by or all the said agencies at no cost.
- e. Purchasers must be in good standing with Saskatoon Land in order to submit a bid.

I have read and accepted these terms.

Signature

date

TO BE CONSIDERED, A SUBMISSION MUST BE COMPLETE AND INCLUDE THE FOLLOWING:

- ☒ Completed Purchaser Application Form
- ☒ The Purchaser has read and acknowledged the Terms and Conditions identified for the parcels.

Arrangements to drop off your bid can be made by calling Saskatoon Land Office at 306-975-3278

Email:

land@saskatoon.ca

Mailing Address:

SASKATOON LAND

201 – 3rd Avenue North

Saskatoon, SK S7K 2H7

Attention: Colleen Hassen

(Aspen Ridge Multi-Unit Public Tender)





Multi-Unit Land Tender Form

I wish to submit the following tender:

❶ Parcel: _____ Plan: _____

Civic Address(es): _____

❷ Amount Tendered: \$ _____ (before GST).*

❸ A certified cheque in the amount of \$ _____ is attached. **

*All bids are subject to Goods and Services Tax. The successful bidder will be required to pay the GST when forwarding the balance of the purchase price or provide a GST Registration Number.

**This amount represents exactly 10% of the amount tendered and the cheque is made out to the City of Saskatoon.

Company: _____

GST Registration Number (if applicable): _____

Contact Name: _____

Address: _____

_____ (postal code)

Telephone No: _____ Fax No.: _____

E-mail Address: _____

The purchaser will be required to have a lawyer to transfer Title into the purchaser's name.

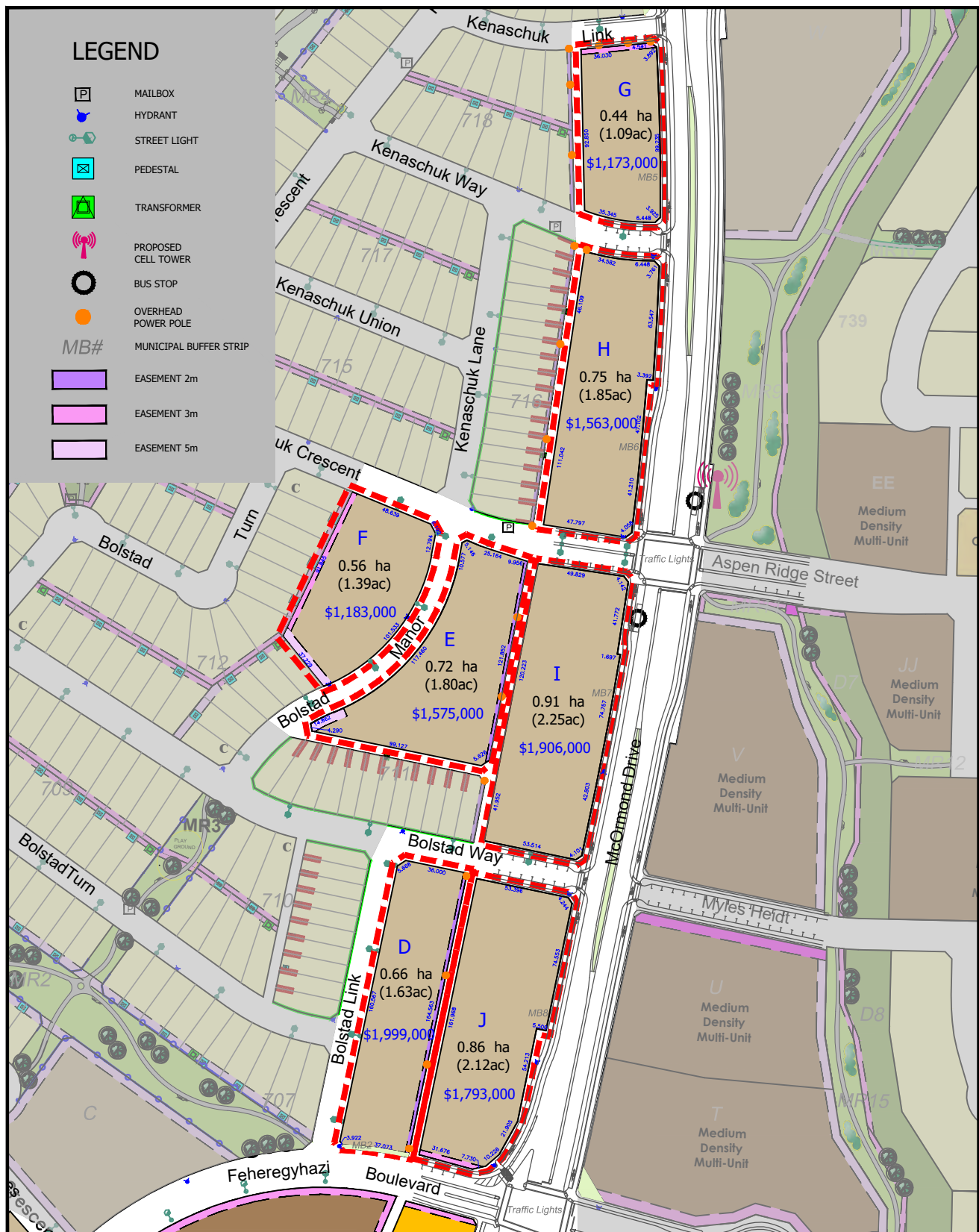
Lawyer's Name

Law Firm

I have read and acknowledge the conditions as set out in the attached Instructions to Bidders.

Signature _____

Date _____





Architectural Controls for Multi-Unit
Dwelling Districts 2013

City of Saskatoon Land Branch
306-975-3278 | 201 3rd Ave N | Saskatoon, SK

PREPARED BY
The City of Saskatoon
Land Branch



September 2013



1.0 Introduction

This document outlines the general architectural design requirements for the Multiple-Unit Dwelling Districts being developed by the City of Saskatoon.

Architectural Controls concern the position of buildings on sites, the proportion, scale and massing of buildings, the application of materials and colours to exterior walls and roofs, and the choice and location of windows and doors.

An architectural style is not prescribed. Instead, projects should satisfy the overall human scale architectural vocabulary as outlined in these architectural controls. Varying architectural interpretations are encouraged.

These Architectural Controls are intended to supplement the City of Saskatoon Zoning Bylaw No. 8770. Developments are expected to be governed by Bylaw No. 8770 in combination with the Architectural Controls. In the event that there are contradictions between these two documents, Zoning Bylaw No. 8770 will govern.

The intent of this document is:

1. To promote architectural detailing; not to prescribe style;
2. To influence the application of more than one colour palette; not to prescribe colour; and
3. To influence the application of more than one material; not to prescribe material.

2.0 Proportion, Scale, and Massing

INTENT: New developments should be well proportioned, integrate with neighbouring buildings, and incorporate design elements that break down perceived proportion, scale and massing of building elements to create human-scaled pedestrian-environments and enjoyable streetscaping.

- Developments should utilize existing or “natural” grade, to assist them in blending with adjacent developments. Grade alterations can create negative impacts on adjacent properties.
- All multi-family buildings should be positioned to enhance the streetscape by creating what may be described as a street wall.
- All building volumes must incorporate intermittent variances in plan and elevation to encourage shadow lines on the building and to assist in breaking down the apparent mass and scale into well proportioned volumes. This includes building elevations that are adjacent to or visible from public streets, public parks, and adjacent developments.
- Construct buildings to define the edges of, and to face onto, any public park and/or accessible open spaces.



Above: The above image demonstrates a building facade that interfaces well with the street, creating a pedestrian friendly space.

STREET WALL

A Street Wall refers to the alignment of building facades that face the street. A well designed street wall creates a welcoming pedestrian environment through defining a walkable, pedestrian friendly space.

IN GENERAL...

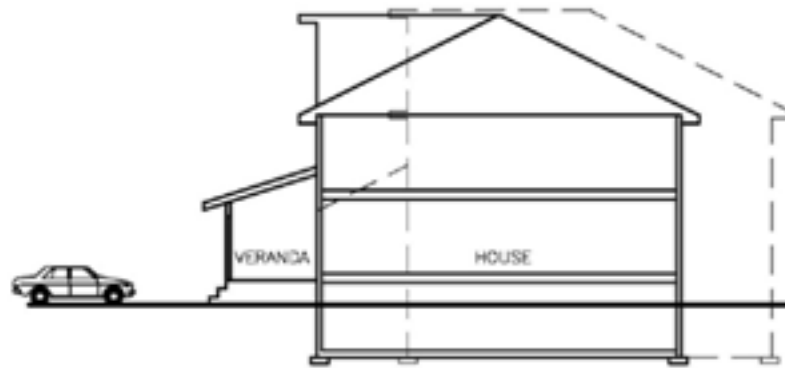
- The majority of the principal building(s) main façade should be located so it is parallel to a straight public street or tangent to a curved public street.
- Open space is permitted between the principal building(s) fronting a public street provided that the total linear amount of building façade exceeds the total linear amount of open space as measured along the same property line.
- The sides of groupings of principal and accessory buildings are permitted to front onto public streets, providing the total linear amount of side elevations are less than the total linear amount of principal building facades fronting the same street. Where side elevations front onto a public street, the side elevations must receive the same architectural treatment as the principal facade.



Left: This building demonstrates an unacceptable building facade facing a public street. Additional design treatments are required.



Above: Buildings that are aligned with adjacent streets ensure a site configuration that creates streets with pleasing streetscapes and enhances the image and feel of the neighbourhood.

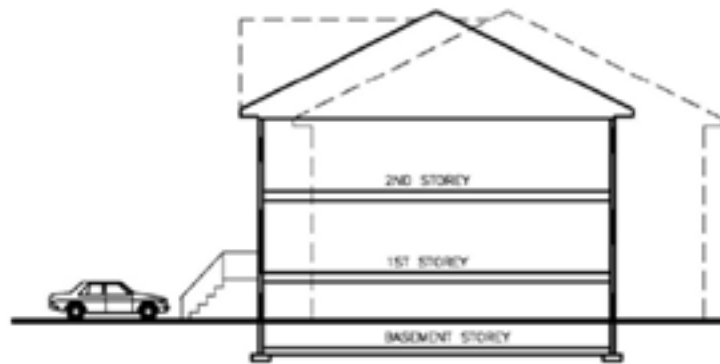


SAMPLE SECTION



SAMPLE FRONT ELEVATION

Proportion, Scale and Massing: Projects must incorporate sensitive design elements that break the overall scale and mass of buildings into human scale components through the use of a variance in plan and wall planes.



SAMPLE SECTION



SAMPLE FRONT ELEVATION

3.0 Walls & Materials

INTENT: To create a visually pleasing streetscape and reduce visual monotony, a variety of materials are to be used as well as materials that compliment those used in adjacent developments.

- A minimum of two major exterior cladding materials, excluding fenestration, are required for any elevation of a principal or accessory building adjacent to or visible from a public street, a public park, or adjacent development, the proportions of which must be sensitively designed.
- In the case of most materials, except for vinyl siding or cement board siding, the use of two discernible colours, two discernible textures, or combinations thereof of the same material are acceptable as meeting the requirements. In the case of vinyl siding or cement board siding, consideration will be given to two significantly different material patterns in a case where a relatively smaller proportion of a third material (greater than 30% of a third material) is used. For example, a material application may be accepted if visible building elevations were proposed to contain 3 materials – 30% stone and 70% vinyl siding whereby straight horizontal overlapping vinyl panels were heavily accented with vinyl “fish scale” panels.
- Required architectural detailing applies equally to all building elevations including where the side and rear of a principal building or an accessory building is adjacent to or visible from, any public street, public park, or adjacent development.
- Walls clad in a single material are not permitted.
- Durable high quality materials should be utilized for cladding on all building faces.
- Wall cladding materials are required to extend to a minimum of 1.2 metres (4 feet) along side building elevations that do not face public streets, public parks, or adjacent developments.
- Where properties share a common property line, each property must have different materials or combinations of materials.



Above: Each of the above images demonstrates a minimum of two exterior cladding materials with sensitively designed proportions.

4.0 Color

INTENT: Variety of colour is necessary for multi-family projects to create lively streetscapes and to prevent the creation of visual monotony.

Dwelling Group or Street Townhouse Style Buildings:

Colour should vary from building to building within developments. A minimum of two exterior colour schemes for each multi-family parcel must be implemented. A minimum of two major colours are required to be utilized in the colour scheme of each building facade adjacent to or visible from any public street, public park, or adjacent development (excluding roof colours and colours utilized for minor architectural components such as soffit and fascia, window and door trim etc). A minimum of four colours should be utilized on any one building colour scheme. This includes the roof colour and the colours of minor architectural components. In order to qualify, colours must be visible from any street.

Apartment Style Buildings: One exterior color scheme is permitted per site that has more than one building. A minimum of two major colours should be utilized on each building facade adjacent to or visible from any public street, public park, or adjacent development (excluding roof colours and colours utilized for minor architectural components such as soffit and fascia, window and door trim etc). A minimum of four colours should be utilized on any one building. This four colour minimum includes the roof colour and the colours of minor architectural components. In order to qualify, colours must be visible from any street.

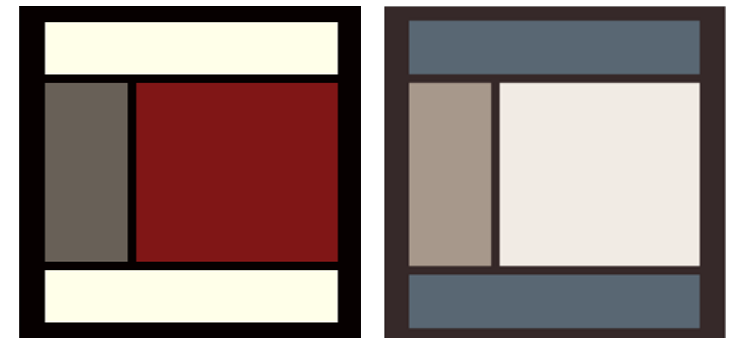
General Requirements:

- Accessory buildings should be treated in a complimentary fashion to the principal buildings on the same site. Where different multi-family parcels share a common property line, each parcel must have different color schemes.
- A minimum number of colors is prescribed to ensure more than one color is used on each façade.
- Readily discernible shades of one colour when viewed from any street may be considered two separate colours.



Above: Street townhousing utilizing a variety of colors

Below: Example color palates meeting the minimum of four colours within a colour scheme.



COLOR SCHEME EXAMPLE



Color Scheme #1



Vinyl Shingles: Foundry #827 "Colonial Grey", Matching trim.
Alternative: Foundry #821 "Sandalwood".



Roof: IKO "Harvard Slate" similar



Stucco: Imasco 318A-8A "Renaissance Clay"



Soffits: Gentek 431 "Bright White"
Doors & Windows Similar.



Vinyl Siding: Gentek #010 "Canyon Clay"
Accent paint to match.



Cultured Stone: Owens Corning
Del Mare LedgeStone "Palermo"

Color Scheme #2



Vinyl Shingles: Foundry #827 "Colonial Grey", Matching trim.
Alternative: Foundry #821 "Sandalwood".



Roof: IKO "Harvard Slate" similar



Stucco: Imasco 830-1P "Serenity"



Soffits: Gentek 431 "Bright White"
Doors & Windows Similar.



Vinyl Siding: Gentek #531 "Storm"
Accent paint to match.



Cultured Stone: Owens Corning
Del Mare LedgeStone "Palermo"

5.0 Fenestration – Windows & Doors

INTENT: Fenestration should be oriented to streets and/or public spaces, complement the architectural vocabulary, and satisfy functional and climatic issues. Abundant glazing at street level is encouraged for community surveillance and to enhance street lighting at night.

- Readily discernible trim must be utilized around highly visible doors and windows.
- Blank walls without fenestration at street level or upper levels will not be permitted on facades adjacent to or visible from public streets, public parks, or adjacent development.
- If glazing tints are used, they should reflect the choice of colours of wall and roof claddings. Reflective coatings are not permitted.
- If imitation shutters are utilized, they are required to be proportioned to give the impression that they are functional and capable of covering the entire window.
- Developments are encouraged to have main entrances facing public streets.

6.0 Roofs

INTENT: Roofs should be designed to form an integral part of any project and complement the overall architectural design. Where exposed roof surface areas are large, it is mandatory to incorporate sensitive design elements that break down perceived proportion, scale and massing of the roof to create human-scaled surfaces.



- The exposed roof area when calculated perpendicular to a vertical viewing plane should not exceed 40% of the total projected wall and roof area. Alternatively, large roof areas should be broken down into smaller volumes by varying the roof planes, or by introducing sensitive design elements such as dormer windows.
- Sloped roofs should have a minimum overhang of 450 mm or 18 inches. Fascia boards should be a minimum 150 mm or 6 inches. Permitted claddings for sloped roofs include pre-finished steel standing seam roofs complete with snow and ice stops, asphalt shingles, cedar shingles/shakes, granular faced aluminum shingles, clay or concrete tile roofing and glazing.
- All chimneys visible from any street should be enclosed within a chimney chase. The form, style, materials and color of the chimney chases should be consistent with the overall architectural character.
- While roof pitch is not prescribed, special consideration must be given to the integration of the roof with the building architecture.



Top Left: Use of dormers to break up a large roof plane.

Middle Left: Use of varying roof planes to break up viewing plane.

Bottom Left: Example of flat roof.

7.0 Relationship to Streetscape

INTENT: Multi-unit building facades facing public streets should help define the streetscape through thoughtful design and sensitive architectural treatments.



Above: Good examples of buildings interfacing with public street.

- Create a street wall with the majority of the staggered main facade located parallel to straight streets or tangent to curved streets.
- Wherever possible, front and side elevations should front onto public streets. In event that it is not possible, sensitive design treatments may be required in order to create a visually pleasing streetscape.
- Any facade abutting and/or highly visible from a public street, public park or adjacent development shall receive the same architectural treatment as the “front” facade.
- Property lines adjacent to streets must be fully landscaped.
- Street or group townhousing units that are visible from a public street are required to include a significant entry treatment.
- In general, private exterior open space in the form of verandas, porches, balconies, patios, and/or roof terraces are strongly encouraged for as many residential units as possible.
- For Dwelling Groups, main entrances to each unit do not have to face a public street, however, secondary entrances facing public streets should be architecturally well defined.
- In general, connections to existing public space and amenities from multi-unit buildings are encouraged (i.e. walkways linking to sidewalks and/or park pathways).

FENCING

Fencing is not required. In the event that a fence is desired, the below guidelines should be considered:

- If a front yard fence is constructed of wood, steel, aluminum, or wrought iron, the amount of solid area of the fence sections shall not exceed 50%.
- Fence piers or fence sections constructed of natural stone, manufactured stone, brick, or some other masonry application may be 100% solid.
- In the case of street or group townhousing, a front yard fence is required to have an access opening or gate to the street from each front door. Where a solid fence fronts onto a public street and encloses an open space between a principal and accessory building, the cladding materials requirements for principal and accessory buildings shall relate to the fence.



Above: Examples of acceptable front yard fencing

8.0 Variety

INTENT: A variety of architectural styles, spaces, colours, materials and uses are encouraged within the Neighbourhood.

- Where properties share a common property line, or are in close proximity to each other, each property is encouraged to demonstrate architectural variety to decrease visual monotony.
- Repetition of architectural styles on separate development sites that are in close proximity to each other is strongly discouraged.

9.0 Parking, Loading, and Service Areas

INTENT: Balance the need to improve the pedestrian environment with the demand for parking. Parking should not dominate the streetscape or individual sites.

- For all developments, required parking is not permitted in front yards. Required parking must be located within or under the development or in a rear yard or side yard and suitably screened from adjacent public streets, public parks, or adjacent development.
- Access to all multi-family parcels (not individual dwellings) is acceptable from public streets.
- Where possible, dwelling group sites may orient garages across the street from single family housing with front garages, subject to approval during the Development Review Process addressing technical site and other City Policy considerations.



Above: Example of parking suitably screened from public view by locating it in the interior of building site.

10.0 Site and Building Exterior Lighting

INTENT: Buildings and sites should be illuminated for security and ambience. Night lighting encourages activity, but any potential for “light pollution” is to be avoided.

Lighting on any site and on/in any portion of a building shall be arranged and shielded such as that it does not become a hazard or annoyance. Lighting should not in any way compromise the appropriate function of adjacent properties.

11.0 Mechanical/Electrical

INTENT: Screen mechanical and electrical equipment that is normally left within view of the street on sites and on rooftops. Noise generated by this equipment must be considered such that adjacent occupancies are not impacted.

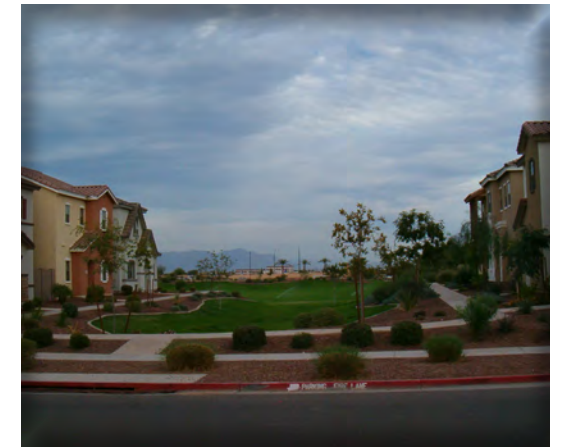
Excluding any existing utility, mechanical and electrical equipment on a site or on a building must be adequately screened from adjacent street level.

12.0 Landscaping

INTENT: To encourage professionally designed solutions to link to streetscapes and public spaces with the Neighbourhood.

- Open space must be landscaped. All development submissions must be accompanied by general landscape concept plans (not Landscape Rendering).
- In the case of soft landscaping that is visible from any public street, lane or park, grass may only be used for 75% of the soft landscaping provided on any site. This must be demonstrated on plan either graphically or in text format.
- Landscapes must be designed to be self-sustaining in the local climate or an adequate irrigation system is to be provided.
- Coniferous trees must be a minimum of 1800mm height and deciduous trees must have a minimum caliper of 50mm at the time of installation.
- Landscaping is to be extended into the City boulevard where the site is adjacent to separate sidewalk and curb.

Below: Multi-family buildings front on common space that contains self-sustaining landscaping.



13.0 Summary of Key Architectural Considerations

1. The intention of implementing Architectural Controls is not to control building styles but rather to reduce the potential for the visual monotony often associated with multi-family developments. This can be achieved by breaking up large volumes of uninterrupted roof planes, the breaking up the featureless planes associated with large multi-unit wall areas, the careful use of more than one cladding material, the use of trim details, and the use of several colour schemes each containing more than one or two colours.
2. On a group townhousing site, or an apartment style building site, the buildings adjacent to the front property line is required to front onto the public street. This required layout is similar to the way a street townhouse fronts onto a street.
3. Where possible, townhouse sites may orient garages across the street from single family housing with front garages. It is also subject to approval during the Development Review Process addressing technical site and other City Policy considerations.
4. Large volumes of roofs or walls need to be broken up with architectural detailing that significantly reduces large expanses of featureless plane.
5. All buildings require, at the very least, two major cladding materials.
6. Any building's colour scheme needs, at the very least, four colours of which two are major colour applications. The two major colours will be associated with the major cladding materials. The two other colours will be associated with the roof colour and minor architectural detailing such as soffit, fascia, doors, door trim, and window trim. In the case of townhousing, adjacent buildings require different colour schemes.
7. Wall cladding materials are required to extend a minimum of 1.2 metres (4 feet) along side building elevations that do not face public streets, public parks, or adjacent developments.
8. Any facade abutting and/or highly visible from a public street, public park or adjacent development shall receive the same architectural treatment as the "front" facade.
9. All mechanical equipment, garbage or recycling receptacles, must be suitably screened. Chimneys or other venting pipes must be clad in chimney chase.

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306-975-3278
201 3rd Ave N | Saskatoon, SK



DESCRIPTIVE PLAN TYPE 2

SHOWING
FEATURE UTILITY RIGHTS OF WAY
IN
MUNICIPAL BUFFER STRIPS MB5, MB9, MB14,
MB15, & MB16
AND
PARCELS G, J to Q, O, T to W
PLAN No. 102291083
AND
MUNICIPAL RESERVES MR5, MR8, MR9,
MR11, & MR15
AND
PARCELS D6 to D8
PLAN No. 102294716
IN
N.E. 1/4 Sec.7, W. 1/2 Sec.17, & E. 1/2 Sec.18
Twp.37 Rge.4 W3Mer.
SASKATOON
SASKATCHEWAN
BY: P.A. CRAIG, S.L.S.
DATE: APRIL 2018 to JANUARY 2020
SCALE 1:1000

NOTES:
MEASUREMENTS ARE IN METRES AND DECIMALS THEREOF.
MONUMENTS FOUND ARE SHOWN THIS
REFERENCE POINTS ARE SHOWN THIS
AREA TO BE APPROVED IS OUTLINED WITH A HEAVY DASHED LINE.
THE EXTENSIONS OF ALL PARCELS AFFECTED BY THIS FEATURE ARE
UNLESS OTHERWISE SHOWN.
STANDARD ROAD ALLOWANCES SHOWN ARE 20.177 METRES IN WIDTH.
DATUM USED: NAD83 (1983)
PROJECTION USED: UTM ZONE 18N EXTENDED
COORDINATE POINTS DERIVED FROM PLAN No. 102294716
RP COORDINATES WERE DERIVED ON JULY 12th, 2014

DETAIL 'H'
Not to Scale

DETAIL 'J'
Not to Scale

DETAIL 'K'
Not to Scale

DETAIL 'P'
Scale 1:200

DETAIL 'N'
Scale 1:200

DETAIL 'Q'
Scale 1:500

DETAIL 'M'
Scale 1:200

DETAIL 'L'
Scale 1:200

18
37-4-3

KEYPLAN
Scale 1:5,000

DETAIL 'F'
Scale 1:200

DETAIL 'G'
Not to Scale

DETAIL 'E'
Not to Scale

DETAIL 'B'
Not to Scale

DETAIL 'A'
Scale 1:200

DETAIL 'D'
Scale 1:200

DETAIL 'C'
Scale 1:200

SEE
DETAIL 'G'

SEE
DETAIL 'E'

SEE
DETAIL 'B'

SEE
DETAIL 'A'

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DETAIL 'H'

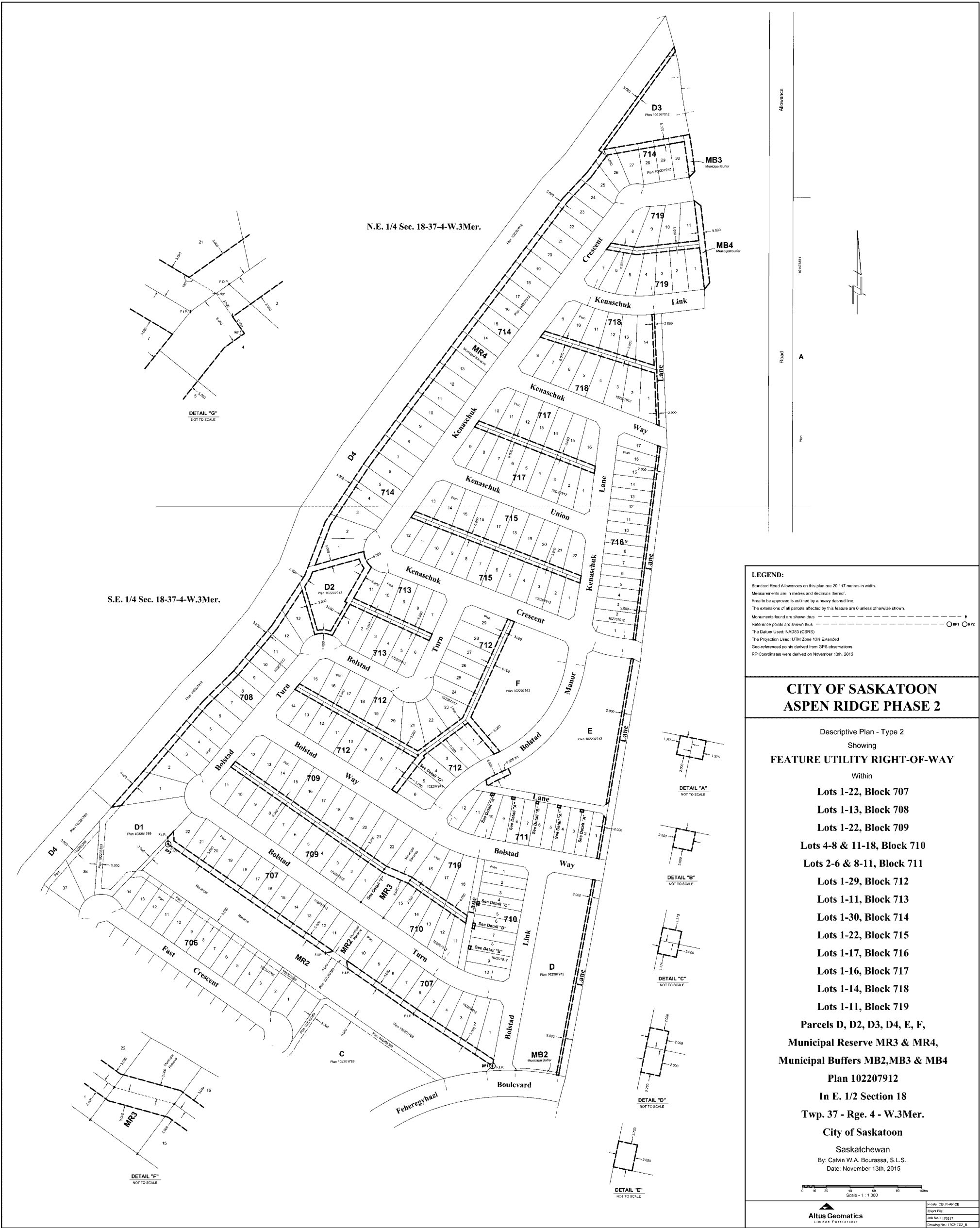
SEE
DETAIL 'G'

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DETAIL 'B'

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DETAIL 'A'

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DETAIL 'Q'



LEGEND:

Standard Road Allowances on this plan are 20.117 metres in width.
Measurements are in metres and decimals thereof.
Area to be approved is outlined by a heavy dashed line.
The extensions of all parcels affected by this feature are 0 unless otherwise shown.
Monuments found are shown thus: ———— ○ RP1 ○ RP2
Reference points are shown thus: ———— ○ RP1 ○ RP2
The Datum Used: NAD83 (CSRS)
The Projection Used: UTM Zone 13N Extended
Geo-referenced points derived from GPS observations
RP Coordinates were derived on November 13th, 2015

CITY OF SASKATOON ASPEN RIDGE PHASE 2

Descriptive Plan - Type 2
Showing
FEATURE UTILITY RIGHT-OF-WAY

Within

Lots 1-22, Block 707

Lots 1-13, Block 708

Lots 1-22, Block 709

Lots 4-8 & 11-18, Block 710

Lots 2-6 & 8-11, Block 711

Lots 1-29, Block 712

Lots 1-11, Block 713

Lots 1-30, Block 714

Lots 1-22, Block 715

Lots 1-17, Block 716

Lots 1-16, Block 717

Lots 1-14, Block 718

Lots 1-11, Block 719

**Parcels D, D2, D3, D4, E, F,
Municipal Reserve MR3 & MR4,
Municipal Buffers MB2, MB3 & MB4**

Plan 102207912

In E. 1/2 Section 18

Twp. 37 - Rge. 4 - W.3Mer.

City of Saskatoon

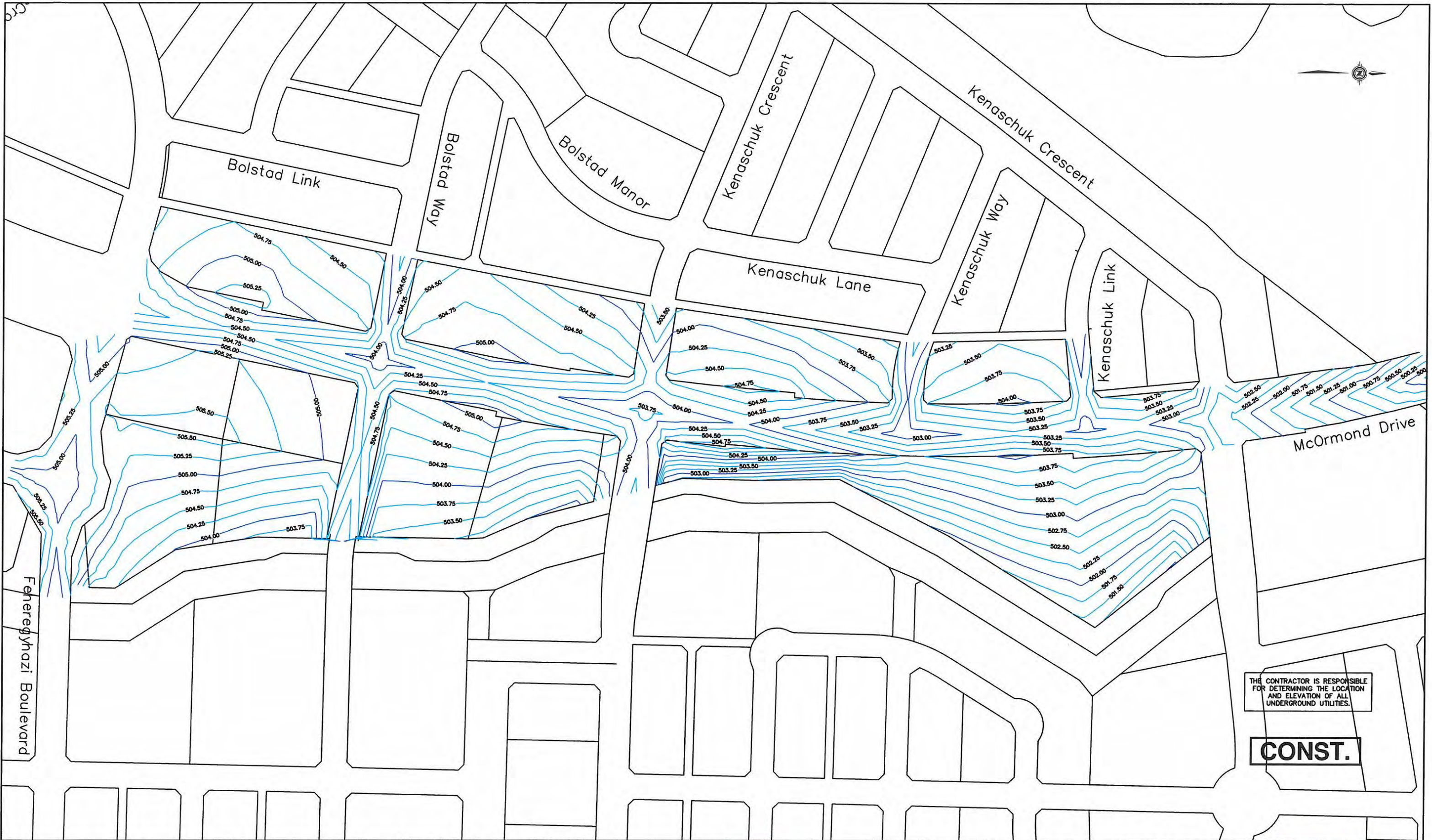
Saskatchewan

By: Calvin W.A. Bourassa, S.L.S.
Date: November 13th, 2015

0 10 20 40 60 80 100m
Scale = 1 : 1,000

Altus Geomatics
LIMITED PARTNERSHIP

Initials: CB/JT/AP/CB
Client File:
Job No.: 110217
Drawing No.: 11021702_B



THE CONTRACTOR IS RESPONSIBLE
FOR DETERMINING THE LOCATION
AND ELEVATION OF ALL
UNDERGROUND UTILITIES.

CONST.

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6					
5					
4					
3	ISSUED FOR CONSTRUCTION	2016-APR-20	RWDT		
2	ISSUED FOR TENDER ADDENDUM	2016-APR-13	RWDT		
1	FOR TENDER	2016-FEB-17	RWDT		
	PLAN DESCRIPTION/REVISION	DATE	BY	SEAL	

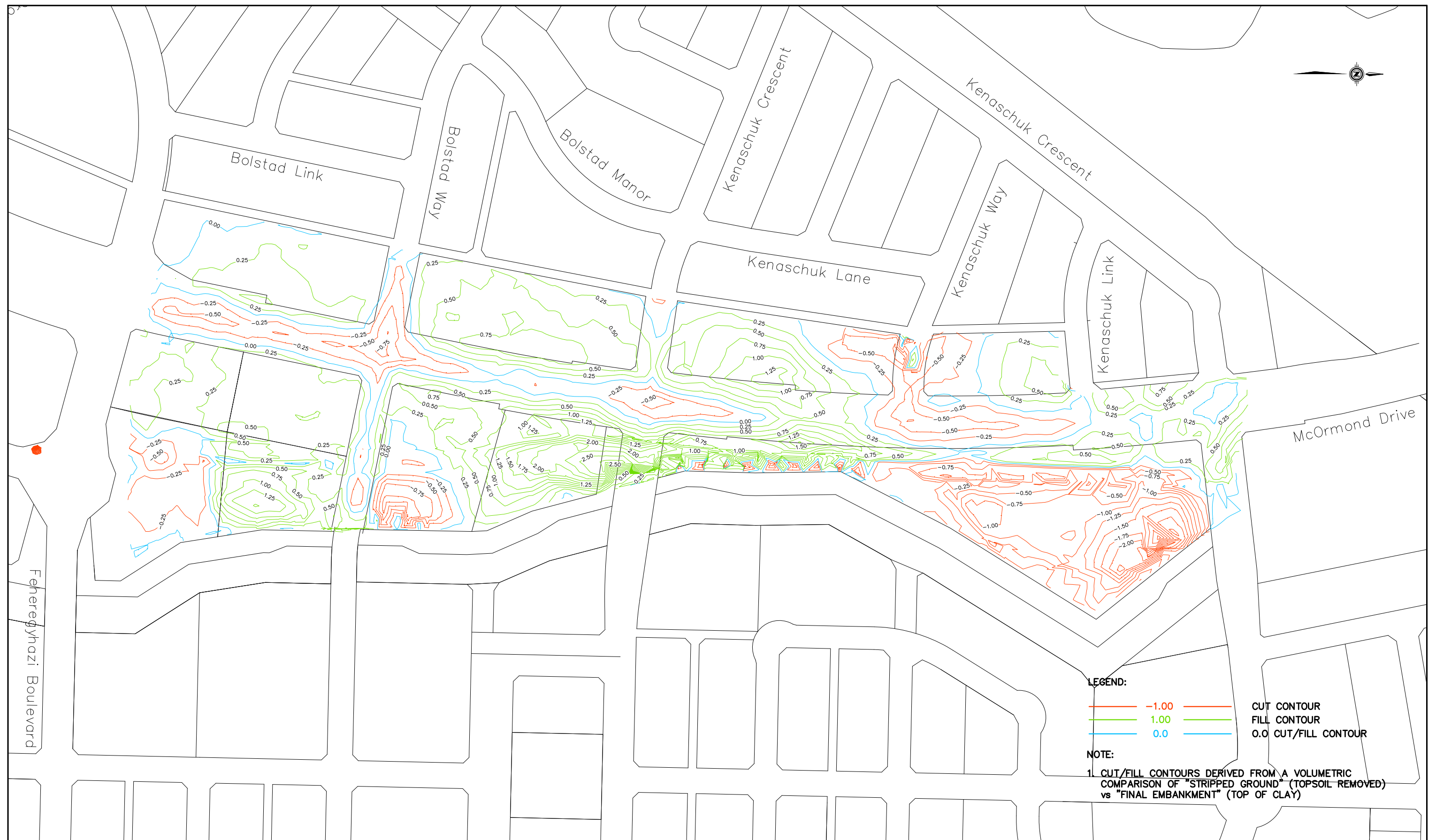


CHECKED BY:	CHECKED BY:
<i>Bh Se</i>	<i>Jmpatel</i>
16/06/02	16/06/03
DATE	DATE
DRAWN BY: RWDT	DATE: 2016-FEB-17

 **City of Saskatoon**
Transportation & Utilities Department

MCCORMOND DRIVE P.W.M. AND W&S	
AREA GRADING DESIGN CONTOURS	

Te Wild
CHIEF ENGINEER
SCALES: 1:2500
HOR. 1:2500
VERT. 1:2500
SHEET NO. 113-0087-316r003
PLAN NO. 16/06/08
DATE



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8.8 RMTN - Townhouse Residential District

8.8.1 Purpose

The purpose of the RMTN District is to provide for comprehensively planned low to medium density multiple-unit dwellings in the form of townhouses, dwelling groups, and other building forms, as well as related community uses.

8.8.2 Permitted Uses

The Permitted Uses and Minimum Development Standards in an RMTN District are set out in the following chart:

RMTN District	Minimum Development Standards (in Metres)									
	Site Width	Site Depth	Site Area (m ²)	Front Yard	Side Yard	Rear Yard Interior Site	Rear Yard Corner Site	Building Height (Max.)	Site Coverage (Max.)	Amenity Space Per Unit (m ²)
8.8.2 Permitted Uses										
(1) Dwelling groups ₁	30	30	900	6	6 ₅	6 ₅	6 ₅	10 ₈	30% ₆	9 ₄
(2) Street townhouses	6	30	180	6 ₇	2.3 ₂	7.5	7.5	10 ₈	40% ₃	-
(3) Residential care homes - Type I	6	30	180	6	1.5	7.5	7.5	10 ₈	40%	-
(4) Keeping of up to two boarders in a dwelling unit	-	-	-	-	-	-	-	-	-	-
(5) Family child care homes	Refer to General Provisions Section 5.33									
(6) Adult day care - Type I	Refer to General Provisions Section 5.35									
(7) Elementary and high schools	30	30	900	6	3	7.5	4.5	11	40%	-
(8) Home based businesses	Refer to General Provisions Section 5.29									
(9) Accessory buildings and uses	Refer to General Provisions Section 5.7									
(10) Homestays	Refer to General Provisions Section 5.51									

(Revised – Bylaw No. 9683 – August 31, 2020)

8.8.3 Discretionary Uses

The Discretionary Uses and Minimum Development Standards in an RMTN District are set out in the following chart:

RMTN District	Minimum Development Standards (in Metres)									
	Site Width	Site Depth	Site Area (m ²)	Front Yard	Side Yard	Rear Yard Interior Site	Rear Yard Corner Site	Building Height (Max.)	Site Coverage (Max.)	Amenity Space Per Unit (m ²)
8.8.3 Discretionary Uses										
(1) Child care centres and preschools	6	30	180	6	1.5	7.5	7.5	10 ₈	40%	-
(2) Residential care homes - Type II	15	30	450	6	1.5	7.5	7.5	10 ₈	40%	-
(3) Community centres	6	30	180	6	6	6	6	10 ₈	30%	-
(4) Short-term rental properties	Refer to General Provisions Section 5.52									
(5) Adult day care - Type II	6	30	180	6	1.5	7.5	7.5	10 ₈	40%	-
(6) Special needs housing ₁	21	30	630	6	6	6	6	10 ₈	30%	9
(7) Private schools	15	30	450	6	3	7.5	4.5	11	40%	-
(8) Places of worship	30	30	900	6	3	7.5	4.5	10 ₈		

(Revised – Bylaw No. 8929 – May 9, 2011)

(Revised – Bylaw No. 9701 – May 25, 2020)

(Revised – Bylaw No. 9683 – August 31, 2020)

8.8.4 Notes to Development Standards

- 1 For multiple unit dwellings and townhouses, in dwelling groups, there shall be:
 - (a) Not more than 18 dwelling units in a building, and
 - (b) Not more than 9 dwelling units side by side along any one building elevation.
- 2
 - (a) No side yard shall be required for an attached street townhouse dwelling with two shared common walls;
 - (b) A side yard not less than 1.5 metres throughout shall be provided for an attached street townhouse dwelling with only one common wall, provided, however, that on a corner site where the side yard adjoins a street, the side yard shall be a minimum of 2.3 metres in width throughout.
- 3 Site coverage may be increased to 50% where the increased site coverage is used exclusively for required enclosed parking.
- 4 An amenity space with a minimum area of 90m², or 9m² for each dwelling unit, whichever is the greater, shall be provided on each site for a dwelling group.
- 5 For dwellings in dwelling groups, a side yard of not less than 3 metres in width throughout and a rear yard of not less than 3 metres in width throughout shall be provided for an attached covered patio or deck or an attached raised patio or deck.
- 6 Site coverage for dwellings in dwelling groups may be increased for attached covered patios or decks by the percentage of the area covered by such patio or deck, but the total site coverage shall not exceed 40%.
- 7 A front yard of not less than 3 metres in depth throughout shall be provided for street townhouse sites which front on to a local street as defined in the City of Saskatoon's Street Classification System and which have access to a rear lane.
- 8 The maximum building height in established neighbourhoods is 8.5 metres.

8.8.5 Signs

The regulations governing signs in an RMTN District are contained in **Appendix A - Sign Regulations**.

8.8.6 Parking

- (1) Except as provided in clause (2), the regulations governing parking and loading in an RMTN District are contained in **Section 6.0**.
- (2) Where a street townhouse site has access to a rear lane, no parking shall be permitted in the front yard and no vehicular access to the site shall be permitted from the front street.

8.8.7 Landscaping

- (1) For dwelling groups, a landscaped strip of not less than 4.5 metres in depth throughout shall be provided along the entire length of all site lines which abut or adjoin a street, and shall be used for no purpose except landscaping and necessary driveway access to the site.
- (2) For street townhouses, a landscaped strip of not less than 4.5 metres in depth throughout lying parallel to and abutting the front site line shall be provided on every site and shall be used for no purpose except landscaping and necessary driveway access to the site.
- (3) For street townhouses on corner lots, in addition to the landscaping required in the front yard, the whole of any required side yard abutting the flanking street shall be landscaped.
- (4) Where an RMTN site abuts any R District site without an intervening lane, there shall be a strip of land adjacent to the abutting site line of not less than 1.5 metres throughout, which shall not be used for any purpose except landscaping.

8.8.8 Special Provision for Marquees or Canopies

- (1) For all permitted buildings except one and two-unit dwellings, a marquee or canopy shall be permitted to project into required front yards; provided however, that the outer edges of such marquee or canopy shall not be located closer than 1.5 metres to any front site line. A marquee or canopy may be cantilevered out from the building but may not be constructed or supported within such yards by walls or by more than required or normal structural supports.

8.9 RMTN1 – Medium Density Townhouse Residential District 1

8.9.1 Purpose

The purpose of the RMTN1 District is to provide for comprehensively planned medium density multiple-unit dwellings in the form of townhouses, dwelling groups, and other building forms, as well as related community uses.

8.9.2 Permitted Uses

The Permitted Uses and Minimum Development Standards in an RMTN1 District are set out in the following chart:

RMTN1 District	Minimum Development Standards (in Metres)									
	Site Width	Site Depth	Site Area (m ²)	Front Yard	Side Yard	Rear Yard Interior Site	Rear Yard Corner Site	Building Height (Max.)	Site Coverage (Max.)	Amenity Space Per Unit (m ²)
8.9.2 Permitted Uses										
(1) Dwelling groups ₁	30	30	900	6	6 ₅	6 ₅	6 ₅	12	40% ₆	9 ₄
(2) Street townhouses	6	30	180	6 ₇	1.5 ₂	7.5	7.5	12	40% ₃	-
(3) Residential care homes - Type I	6	30	180	6	1.5	7.5	7.5	12	40%	-
(4) Keeping of up to two boarders in a dwelling unit	-	-	-	-	-	-	-	-	-	-
(5) Family child care homes	Refer to General Provisions Section 5.33									
(6) Home based businesses	Refer to General Provisions Section 5.29									
(7) Accessory buildings and uses	Refer to General Provisions Section 5.7									
(8) Adult day care - Type I	Refer to General Provisions Section 5.35									
(9) Elementary and high schools	30	30	900	6	3	7.5	4.5	12	40%	
(10) Homestays	Refer to General Provisions Section 5.51									

(Revised – Bylaw No. 9683 – August 31, 2020)

8.9.3 Discretionary Uses

The Discretionary Uses and Minimum Development Standards in an RMTN1 District are set out in the following chart:

RMTN1 District	Minimum Development Standards (in Metres)									
	Site Width	Site Depth	Site Area (m ²)	Front Yard	Side Yard	Rear Yard Interior Site	Rear Yard Corner Site	Building Height (Max.)	Site Coverage (Max.)	Amenity Space Per Unit (m ²)
8.9.3 Discretionary Uses										
(1) Child care centres and preschools	6	30	180	6	1.5	7.5	7.5	12	40% ₃	
(2) Residential care homes - Type II	15	30	450	6	1.5	7.5	7.5	12	40% ₃	
(3) Community centres	30	30	900	6	6	6	6	12	40%	
(4) Short-term rental properties	Refer to General Provisions Section 5.52									
(5) Adult day care - Type II	6	30	180	6	1.5	7.5	7.5	12	40% ₃	
(6) Special needs housing ₁	30	30	900	6	6	6	6	12	40% ₃	
(7) Private school	15	30	450	6	3	7.5	4.5	12	40	

(Revised – Bylaw No. 8929 – May 9, 2011)

(Revised – Bylaw No. 9683 – August 31, 2020)

8.9.4 Notes to Development Standards

- 1 For multiple unit dwellings and townhouses, in dwelling groups:
 - (a) Each dwelling shall have primary access directly to the outside,
 - (b) There shall be no more than 18 dwelling units in a building, and
 - (c) There shall be no more than nine dwelling units side by side along any one building elevation.
- 2
 - (a) No side yard shall be required for an attached street townhouse dwelling with two shared common walls;
 - (b) A side yard not less than 1.5 metres throughout shall be provided for an attached street townhouse dwelling with only one common wall, provided, however, that on a corner site where the side yard adjoins a street, the side yard shall be a minimum of 2.3 metres in width throughout.
- 3 Site coverage for street townhouses may be increased to 50% where the increased site coverage is used exclusively for required enclosed parking.
- 4 An amenity space with a minimum area of 90m², or 9m² for each dwelling unit, whichever is the greater, shall be provided on each site for a dwelling group.
- 5 For dwellings in dwelling groups, a side yard of not less than 3 metres in width throughout and a rear yard of not less than 3 metres in width throughout shall be provided for an attached covered patio or deck or an attached raised patio or deck.
- 6 Site coverage for dwellings in dwelling groups may be increased for attached covered patios or decks by the percentage of the area covered by such patio or deck, but the total site coverage shall not exceed 45%.
- 7 A front yard of not less than 3 metres in depth throughout shall be provided for street townhouse sites which front on to a local street as defined in the City of Saskatoon's Street Classification System and which have access to a rear lane.

8.9.5 Signs

The regulations governing signs in an RMTN1 District are contained in **Appendix A - Sign Regulations**.

8.9.6 Parking

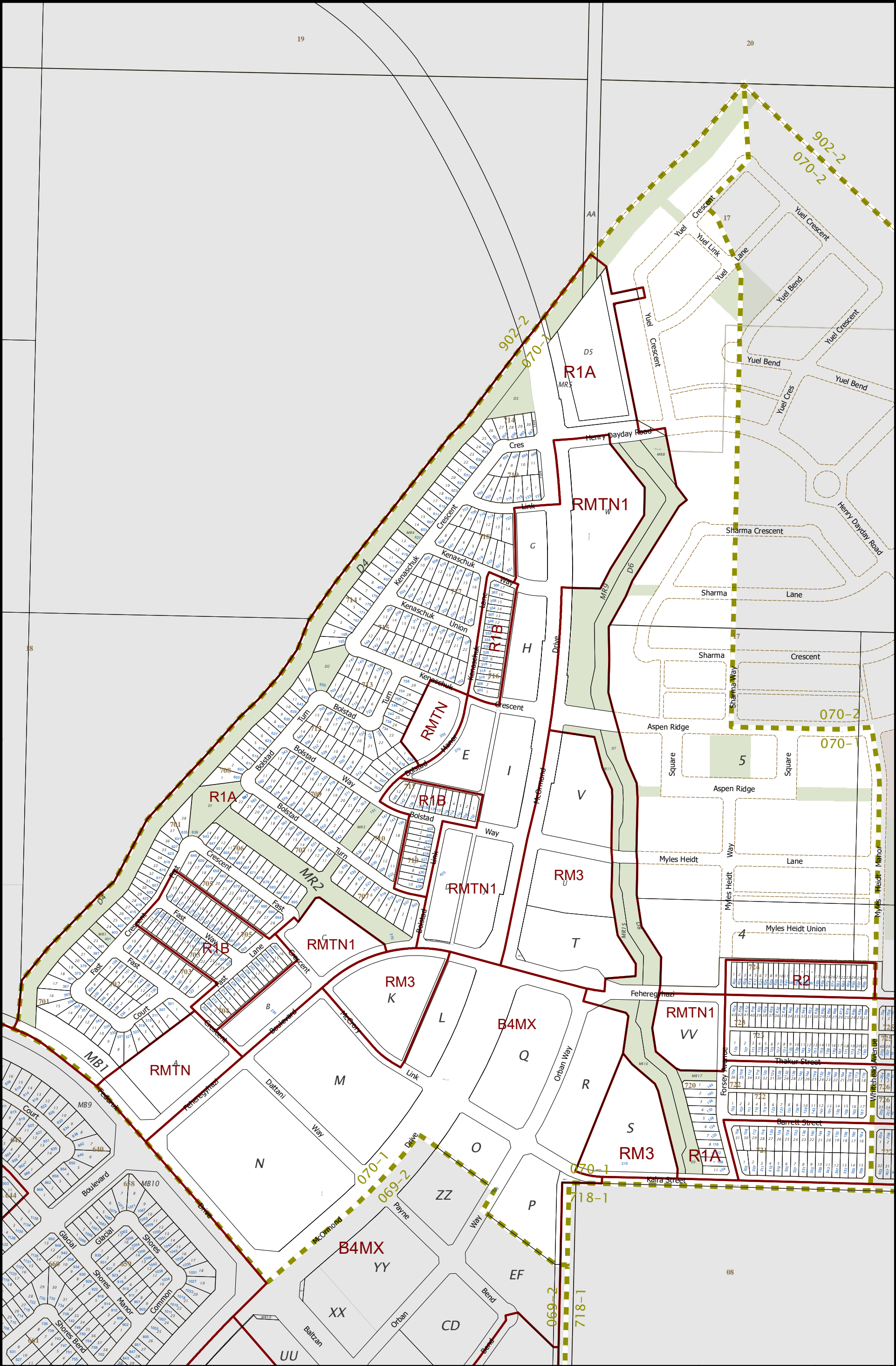
- (1) Except as provided in clause (2), the regulations governing parking and loading in an RMTN1 District are contained in **Section 6.0**.
- (2) Where a street townhouse site has access to a rear lane, no parking shall be permitted in the front yard and no vehicular access to the site shall be permitted from the front street.

8.9.7 Landscaping

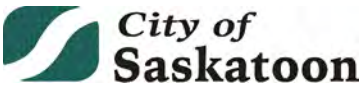
- (1) For dwelling groups, a landscaped strip of not less than 4.5 metres in depth throughout shall be provided along the entire length of all site lines which abut or adjoin a street, and shall be used for no purpose except landscaping and necessary driveway access to the site.
- (2)
 - (a) For street townhouses, a landscaped strip of not less than 4.5 metres in depth throughout lying parallel to and abutting the front site line shall be provided on every site and shall be used for no purpose except landscaping and necessary driveway access to the site.
 - (b) Notwithstanding subsection (a), where Section 8.9.4.7 provides for a front yard requirement for a street townhouse that is less than 4.5 metres, the entirety of any required front yard shall be landscaped and shall be used for no purpose except landscaping and necessary driveway access to the site.
- (3) For street townhouses on corner lots, in addition to the landscaping required in the front yard, the whole of any required side yard abutting the flanking street shall be landscaped.
- (4) Where an RMTN1 site abuts any R District site without an intervening lane, there shall be a strip of land adjacent to the abutting site line of not less than 1.5 metres throughout, which shall not be used for any purpose except landscaping.

8.9.8 Special Provision for Marquees or Canopies

- (1) For all permitted buildings except one and two-unit dwellings, a marquee or canopy shall be permitted to project into required front yards; provided however, that the outer edges of such marquee or canopy shall not be located closer than 1.5 metres to any front site line. A marquee or canopy may be cantilevered out from the building but may not be constructed or supported within such yards by walls or by more than required or normal structural supports.



Address Map of Aspen Ridge



Note: The information contained on this map is for reference only and not to be used for legal purpose

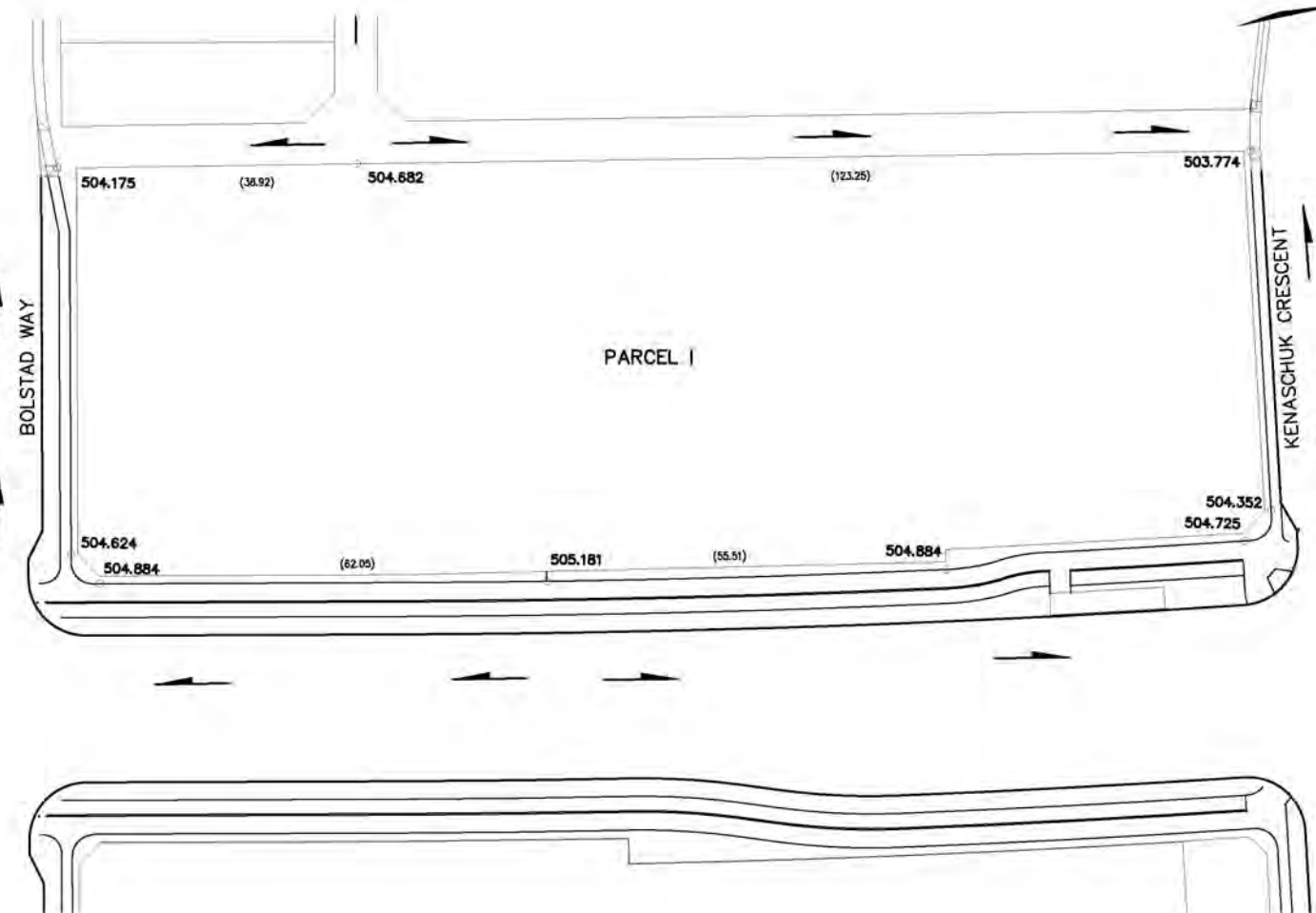
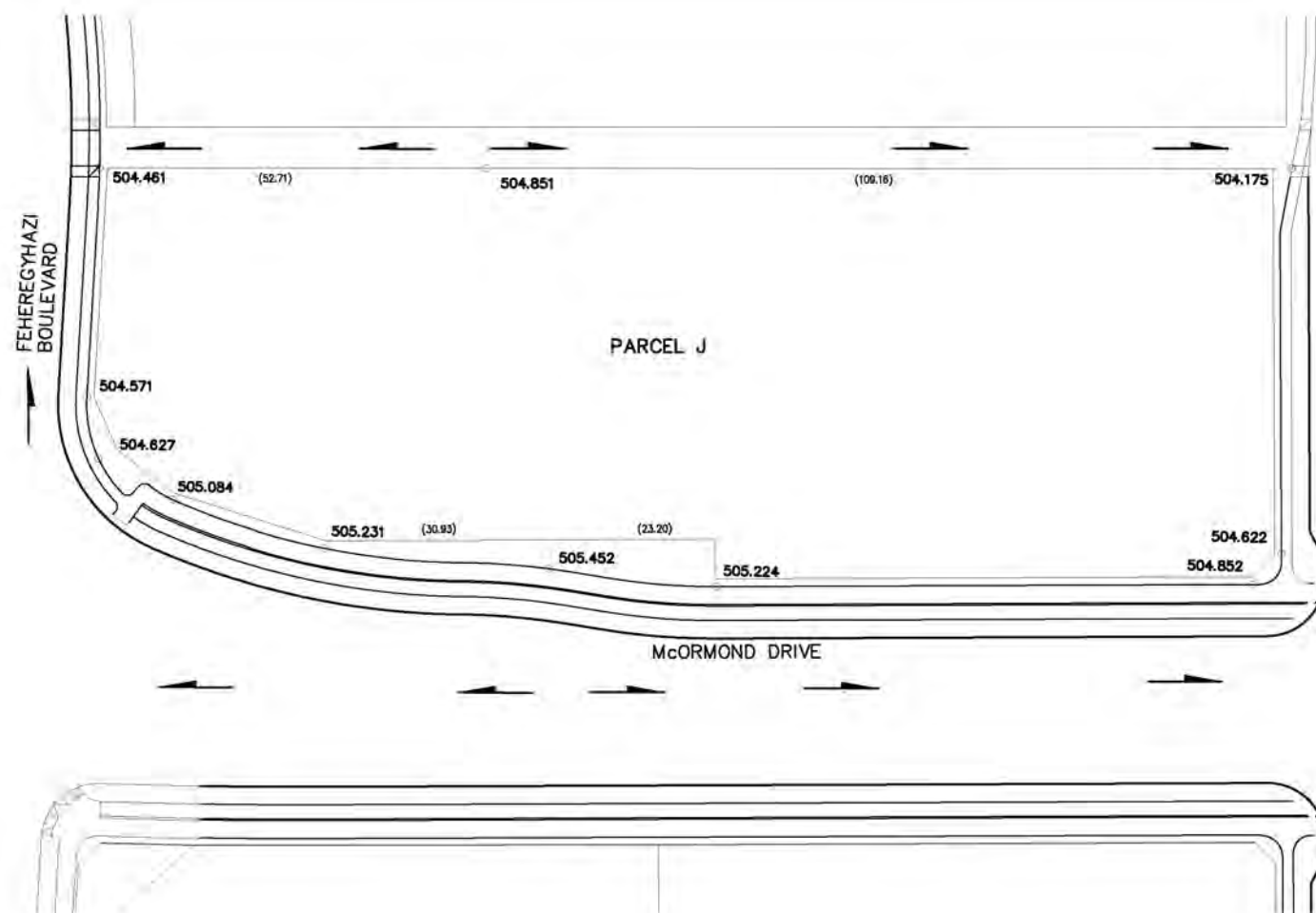
- Zoning Designation
- ISC Lots
- ISC Blocks

Scale 1: 5200

070-1

2/1/2021



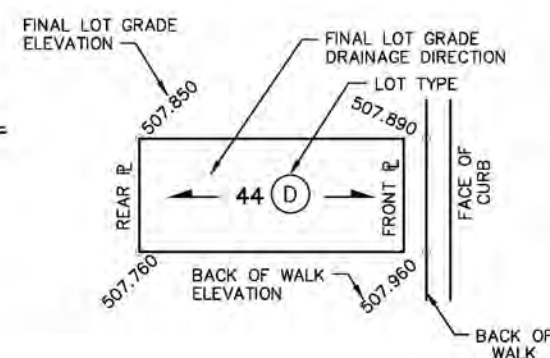
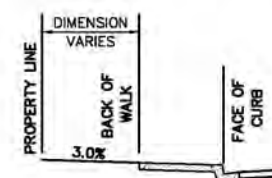
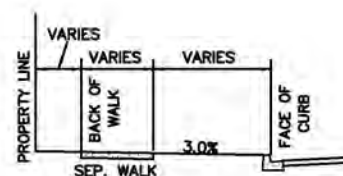


NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

LOT DRAINAGE DETAILS

LOT TYPE 'D' - SEE DRAWING 102-0022-017
 LOT TYPE 'A' - SEE DRAWING 102-0022-016
 LOT TYPE 'A-D', 'D-A' - SEE DRAWING 102-0022-013

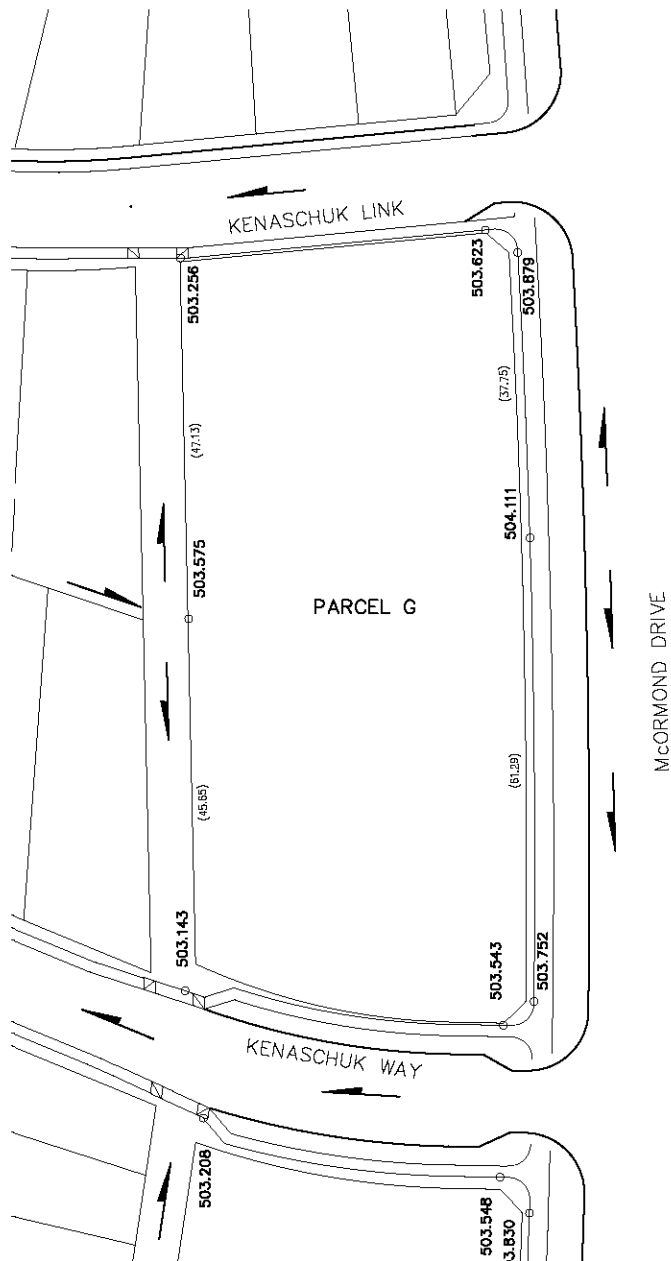


KEY PLAN

CONST.

PROJECT NO. 502-0087-305r001_CWL

<div> </div>			<div> <div>CHECKED BY:</div> <div> </div> <div>DATE: Jun 3, 2021</div> </div>		<div> <div>CHECKED BY:</div> <div> </div> <div>DATE: Jun 3, 2021</div> </div>		<div> <p>City of Saskatoon Transportation and Construction Division</p> </div>		<div> <div>2021 ASPEN RIDGE - PHASE D1A</div> <div>PARCEL J & PARCEL I</div> <div>FEHEREGYHAZI BOULEVARD</div> <div>TO</div> <div>KENESCHUK CRESCENT</div> </div>		<div> <div>2021-06-03</div> <div>2021-06-03</div> <div>112-0087-021r001</div> </div>
1	ISSUED FOR CONSTRUCTION	2021-06-03	SC1	PLAN DESCRIPTION/REVISION	DATE	BY	SCALE	1	1	1	1



LEGEND

NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

KENASCHUK WAY, McORMOND DRIVE

DRAWN BY SCT DATE 2021-APR-26

SCALE 1:1000

PLAN NO. 112-0087-022r001

PAGE 1 OF 4



**City of
Saskatoon**

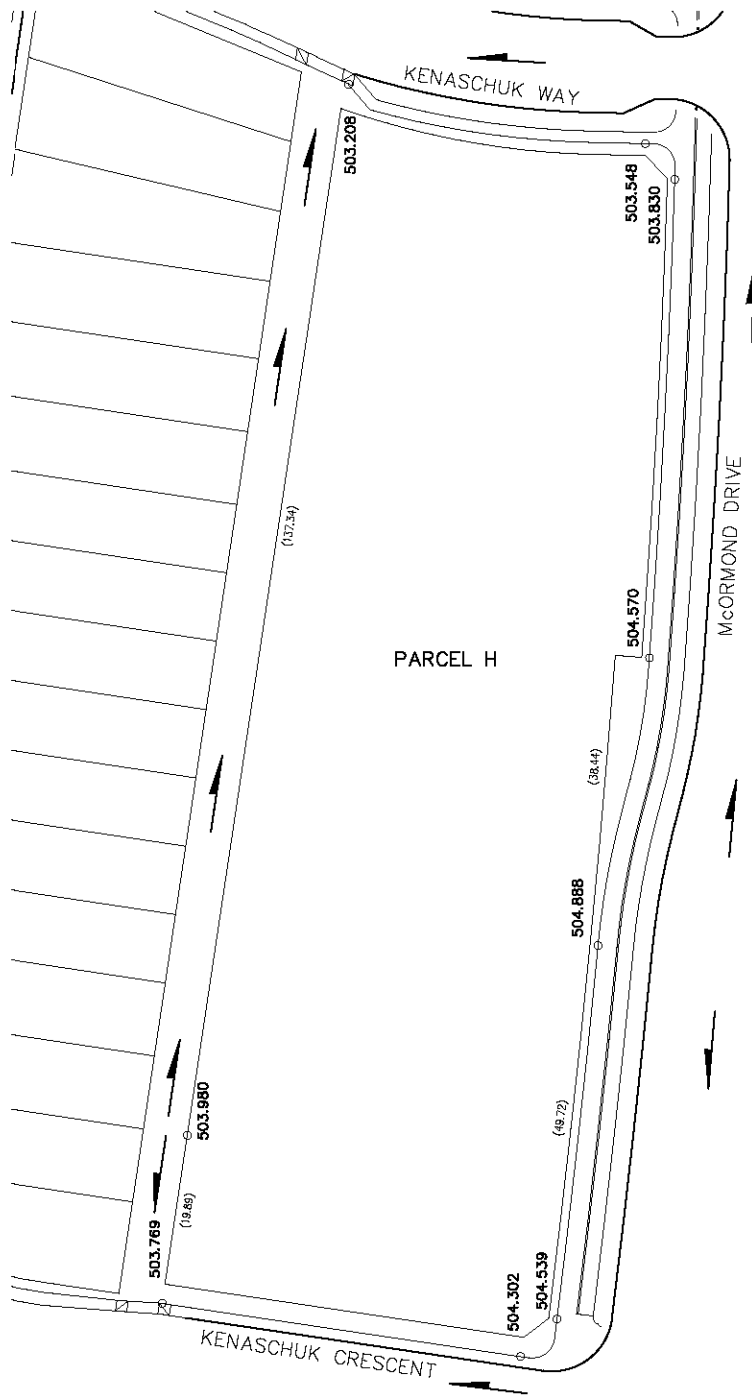
Transportation and Construction Division

SOURCE DOCUMENT

PLAN No. 112-0087-020r001

APPROVAL DATE 2021-APR-26

REVISION DATE 2021-APR-26



LEGEND

NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

KENASCHUK CRESCENT, McORMOND DRIVE

DRAWN BY SCT DATE 2021-APR-26

SCALE 1:1000

PLAN NO. 112-0087-023r001

PAGE 2 OF 4



**City of
Saskatoon**

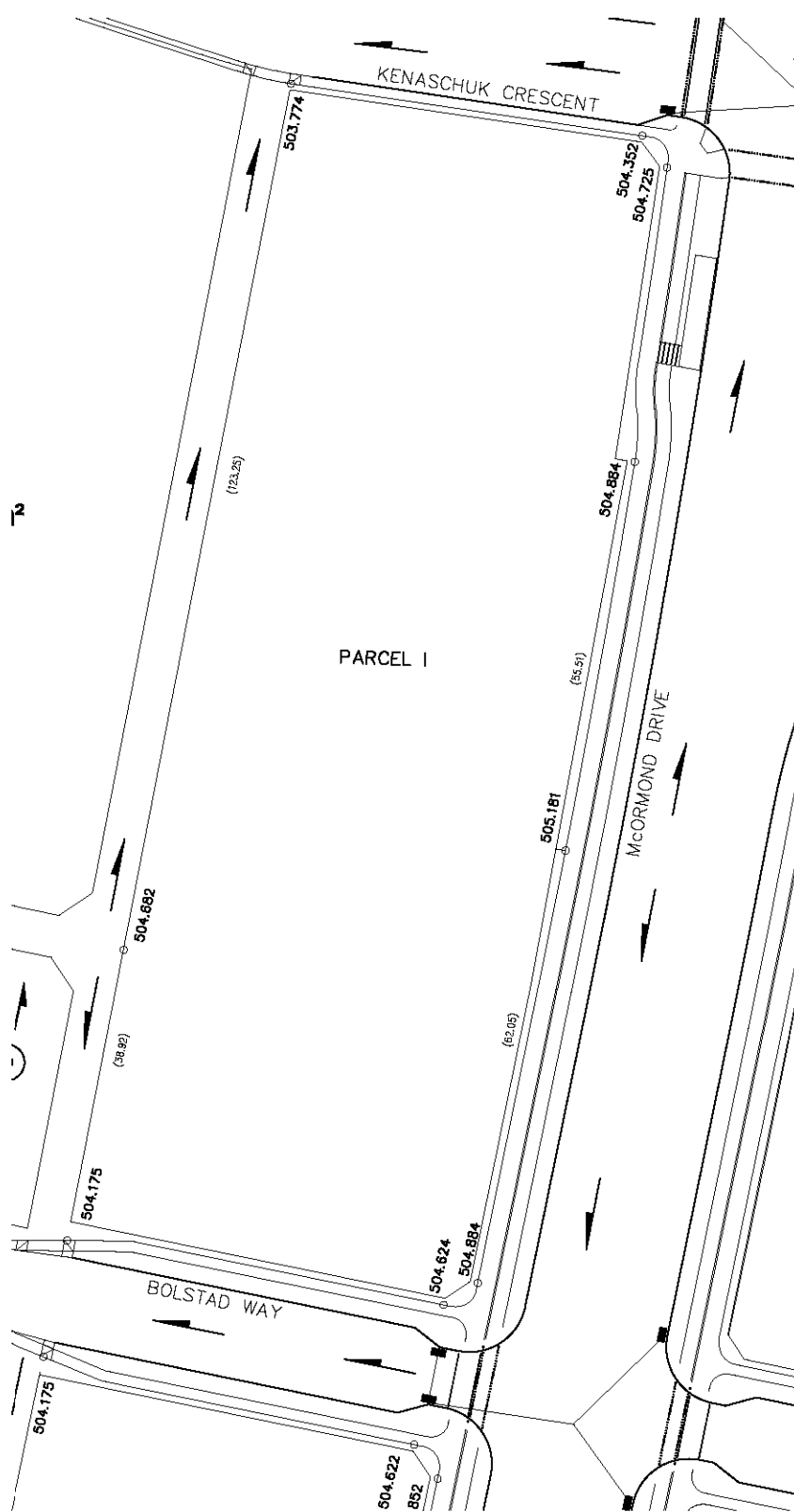
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SOURCE DOCUMENT

PLAN No. 112-0087-020r001

APPROVAL DATE 2021-APR-26

REVISION DATE 2021-APR-26



LEGEND

NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

BOLSTAD WAY, McORMOND DRIVE

DRAWN BY SCT DATE 2021-APR-26

SCALE 1:1000

PLAN NO. 112-0087-024r001

PAGE 3 OF 4



**City of
Saskatoon**

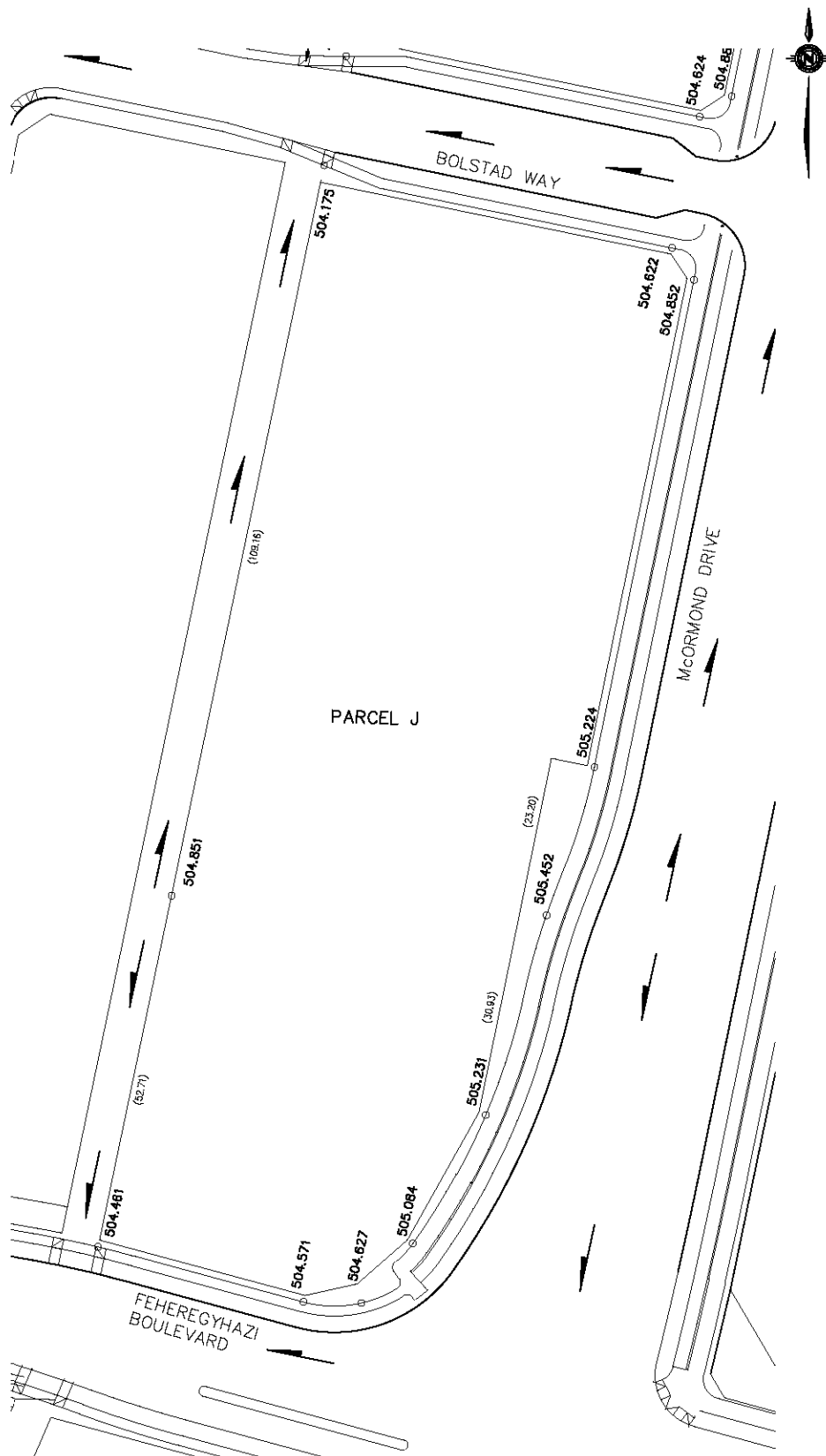
Transportation and Construction Division

SOURCE DOCUMENT

PLAN No. 112-0087-021r001

APPROVAL DATE 2021-APR-26

REVISION DATE 2021-APR-26



LEGEND

NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

FEHEREGYHAZI BOULEVARD, McORMOND DRIVE

DRAWN BY SCT DATE 2021-APR-26

SCALE 1:1000

PLAN NO. 112-0087-025r001

PAGE 4 OF 4



**City of
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Transportation and Construction Division

SOURCE DOCUMENT

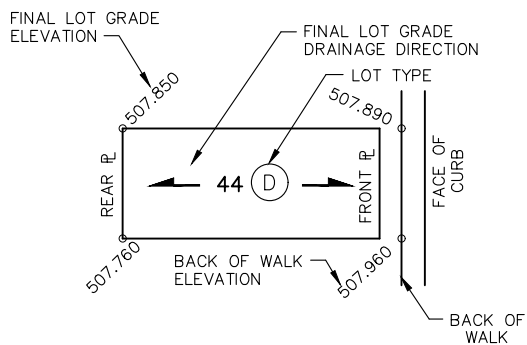
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APPROVAL DATE 2021-APR-26

REVISION DATE 2021-APR-26



LEGEND



NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

BOLSTAD TURN & BOLSTAD LINK

DRAWN BY JVS DATE 2016-JUN-20
 SCALE: 1:1000
 PLAN No.:
 PAGE: 11 OF 12



**City of
Saskatoon**

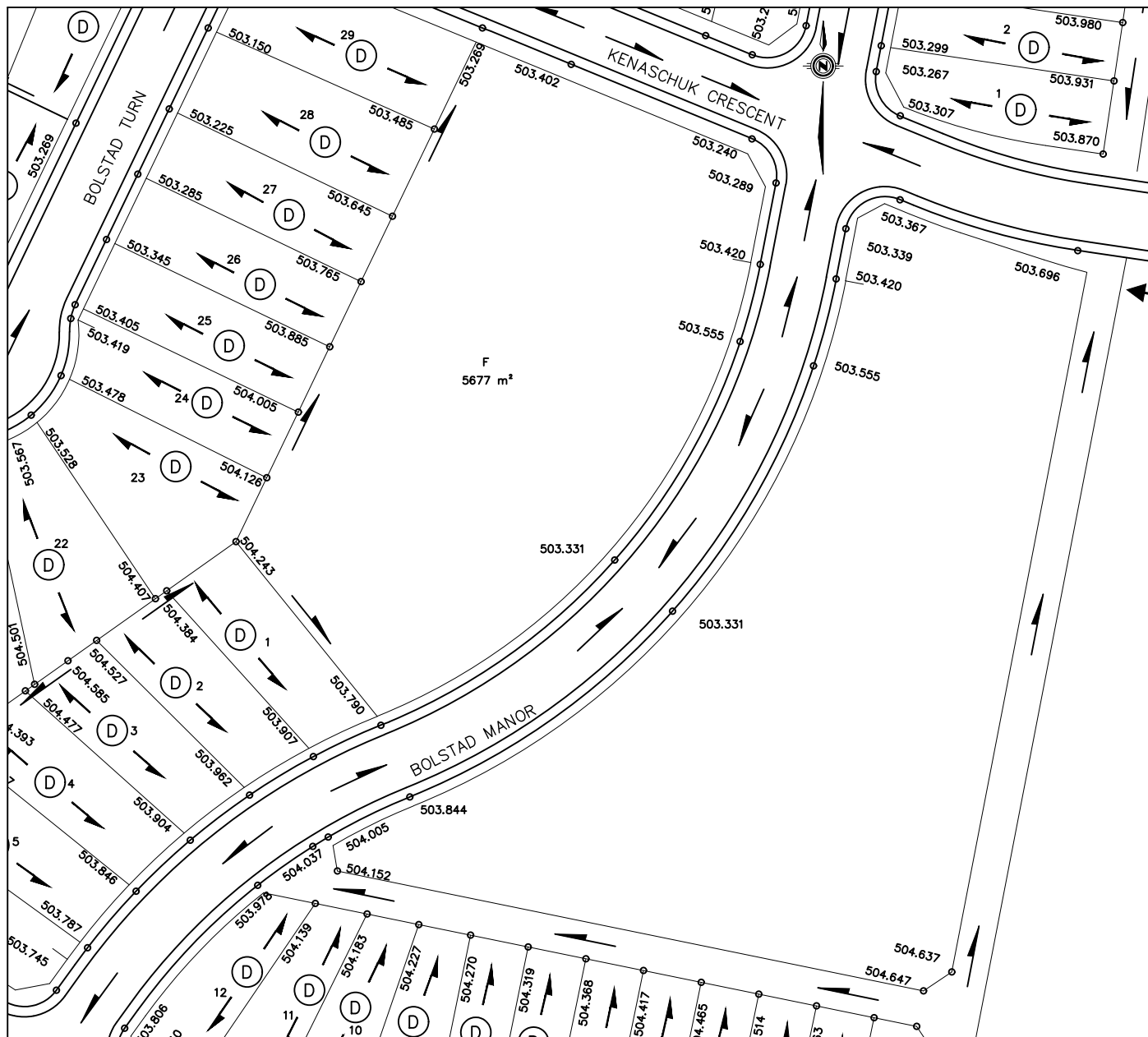
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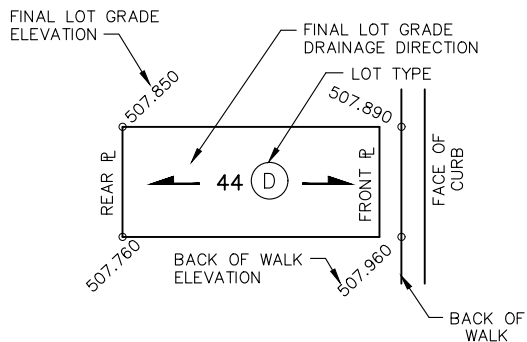
PLAN No.: 112-0087-006

APPROVAL DATE:

REVISION DATE:



LEGEND



NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

KENASCHUK CRESCENT, BOLSTAD TURN & MANOR

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 SCALE: 1:1000
 PLAN No.:
 PAGE: 8 OF 12



**City of
Saskatoon**

Transportation & Utilities Department

SOURCE DOCUMENT

PLAN No.: 112-0087-005

APPROVAL DATE:

REVISION DATE: