

Brighton

a community connected

Phase 1 Lot Information Package



Table of Contents

Terms of Sale.....	4
Eligible Contractors.....	4
Down Payment	4
Resale of Lot	4
Payment Terms	4
Possession of Land	4
Build-Time Requirement.....	4
Taxes.....	5
Transfer of Title	5
Default or Voluntary Cancellation	5
Starting Construction	5
Landscaping and Driveway Rebate.....	6
Brighton Phase 1 Rebate*	6
General Information.....	7
Architectural Controls.....	7
Zoning.....	7
Nearby Multi-Unit Sites	7
Residential Care Homes – Type II, Pre-Schools or Child Care Centres	8
Disclosure of Adjacent Property Owners	8
Lot Grading	9
Lot Grade Details	9
Grading Between Lots	10
Lot Grading Do's & Don'ts	10
Foundation Drainage.....	12
Construction Notes.....	14
Lot Addressing.....	14
Landscaping of City Boulevards	14
Boulevard Tree Planting and Gardens*	15
Construction Waste.....	15
Temporary Water Circulation Boxes	15
Shallow Utility Servicing Information for New Construction.....	15
Centralized Community Mail Boxes	16
Earth Disposal.....	16
Topsoil for Lot Landscaping	16
Construction Access	16
Concrete Garage Pads for Detached Garages	17

Figures

Figure 1: Grading	10
Figure 2: Sump Design - Sump with Pumped Discharge to Surface	13
Figure 3: A and B Boulevard Types.....	14

Appendices

Appendix 1 – Lot Information Map
Appendix 2 – Lot Footprint and Zoning Limits
Appendix 3 – Building Setbacks
Appendix 4 – Zoning Map
Appendix 5 – Neighbourhood Concept Plan
Appendix 6 – Lot Grades
Appendix 7 – Cut and Fill Map
Appendix 8 – Contour Map
Appendix 9 – Joint Use Servicing and Utility Corridors
Appendix 10 – Pedestals Outside Fencing Along Lanes
Appendix 11 – Plan of Proposed

Terms of Sale

Eligible Contractors

Down Payment

A down payment of 5% of the purchase price is required at the time of lot allocation and entrance into a Holding Agreement. Upon possession, an additional 8% deposit and entrance into an Agreement for Sale is required.

Builders will be given 5 business days after confirmation of lot allocation to pay the deposit and sign the Holding Agreement. Failure to meet this requirement will result in a loss of the sale, the lots being reallocated and a \$500 admin fee per lot will be charged.

Resale of Lot

Lots are not to be resold. Builders are purchasing City lots to construct homes for potential homebuyers. If a lot is no longer required, please review the Cancellation Policy on Page 5 of this document. Assignments may be permitted with notification and approval by Saskatoon Land.

Payment Terms

Saskatoon Land is offering competitive payment terms for this phase. Specific terms applicable to these lots include:

- A down payment of 5% of the purchase price is required at the time of lot selection and entrance into a Holding Agreement
- Upon possession an additional 8% (Plus GST) deposit is required and entrance into an Agreement for Sale
- full payment of the lot is due within 12 months of possession with interest at 0% per annum
- after 12 months, upon request, an extension may be granted with a payment of 5% of the purchase price to extend an additional 4 months at an interest rate of 5% per annum
- no further extensions will be granted and full payment of the lot is due within 16 months

Possession of Land

All 136 lots will be sold with delayed possession, estimated to be in Fall 2021.

Build-Time Requirement

All lots purchased have a three-year time requirement to complete construction. Construction may begin once possession of the lot is granted, utility servicing is complete and the roadways are at gravel base. The build requirement will commence

from the date of possession. Construction includes a build substantially complete and ready for occupancy within the three-year time frame. Builders not meeting this requirement will be suspended from the Eligible Contractors list.

Taxes

Property taxes become the responsibility of the purchaser(s) effective the first of the month following the possession date. For an estimate of the taxes on the land only, please call the Assessment Division at (306)975-3227.

Transfer of Title

The Transfer of Title will be issued in one of the following ways:

- under the appropriate trust conditions, the Transfer will be forwarded to the purchaser's solicitor; or
- upon receipt of payment in full, the Transfer will be forwarded to the purchaser's solicitor.

Default or Voluntary Cancellation

An Agreement for Sale/Holding Agreement is defaulted when any of the terms are not met within the time of the agreement. In the event of cancellation or default, a \$500 processing fee is charged plus a restocking fee for the time the purchaser has held the lot. The restocking fee is one percent of the purchase price of the lot plus GST, multiplied by the number of months (no charge for first 30 days) which have elapsed between the date of the Agreement of Sale and the date of the Quit Claim. The restocking fee is deducted from monies paid (i.e. down payment) and any remaining portion is refunded. Voluntary cancellation cannot occur once construction has begun or Title has been transferred into the purchaser(s) name.

Starting Construction

Possession of the site is granted for construction purposes when the down payment has been received, finalizing the Agreement for Sale.

Lots are sold "**As Is**". These terms are contained in the Agreement for Sale. The terms may change without notice. Any questions should be asked to ensure you understand the terms of your purchase.

Landscaping and Driveway Rebate

Brighton Phase 1 Rebate*

Front yard landscaping and hard surfacing of front driveways is required to be completed within 18 months of building permit issuance in Phase 1 to improve the curb appeal of newly built dwellings in Brighton. Saskatoon Land offers a Rebate Program to Builders and lot purchasers to help with these projects. For lots sold in Phase 1 the following Rebate will apply:

- A rebate of \$5,000 is available for builders or individual lot purchasers for the completion of both the front driveway surfacing and front yard landscaping within 18 months of the building permit issuance date.

Rebate will only be issued once completion, architectural inspection and approval is granted on both the front driveway surfacing and front yard landscaping.

*Visit saskatoonland.ca for full information and requirements on the Rebate Program

General Information

Architectural Controls

Once a lot is purchased, the purchaser and/or builder will be required to review the Brighton Architectural Controls. The Architectural Controls for Brighton (Phase 1) can be found at saskatoonland.ca. **Building Plans showing compliance with the Architectural Controls must be submitted and approved by Saskatoon Land prior to applying for a Building Permit.** Upon approval, Saskatoon Land will provide an approval package with stamped Building Plans. The purchaser and/or builder needs to submit the approval package to the Building Standards Division as part of the Building Permit package. Complete information and approval by Saskatoon Land before applying for a Building Permit will ensure no Architectural Control delays after applying for a Building Permit.

Please be advised that to qualify for Saskatoon Land's Rebate program the dwelling must pass architectural inspection. If the dwelling is constructed in violation of the Architectural Controls as approved and initialled in the Agreement for Sale, the rebates will be withheld, and the City may take legal action to require compliance. Issuance of a Building Permit will not absolve the Purchaser from meeting this requirement. Such action could result in the demolition or partial demolition of the building at the expense of the purchaser.

Zoning

If you require more information on zoning, please visit (saskatoon.ca/zoning) and search zoning bylaw, or contact the Planning and Development Division at (306)975-2645.

The lots within this phase of Brighton are zoned R2 (see Attachment 4). Please consult the City's Zoning Bylaw for the development standards of this district.

Nearby Multi-Unit Sites

Parcel A, on Delainey Court
Parcel 129, on Delainey Court
Parcel 121, on Underhill Road
Parcel 120, on Underhill Bend

Parcel A will be subject to the Saskatoon Land Architectural Controls for the Brighton neighbourhood. Parcels 120, 121 and 129 will have Architectural Controls but approval will be completed by other Brighton Land Developers.

Additional multi-unit parcels will be subdivided to the west and south as part of future plans.

Residential Care Homes – Type II, Pre-Schools or Child Care Centres

Sites within the Brighton neighbourhood have been pre-designated for development as Residential Care Homes – Type II, Pre-Schools, or Child Care Centres. A Residential Care Home –Type II is a care home in which the number of residents under care is more than five, and no more than fifteen. Pre-Schools means a facility which provides a part-time program for pre-school aged children. Child Care Centre means an establishment providing for the care, supervision and protection of children, but does not include the provision of overnight supervision. The locations of sites for these uses have been spread throughout the neighbourhood and among various phases of development. In general, these locations are adjacent to collector streets on corner lots in order to provide access to transit service, and to mitigate any potential parking conflicts.

Residential Care Home lots in Phase 1 are located at lots 12 & 13 Block 132.

Disclosure of Adjacent Property Owners

In order to facilitate discussions between property owners respecting lot grading, fencing and property maintenance, Saskatoon Land will, upon request, disclose the names and phone numbers of purchasers to adjacent property owners.

Lot Grading

Lot grading is the slope of the lot in order to provide good drainage away from the buildings in such a way that surface runoff from rainstorms or snowmelt is directed toward the storm sewer. Runoff is controlled through the use of side and back of lot swales to eliminate or minimize the impact on adjacent properties and to ensure proper overland drainage.

Complete development of all lots in an area may occur over a number of years and, unfortunately, some purchasers landscape their lot without proper consideration for the designated overland drainage pattern of the area. Early development does not preclude a homeowner's responsibility to maintain this drainage pattern. If a homeowner obstructs drainage in any way, thereby creating a flooding problem for neighbours upstream, that homeowner must correct the situation at their own expense. Similarly, a lot should not be landscaped below design grades otherwise flooding may occur.

In addition to this section below please refer to the [Residential Property Lot Grading Guidelines](#).

Lot Grade Details

The following information has been prepared to assist the purchaser and/or builder in setting the dwelling elevations and final lot grades. Lot grade details are shown on Attachment 6 in this package:

- 1) Lot grading types on Attachment 6 – show types A, A-D, and D, including a three-dimensional view and side view of the grading type;
- 2) Lot grade drawings on Attachment 6 – show the final design elevations at property corners and at other points that are deemed critical elevation points. It is important that builders and purchasers match these grades with final landscaping elevations. These elevations are required as a minimum for building plan approval; and
- 3) A drawing showing a cross section of a typical side yard fence and side yard grading that will not impede side yard drainage.

During the initial stages of subdivision development, all streets, easements, lanes, and walkways are pre-graded to design elevations set to accommodate drainage throughout the area. In the case of the utility easements, the grade is constructed approximately 100mm (4 inches) below the final design grade, which allows the homeowner to add topsoil without creating drainage problems for neighbouring yards.

Once dwelling construction is complete, lot grading is a two-step procedure. The first step is the rough grade stage, which includes backfilling the foundation walls and shaping the lot to conform to the pre-grade drainage plan. When rough grading is complete, the lot should be within 7 to 20cm (3 to 8 inches) below the final design grade

to allow for the addition of topsoil (4 to 6 inches). Once the lot is at the final design grade, topsoil and sod, decorative rock, wood chips, or other surface treatments can be installed. **It is strongly recommended that purchasers consult a legal surveyor or other qualified professional to get the final grade elevations to their lot before landscaping is started.**

Grading Between Lots

A sloped surface is required to effectively drain water away from the foundation walls, including under steps and decks in order to reduce the risk of water entering the basement during rainfalls or snowmelt. See Figure 2. Drainage swales are shallow sloped channels intended to move surface runoff away from lots toward the storm sewers. On Attachment 6, drainage swales are shown on common property lines and should be graded in accordance with the Lot Grade Drawings.

If decorative rock or wood chips are to be used in the drainage swale the grade below this treatment must be at the final grade elevation to facilitate proper runoff to the storm sewer.

Lot Grading Do's & Don'ts

Do's:

- 1) Do require construction plans to include finished grade elevations around the dwelling foundation and along property lines. **Do not leave your dwelling and site grading to chance.** Building Standards

requires the submission of the lot corner elevations on the site plan submitted for building permit approval. It is strongly recommended that the plans also include finished elevations along the foundation and garage grade beam, garage slab, foundation windows, side property lines, edge of driveways and sidewalks (particularly along the side of the dwelling), and the top and bottom of any retaining feature.

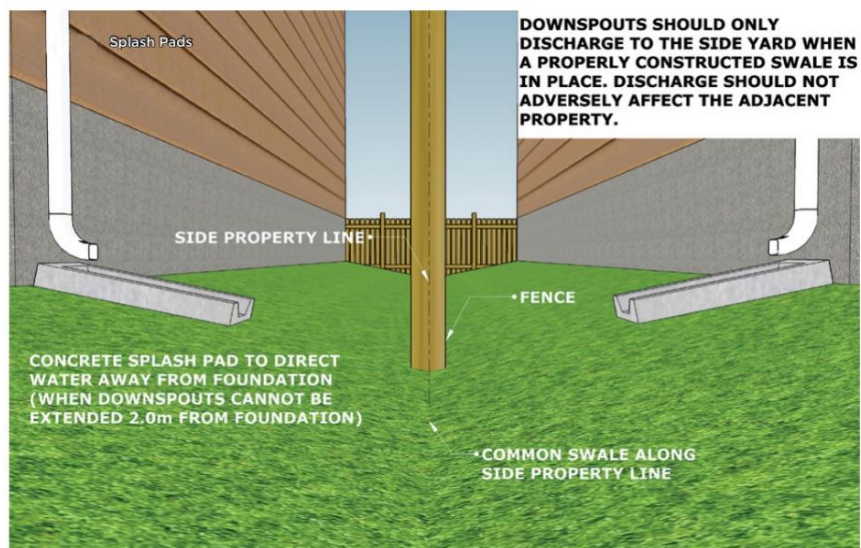


Figure 1: Grading

- 2) Do use a level to set the finished grades along the property line, particularly before installing sidewalks and fencing.
- 3) Do discuss with adjacent property owners' final drainage grades along the property line. Proper lot drainage requires cooperation of adjacent purchasers.
- 4) Do undertake a final site inspection of easements, side yard and sidewalks with each sub-trade prior to releasing final payment.
- 5) **Please disregard any grade elevation information displayed on electrical pedestals and transformer boxes.**

Don'ts:

- 1) Don't excavate into the easement or berm. These contain critical utilities vital to the neighbourhood.
- 2) Don't fill the rear easement, as this will block the intended drainage.
- 3) Don't build raised flowerbeds against the fence/property lines without making provisions for drainage (see Attachment 6).
- 4) Don't try to build HIGHER than both adjacent neighbours. This leads to expensive provisions for retaining walls, and frequent flooding of neighbouring properties.

For more information, please contact Gerald Prefontaine, Environmental & Infrastructure Compliance - Drainage Inspector, Community Standards at (306)975-2869.

Foundation Drainage

In addition to this section please refer to the Residential Property Lot Grading Guidelines.

1) Foundation Drainage (Weeping Tile) Requirements

- a) The bottom of every exterior foundation wall shall be drained as per the National Building Code.
- b) Connection of foundation drains of all buildings to the sanitary sewer collection system will not be permitted.

2) Discharge of Foundation Drainage Water

- a) All buildings are required to drain foundation water into a sump, which in turn discharges the water to the surface or to a storm sewer.

3) Surface Discharge

- a) Sump pumps discharging to surface may not discharge directly onto a pervious ground surface within one metre of any building that has a basement or a level below the finished ground surface.
- b) The location of the point of discharge shall be directed away from adjacent properties.
- c) If the lot is split drainage (Type D), surface discharge may drain either to the front or back yard. If the lot drains from the back to the front (Type A), surface discharge must be to front yard.
- d) The discharge may not be into the area of the required side yard setback unless the side yard is adjacent to a street, park or buffer strip.

4) Discharge to Storm Sewer

- a) Sumps discharging to storm sewers shall be pumped to the main by a pressure service connection.

5) Sump Design Criteria – Sump Pit Details

- a) As per National Building Code 9.14.5.2, sump pits are to be a minimum of 750mm deep and 0.25 square metres in area.
- b) Sump pit is to be fitted with a tight fitting removable cover.
- c) Sump pit will be constructed of concrete, plastic, or non-corrosive metal.
- d) Sump pit is to be fitted with an opening to accept a 100mm drain with the invert of the pipe located above centre of the sump pit height.
- e) Sump pit is to be placed on an even, well compacted surface.

6) Foundation Drainage (Weeping Tile) to Sump Pit

- a) A weeping tile collection system shall be provided around the building perimeter and tied to a sump pit using a positively graded, non-perforated, 100mm pipe which discharges into the side of the pit.
- b) Provision shall be made to ensure soil gas is prevented from entering the dwelling unit through the weeping tile and through the sump pit.

7) Sump Pump

- a) Provide a sump pump (column of submersible type) capable of pumping 50 L/m at three metres of head.
- b) The pump shall be fitted with an automatic on/off level control.
- c) The pump discharge must have a minimum pipe diameter of 32mm. The pipe must be adequately secured.

Sump pumps connected directly to a storm sewer must be equipped with a spring-check valve and shut-off valve located downstream of the check valve, so that the connection to the main can be isolated from maintenance.

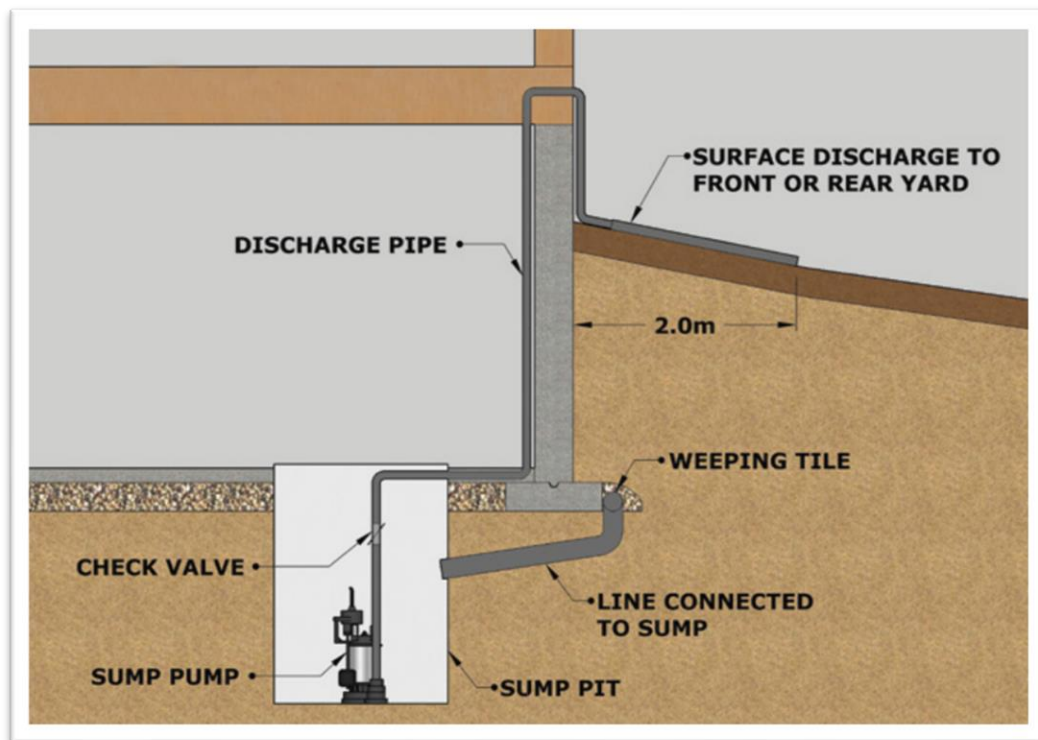


Figure 2: Sump Design - Sump with Pumped Discharge to Surface

Construction Notes

Lot Addressing

In order to provide way finding in the neighbourhood, please post your civic address at the front of the property when construction begins. Civic address can be found for each lot using the interactive map at saskatoonland.ca

Landscaping of City Boulevards

Purchasers are encouraged to landscape and maintain the boulevard along the front of their property and along the side of corner lots. Landscaped boulevards can create beautiful and diverse streetscapes, add character to neighbourhoods, and increase feelings of community pride and safety. Boulevards are defined as the landscaping space between the edge of the roadway and the property lines. Where the sidewalk is not attached to the curb, the boulevard is the space between the curb and the sidewalk and the sidewalk and the property line (see Figure 3A). Where the sidewalk is attached to the curb, the boulevard is the space between the sidewalk and the property line (see Figure 3B). These areas are required to be landscaped with a number of materials (for example: sod, established grass seed mix, decorative landscaping rock with geotextile fabric (rock size must be between 25-75mm), paving stones, trees*, and gardens*). Please refrain from using materials that have height or mass and could restrict views or damage car doors when opening (for example: boulders). Boulevards must be landscaped and approved in order to receive Saskatoon Land's landscaping rebate.

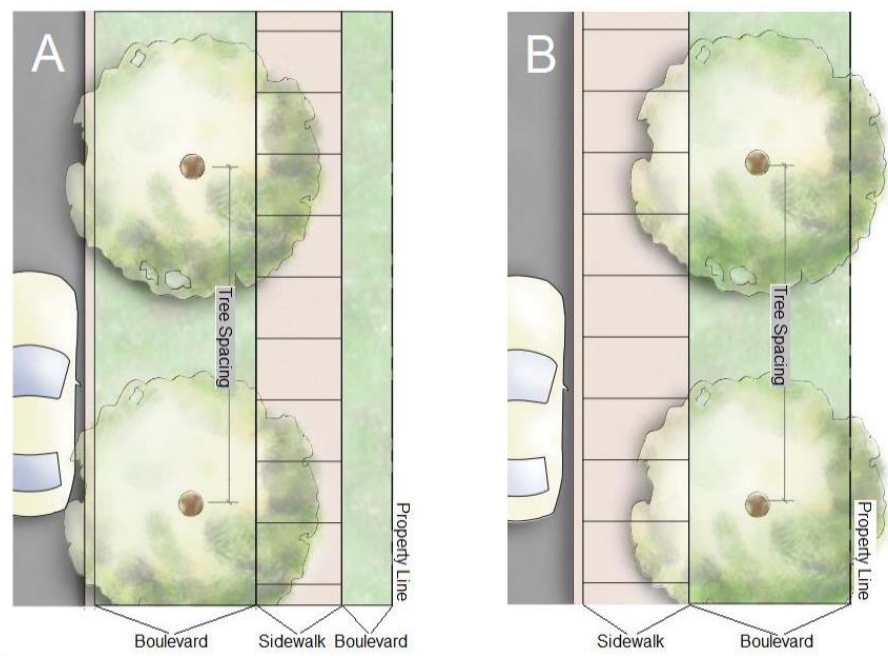


Figure 3: A and B Boulevard Types

Boulevard Tree Planting and Gardens*

The *Plant by Request Program* is available to purchasers to request to have a tree planted in an available planting site on the boulevard. To inquire further regarding the Plant by Request Program, please contact Urban Forestry, Community Services at 306-975-2890 or visit saskatoon.ca/treerequest.

The City of Saskatoon allows for gardening on City boulevards. For more information please review the City of Saskatoon's Boulevard Gardening & Maintenance Guidelines and complete the Boulevard Garden Agreement by contacting 306-986-3733 or visiting saskatoon.ca/gardens.

Construction Waste

As per [City of Saskatoon Bylaw No. 8310, The Waste Bylaw, 2004](#) any purchaser and/or builder carrying out the construction of a building on any property shall place all waste into a waste container or enclosure. The purchaser and/or builder shall dispose of all waste resulting from the construction in a timely manner so as to ensure there is no unreasonable accumulation of waste on the property during the construction.

It is required that a waste disposal bin remain on each building site for the duration of construction in order to ensure that the waste is not dispersed on or around the property or surrounding properties. Upon completion of construction, it is the purchaser and/or builder's responsibility to clear their site of all waste. If the waste is not removed, the City may remove the waste and all associated costs will be charged to the purchaser and/or builder.

Temporary Water Circulation Boxes

To ensure water quality is maintained throughout the initial stages of development in this phase; blue temporary water circulation boxes are installed on some properties. These temporary water circulation boxes are removed during the installation of the water and sewer connection to the dwelling. For more information, please contact the Construction and Design Division at (306)975-2454.

Shallow Utility Servicing Information for New Construction

Crown Utility Corporations have introduced a Joint Servicing Initiative that includes the installation of gas, electric and communications in a common trench from the main line to the building. This approach achieves efficiencies for the installation of the service lines and addresses the challenges associated with space constraints.

Please see Attachment 9, which includes information on the Joint Servicing Initiative and a site check readiness sheet, which lists the items required prior to the installation of services to your home. For further information on your shallow utilities services,

please contact the appropriate utility agency (SaskPower, SaskEnergy, Sasktel or Shaw Cable).

In addition, for lots with lanes, please see Attachment 9. This illustration provides a guide to how SaskPower and SaskEnergy typically provide underground services to each lot. Attachment 10 provides a guide to lot purchasers on how to fence the pedestal outside the property fence so that it can be access from the lane.

Centralized Community Mail Boxes

Canada Post will provide mail delivery service to the neighbourhood through centralized Community Mailboxes. For the location of these mailboxes please refer to the Lot Information Map or interactive map at saskatoonland.ca.

Earth Disposal

Builders and individuals will be responsible for disposing of their own excess earth material. Currently there is no clean fill site located in Brighton. Builders can contact the City of Saskatoon Landfill as they may accept clean fill free of charge during normal hours of operation, 7:30 a.m. – 5:30 p.m. daily. If arrangements are made with another landowner to dispose of the material anywhere within the city limits, they are to contact Central Dispatch at (306)975-2491 and they will maintain a log of locations. If disposing of material outside the city limits within the RM of Corman Park, the RM must be notified of those arrangements. Please ensure basement excavations and all other construction waste materials are not deposited on adjacent properties or any other properties in this area without prior arrangements being made. Regular inspections of the area will be done and any individual or company found illegally disposing of materials on properties without the owner's permission shall be liable to fines up to \$25,000 as outlined in the City of Saskatoon [Anti-Dumping Bylaw No. 5713](#).

Topsoil for Lot Landscaping

Builders may contact Saskatoon Land to see if topsoil is available free of charge for their property in the area. Please call Saskatoon Land at (306)975-3278 for up to date information on topsoil availability. Topsoil is not to be removed from other lots, boulevards, parks, or any other open spaces in the neighbourhood.

Construction Access

For those lots adjacent to parks and/or buffer areas, a [Bufferstrip/Park Access Approval Form](#) must be completed and approved before access is allowed through any park or easement. This ensures all public property is maintained at a standard acceptable for the public to use and enjoy safely. Repair and clean-up are the responsibility of the Builder or homeowner and are required to be completed according to the City of Saskatoon's landscape standards. Any repairs or clean-ups not satisfying these standards will be completed by the Parks Division and billed back to the property owner.

If you wish to access a park or buffer, please contact the City of Saskatoon, Parks Division at 306-975-3300 to arrange for an inspection to be carried out, and, if access is deemed to be appropriate, the completion of a Bufferstrip/Park Access Approval Form.

Concrete Garage Pads for Detached Garages

Please be advised that, as per the National Building Code, foundations for detached garages 55 m² (492 ft²) and larger must be designed by a design professional (engineer or architect) licensed to consult in The Province of Saskatchewan. The sealed design must be accompanied with a Letter of Commitment for field review.

Garage Pads must not be constructed on rear lot easements. In addition, a utility corridor of 1.2 to 1.5 metres should be provided along the side property line for utility installations.

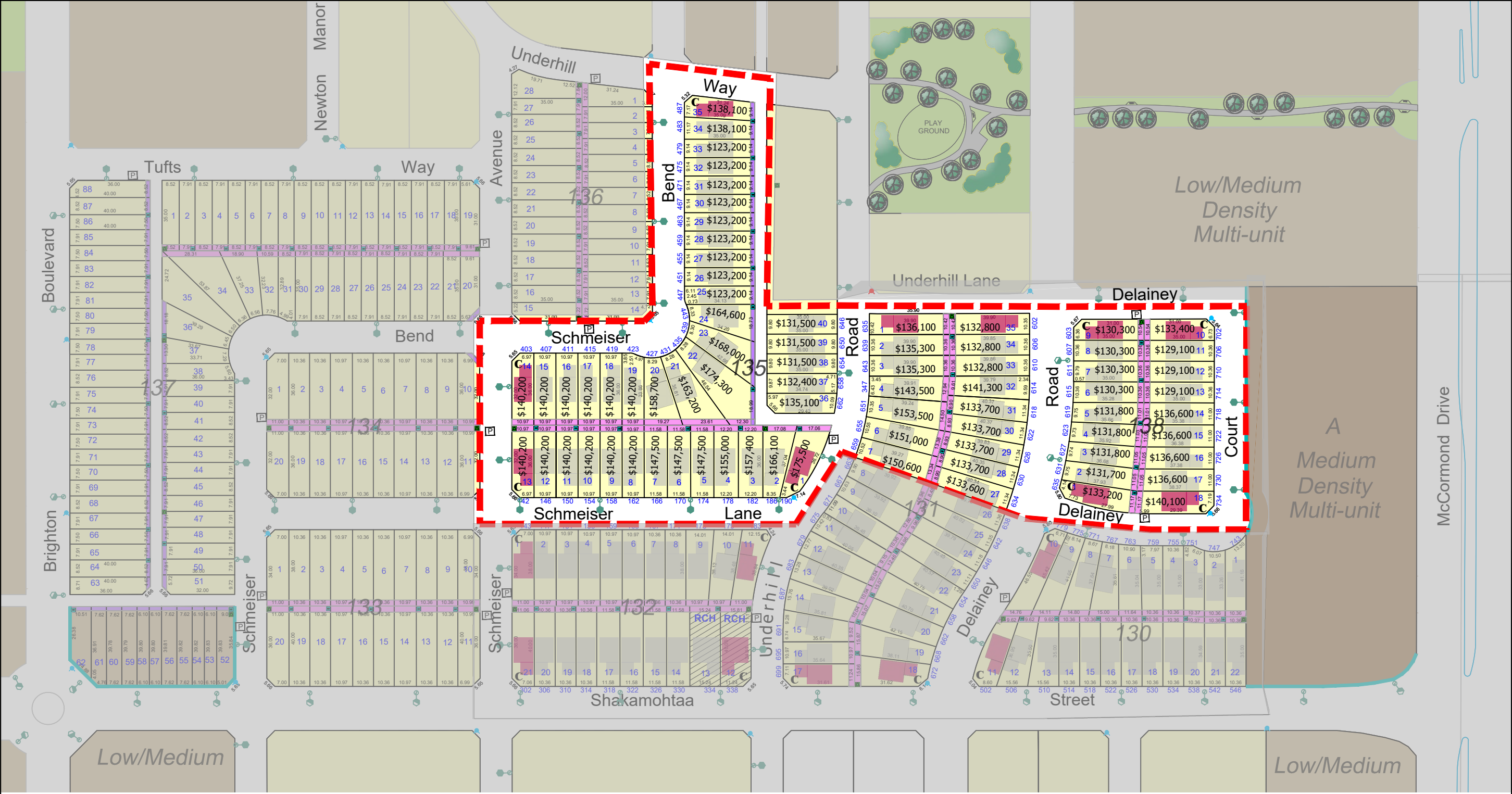
Appendices



Brighton

Phase 1 - Multi-Lot Allocation Map

74 Lots - Schmeiser Lane, Schmeiser Bend, Schmeiser Avenue, Underhill Road, Underhill Lane, Delainey Road, Delainey Court

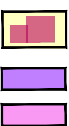


Legend:

Single Family
Multi-Lot Allocation
Boundary



Highly Visible Lot
Additional Exterior Materials
Required
Easement 2m
Easement 3m



Corner Garage
Location
Light Standard



Block Number 721
Lot Number 12
Civic Address 123

Mail Box
Fire Hydrant

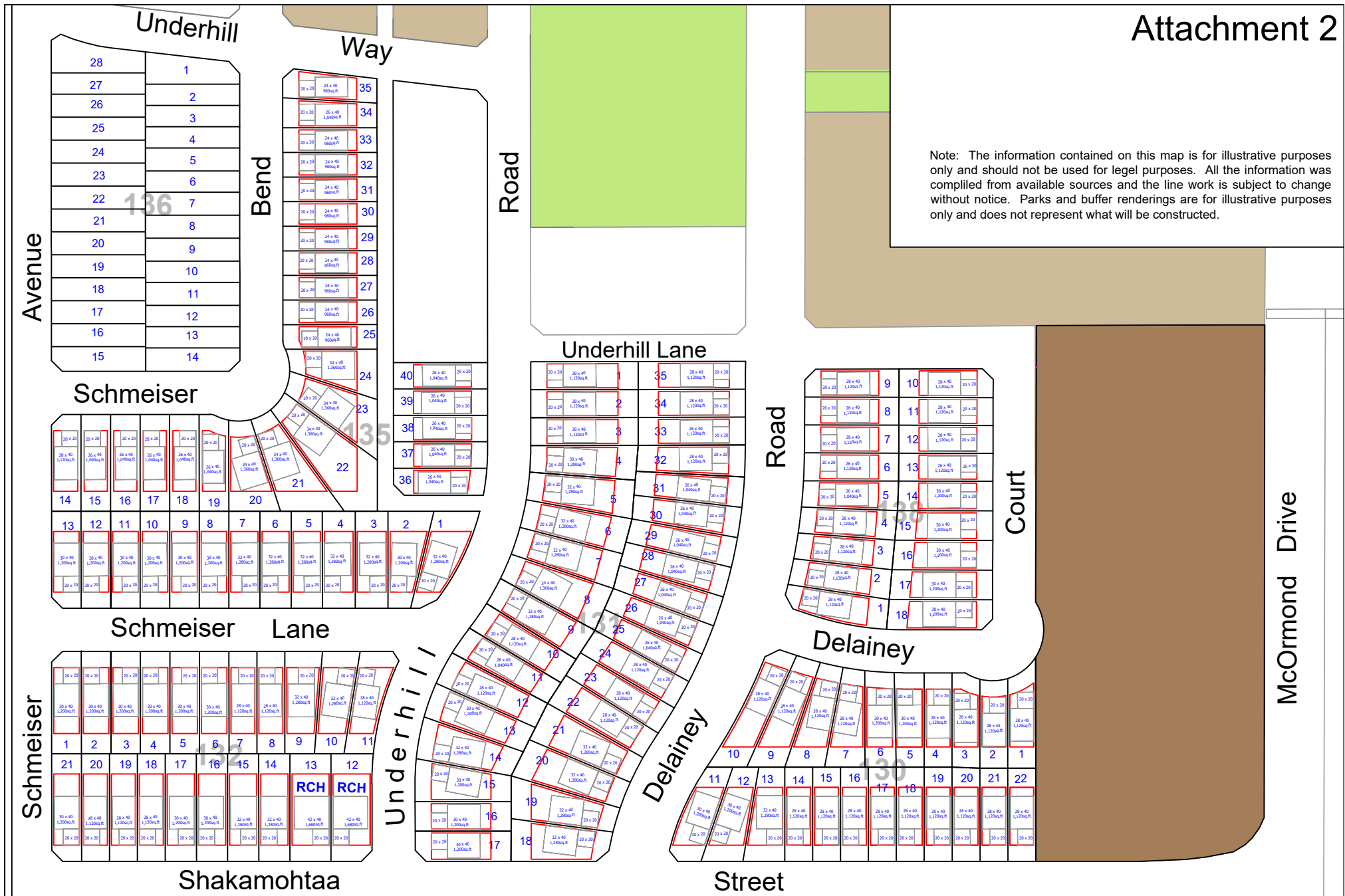


Transformer
Service Pedestal



Note: The Saskatoon Land does not guarantee the accuracy of this plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. Park and buffer renderings are for illustrative purposes only and does not represent what will be constructed. To ensure accuracy, please refer to the Registered Plan of Survey. Distances are in meters unless shown otherwise. Do not scale.
Note: This map is conceptual and is subject to change.

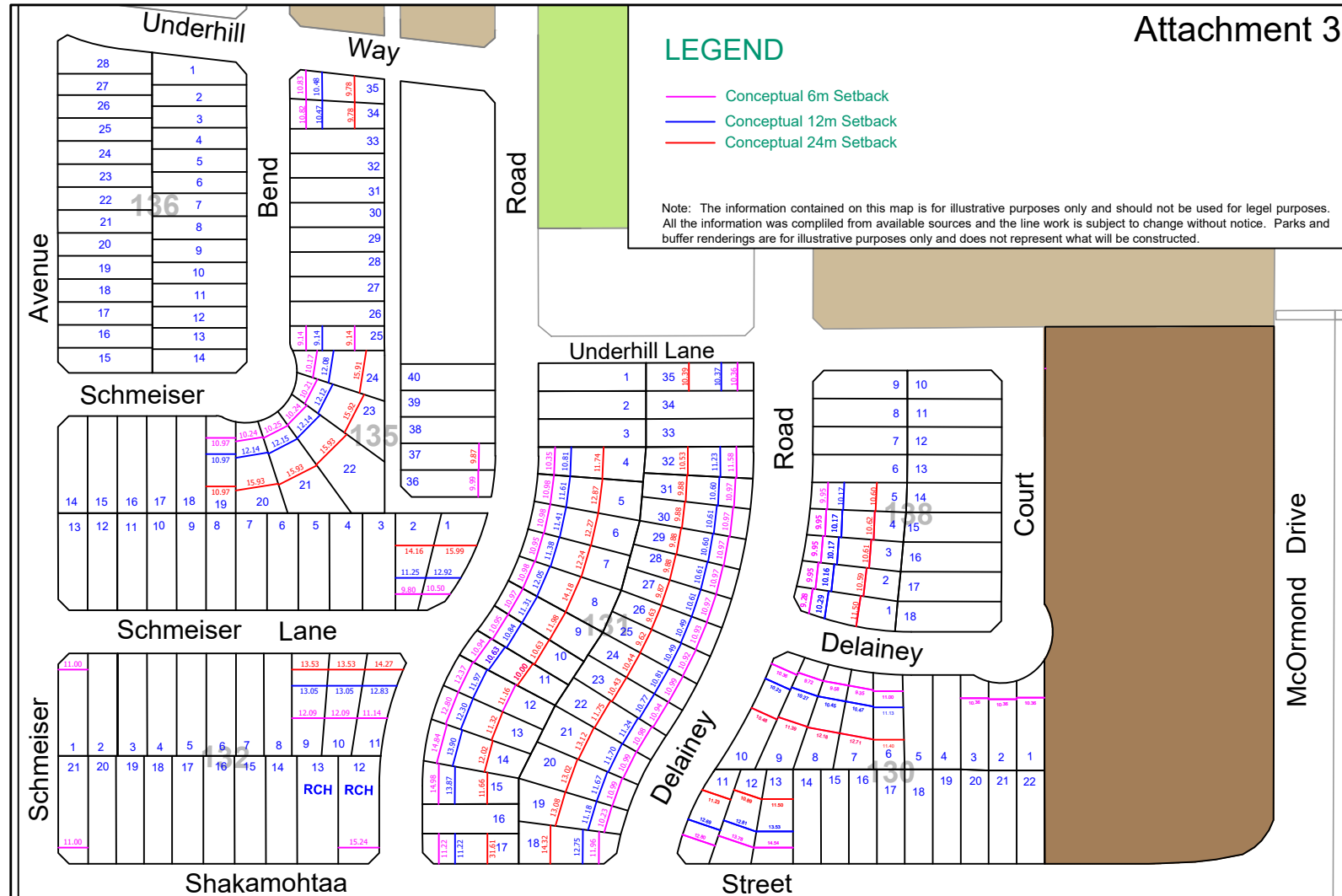
Note: The information contained on this map is for illustrative purposes only and should not be used for legal purposes. All the information was compiled from available sources and the line work is subject to change without notice. Parks and buffer renderings are for illustrative purposes only and does not represent what will be constructed.



LEGEND

- Conceptual 6m Setback
- Conceptual 12m Setback
- Conceptual 24m Setback

Note: The information contained on this map is for illustrative purposes only and should not be used for legal purposes. All the information was compiled from available sources and the line work is subject to change without notice. Parks and buffer renderings are for illustrative purposes only and does not represent what will be constructed.





Legend



FUD to R2

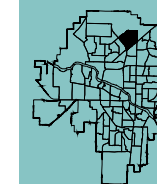
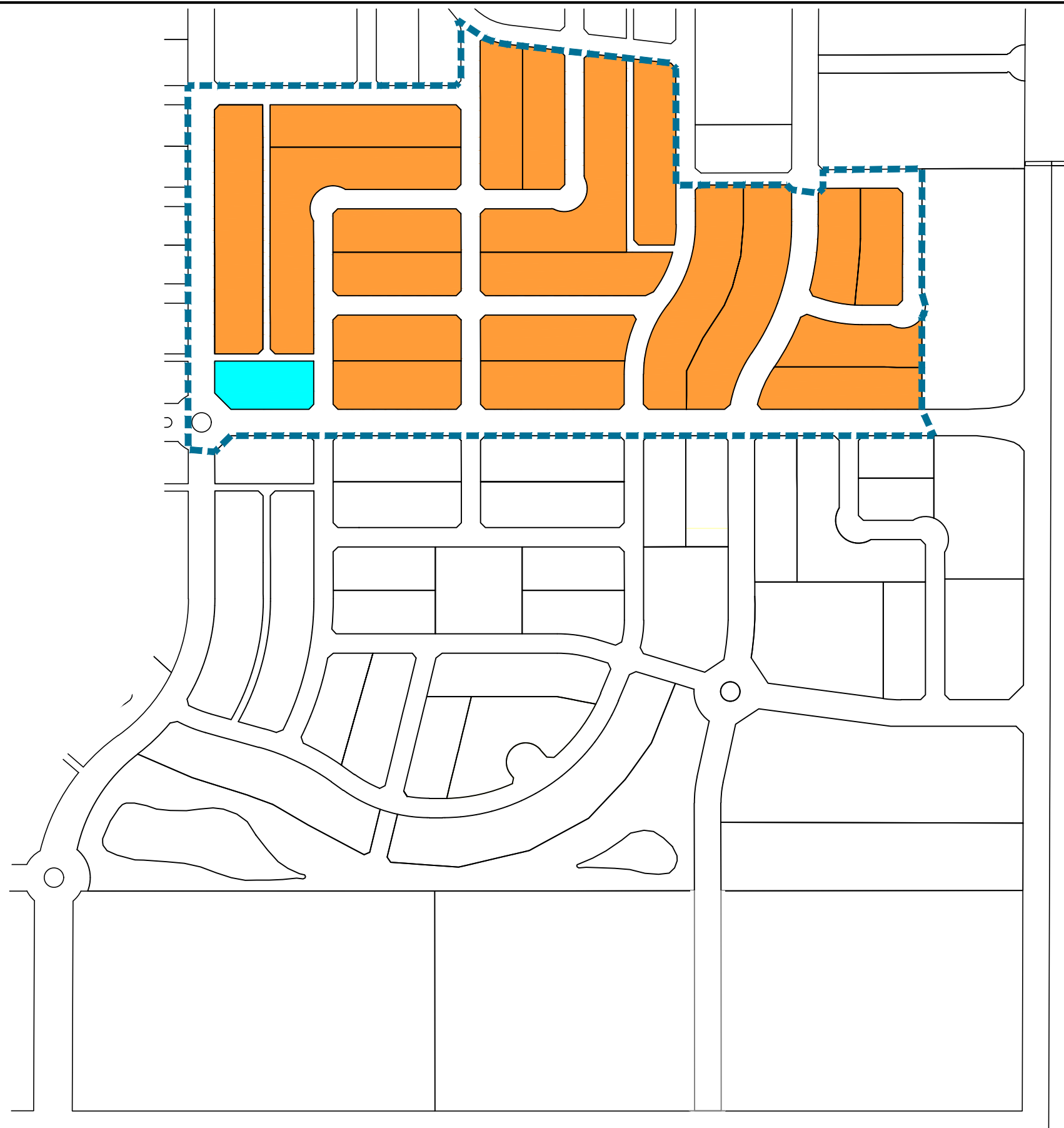


FUD to RMTN

Phasing Legend



Rezoning Boundary



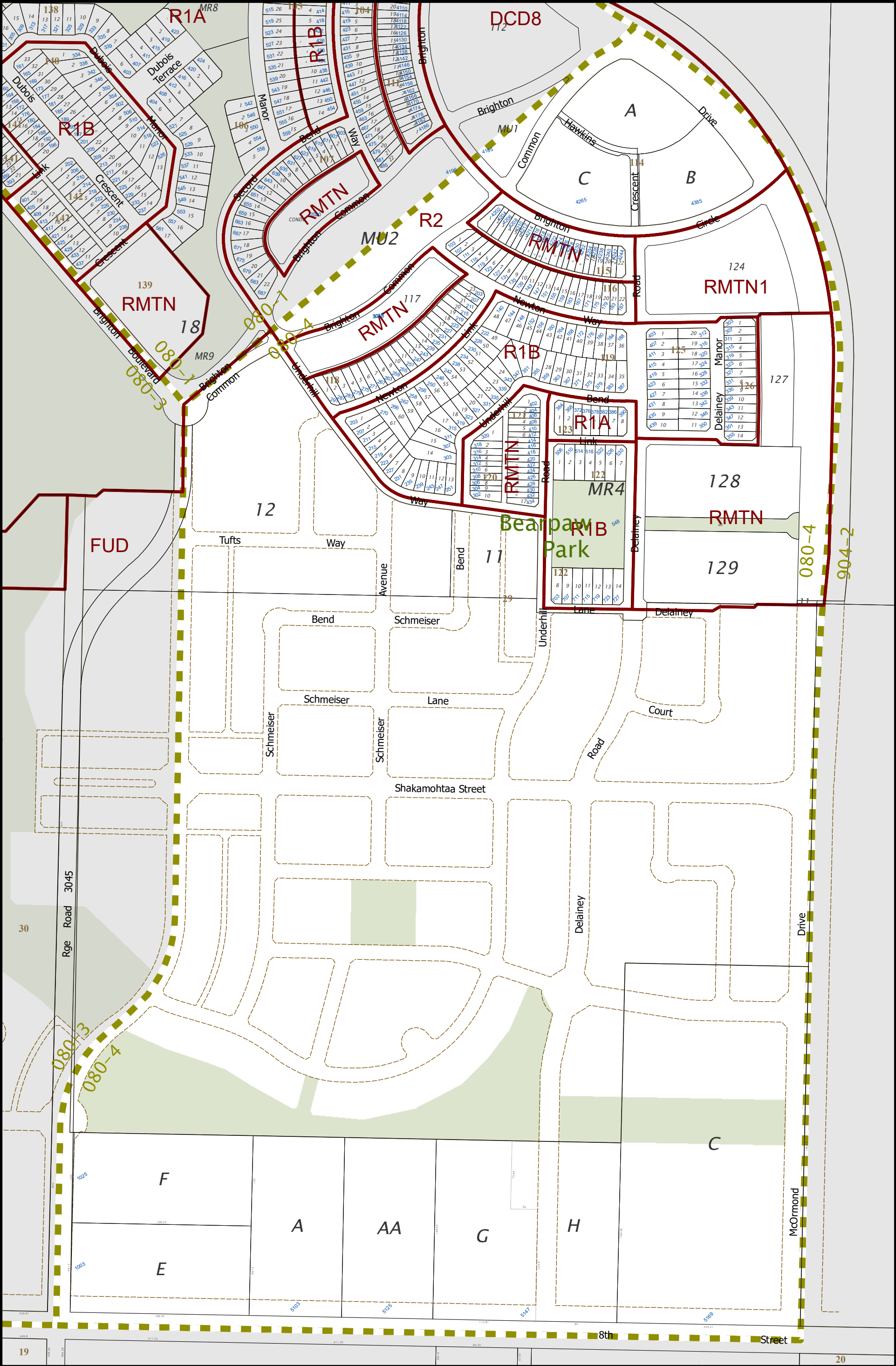
Brighton

City of
Saskatoon


Saskatoon Land - December 2019

Note: The Saskatoon Land does not guarantee the accuracy of this plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. Park and buffer renderings are for illustrative purposes only and does not represent what will be constructed. To ensure accuracy, please refer to the


Rezoning Map





Address Map of Brighton



Note: The information contained on this map is for reference only and not to be used for legal purpose

 Zoning Designation


 ISC Lots

 ISC Blocks

Scale 1: 3900

080-4

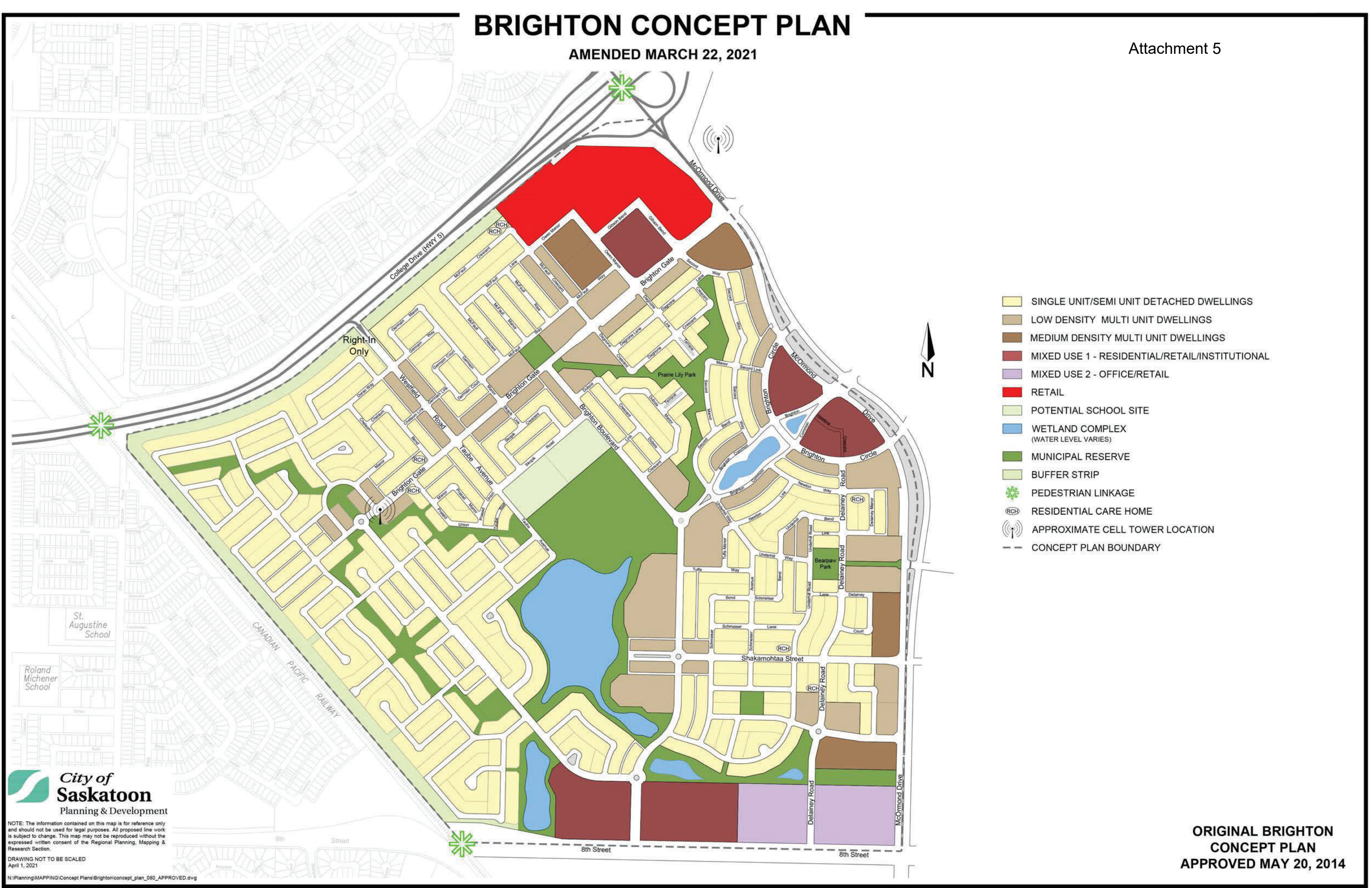
2/1/2021



BRIGHTON CONCEPT PLAN

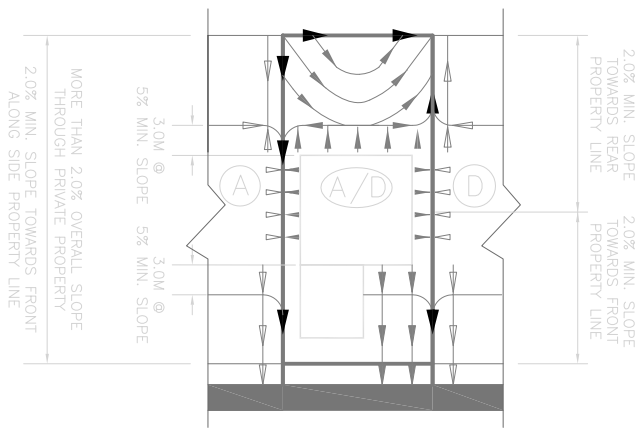
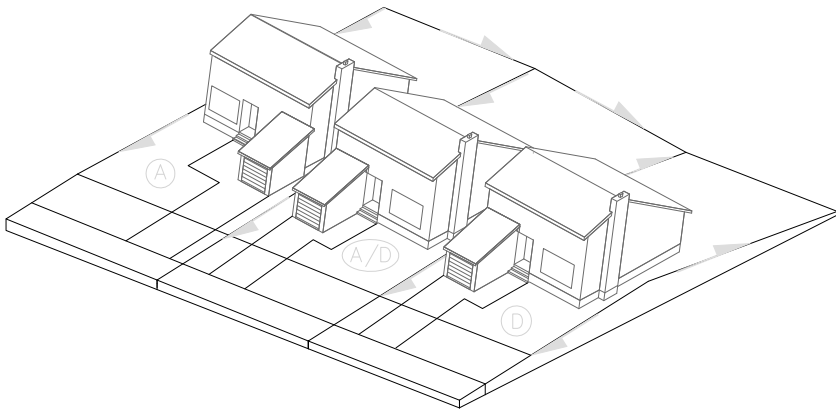
AMENDED MARCH 22, 2021

Attachment 5

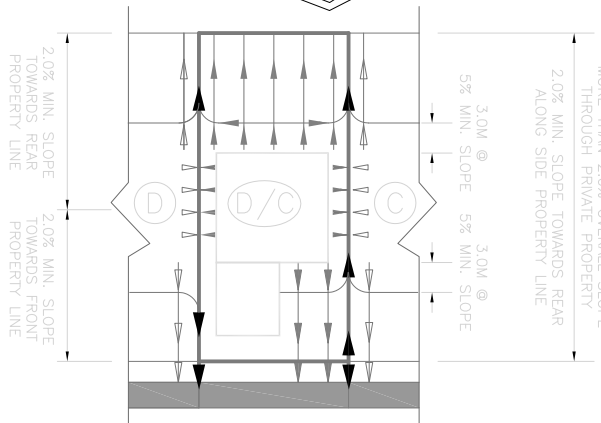
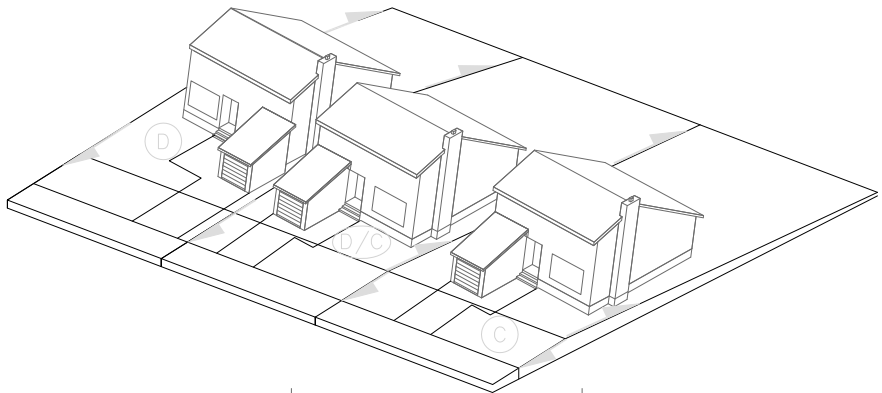


- SINGLE UNIT/SEMI UNIT DETACHED DWELLINGS
- LOW DENSITY MULTI UNIT DWELLINGS
- MEDIUM DENSITY MULTI UNIT DWELLINGS
- MIXED USE 1 - RESIDENTIAL/RETAIL/INSTITUTIONAL
- MIXED USE 2 - OFFICE/RETAIL
- RETAIL
- POTENTIAL SCHOOL SITE
- WETLAND COMPLEX (WATER LEVEL VARIES)
- MUNICIPAL RESERVE
- BUFFER STRIP
- PEDESTRIAN LINKAGE
- RESIDENTIAL CARE HOME
- APPROXIMATE CELL TOWER LOCATION
- CONCEPT PLAN BOUNDARY

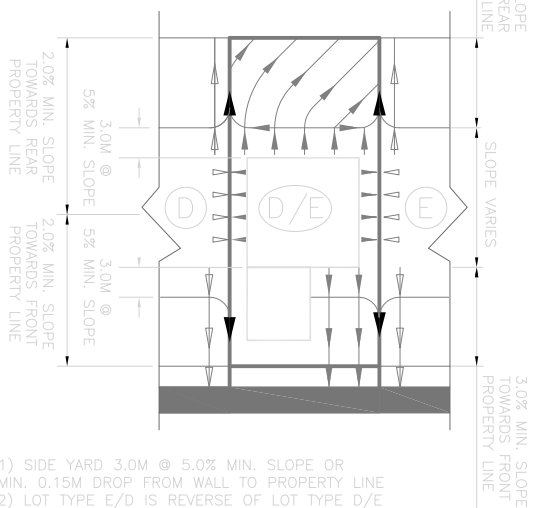
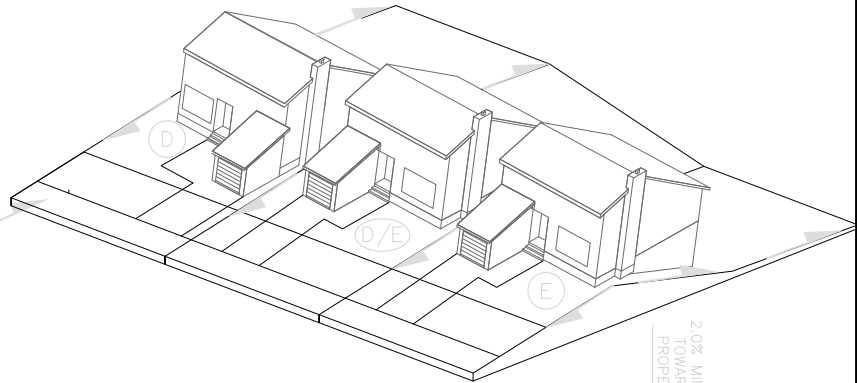
Lot Grading Types



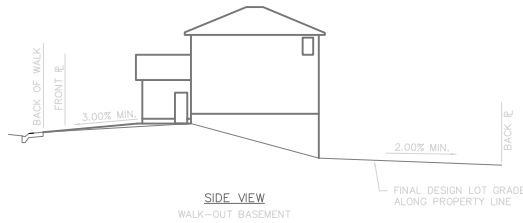
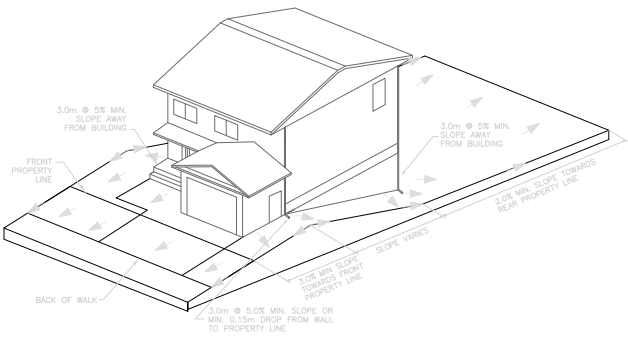
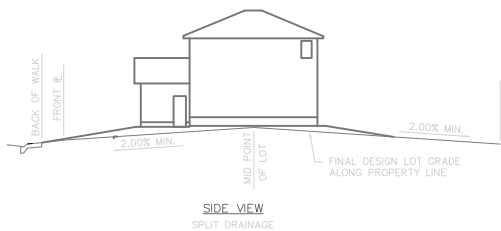
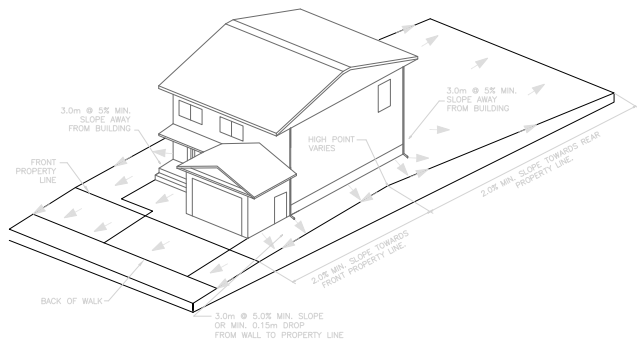
NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE D/A IS REVERSE OF LOT TYPE A/D



NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE C/D IS REVERSE OF LOT TYPE D/C

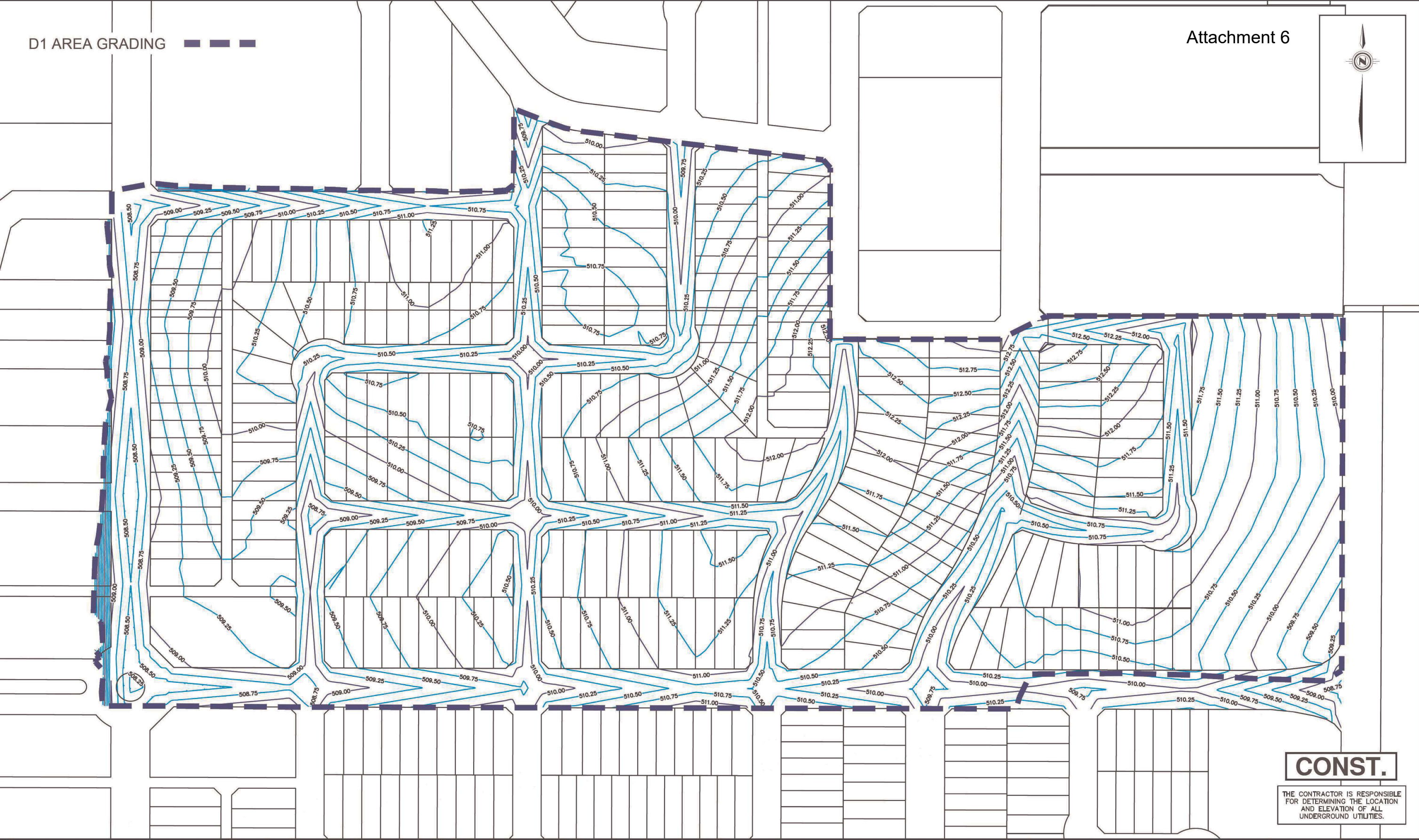


NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE E/D IS REVERSE OF LOT TYPE D/E



D1 AREA GRADING

Attachment 6



CONST.

THE CONTRACTOR IS RESPONSIBLE
FOR DETERMINING THE LOCATION
AND ELEVATION OF ALL
UNDERGROUND UTILITIES.

11					
10					
9					
8					
7					
6					
5					
4					
3					
2	ISSUED FOR CONSTRUCTION	2019-DEC-05	EDH		
1	ISSUED FOR TENDER	2019-MAY-08	EDH		
	PLAN DESCRIPTION/REVISION	DATE	BY		



CHECKED BY:	CHECKED BY:
_____ DATE: _____	_____ DATE: _____
DRAWN BY: _____	DATE: _____



**City of
Saskatoon**

Transportation & Utilities Department

BRIGHTON LAND DEVELOPMENT

PHASE D1
AREA GRADING

DESIGN CONTOURS

CHIEF ENGINEER	_____ DATE: _____
SCALES:	
HOR. 1:2000	
VERT. 1:2000	
SHEET NO. 30	PLAN NO. 113-0089-307r002

D1 AREA GRADING

Attachment 7



LEGEND:

—0.25 CUT CONTOUR
—0.25 FILL CONTOUR
—0.0 0.0 CUT/FILL CONTOUR

NOTE:

1. CUT/FILL CONTOURS DERIVED FROM A VOLUMETRIC COMPARISON OF "EXISTING GROUND -250MM" (TOPSOIL) (COS SURVEY APR 2018) vs "GRADE DESIGN"



CONST.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES.

11					
10					
9					
8					
7					
6					
5					
4					
3					
2	ISSUED FOR CONSTRUCTION	2019-DEC-05	EDH		
1	ISSUED FOR TENDER	2019-MAY-08	EDH		
	PLAN DESCRIPTION/REVISION	DATE	BY	SEAL	



CHECKED BY:	CHECKED BY:
DATE	DATE
DRAWN BY:	DATE

 **City of Saskatoon**
Transportation & Utilities Department

BRIGHTON LAND DEVELOPMENT

PHASE D1
AREA GRADING

DESIGN CONTOURS

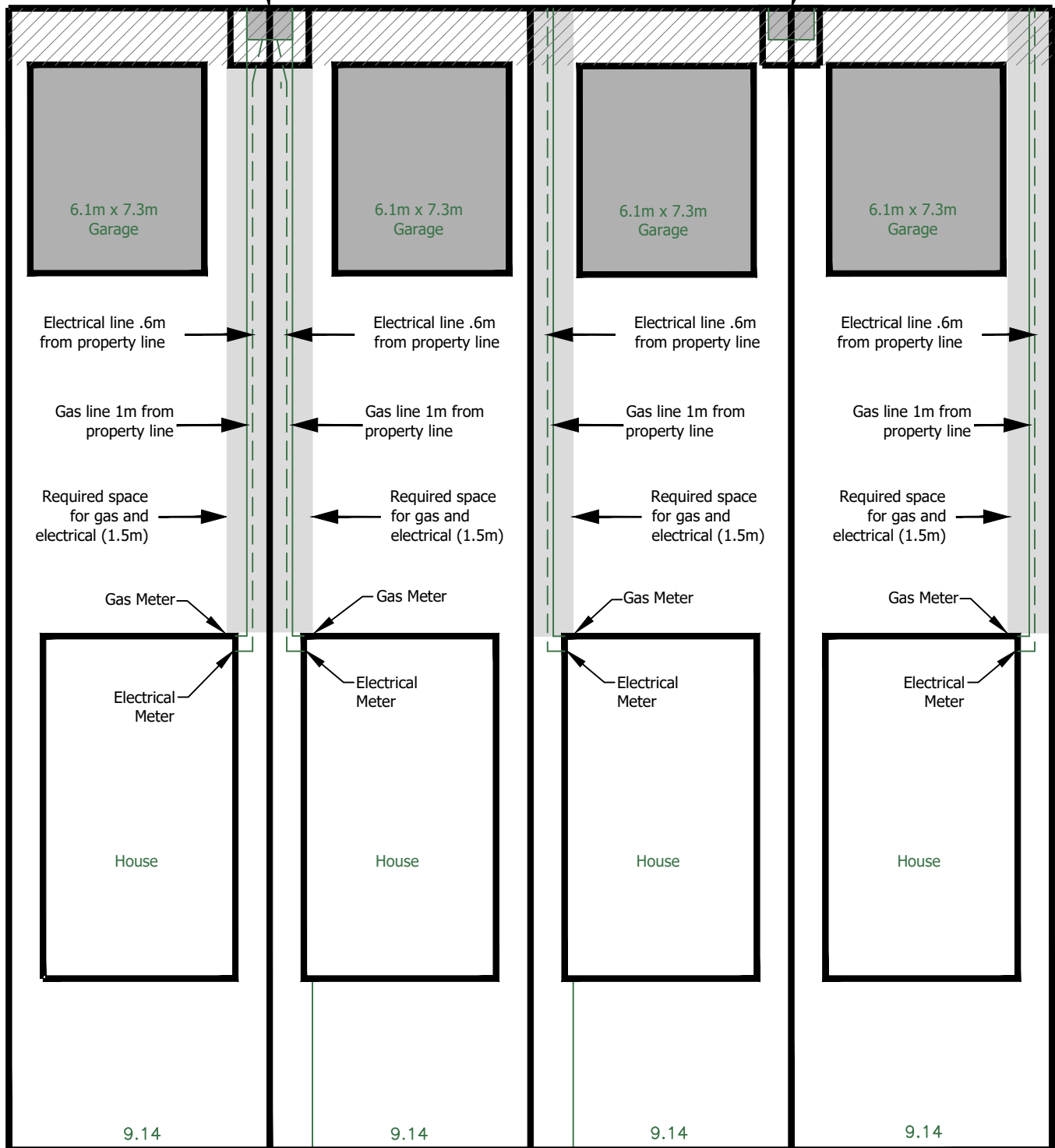
CHIEF ENGINEER	
SCALES:	
HOR. 1:2000	DATE
VERT. 1:2000	
SHEET NO. 32	PLAN NO. 113-0089-308r002

Electrical Pedestal
SaskPower Easement Each Lot
1.375m x 2m

6 metre wide rear lane (paved)

Transformer (approx. one
perblock) SaskPower Easement
Each Lot 1m x 2m

Attachment 9



LEGEND



2m EASEMENT

Street Right-of-Way

Servicing From Lane SaskPower and SaskEnergy Underground Lines

Notes:

- This drawing is intended as a guide only. For more accurate information please contact the respective utilities and the City of Saskatoon Building Standards Branch.
- For the purpose of this illustration, each lot is shown as 9.14m wide and 40m deep.
- A garage, or other accessory building may not be built over the gas line or electrical service.
- The Land Branch takes no responsibility regarding the legality of the building layout on your lot.

Joint Servicing Initiative

January 2015



■ Background of the Joint Servicing Initiative

To support the thriving economy currently being experienced in Saskatchewan; SaskEnergy, SaskPower and SaskTel are working on refining and broadening the process of a “joint service installation” approach for urban residential home builders.

This process will provide a timely, cost-effective and coordinated service to home builders that includes the installation of gas, electric and communications in a common trench from the main line to the dwelling. This collaborative approach will achieve efficiencies for the installation of the urban service lines and address challenges associated with space constraints for new lots.



■ What You Need to Know About Joint Trench Lots

Joint Trench Lots are for shallow utility services in urban residential areas (single family homes) where the electric, gas, and communication lines are all installed in a common trench. Currently joint trench installation is only being done in Regina, Saskatoon, Warman, Martensville and Dalmeny.

If you have purchased a lot in any of these locations, a contract crew will be installing all shallow utilities in one trench from the main line at the back of the lot to the dwelling.

To prepare for the installation of your shallow utilities please refer to the Site Check Readiness list on the following page.



Index:

- Background
- Joint trench lots
- Site Check Readiness
- Procedures for applying for services

Site Check Readiness

To ensure installation of your service is completed when scheduled, your site must be ready for the crew on the date you indicate on the application (site ready date). Along with your application, please submit a plot plan for the address or addresses you are applying for.

Site readiness includes the following:

1. Provide a plot plan that indicates the location of the residence within the property.
2. House number must be visible from the street.
3. In order to secure the natural gas bracket, a 24" x 10" pressure treated board must be in place that does not contravene any natural gas codes.
4. You must maintain a .9 metre (3 ft) clearance around the natural gas service regulator with any exhaust vents, opening windows or doors. Please refer to your mechanical contractor for appropriate codes of other intake clearances.
5. The area around the house is backfilled and the lot is to within 150 mm (6") of finished grade. To ensure proper installation routing, customers are asked to ensure that property pins are in place and marked for easy locating by our field staff.
6. Utility access within the site must meet the following requirements:
 - i) Access is required for equipment to get into the yard(s) where the work needs to occur (trencher, mini hoe, etc.), clear of buildings, fences, decks, etc.
 - ii) A clear path is maintained for the trench route from the metering points to the takeoff points. The width needs to be enough to operate small trenchers and mini hoes at a minimum in ideal soil conditions, and larger equipment when frozen or rocky conditions exist. The trench is to be at least 0.6 metres (2 ft) off of the parallel property line (for fencing) and at least 0.6 metres (2 ft) wide to ensure separation of facilities in the trench. Further width is often required at surface to slope trench during installation for safe trenching rules. This will require approximately 2 metres (6.5 ft) clear access along the property line to the meter (electric and gas) boards to allow for construction of the facilities.
 - iii) Be aware that any pads or foundations near this route may slump with settling of the trench.
7. The trench is from the pedestal or pole to the meter location(s) (typically the closest corner from the pedestal or pole to the house). This service route must be clear of debris or obstructions, such as dirt piles and lumber.
 - i) SaskEnergy and SaskPower reserve the right to determine the meter location due to physical impediments that may restrict access for personnel and equipment. Alternate meter locations must be pre-approved prior to construction.
8. If separate trenches are utilized, the natural gas trench (SaskEnergy) must be at least 1 metre (3 ft) in distance from the SaskPower trench.
9. In instances where both gas, electric and communication cables are installed in the same trench (currently only in Regina, Saskatoon, Warman, Martensville and Dalmeny), you must leave a 1.2 metre (4 ft) corridor adjacent to the property line for utilities. If the minimum of 1.2 metres is not maintained, an encroachment over the gas service may occur and you will be responsible for reparation and subsequent cost.
10. Your electrician has attached an energization sticker on the meter socket indicating the service is ready for connection. The sticker ensures:
 - i) An electrical permit has been obtained
 - ii) The main panel is connected and in the open (off) position
 - iii) The service is grounded and ready to be connected to SaskPower's electrical system
11. To facilitate your service connection, please notify SaskPower once your electrician has affixed the energization sticker.





Urban Applications for Services

SaskEnergy and SaskPower have been working on a process to streamline our customers application experience. Beginning February 17, 2015, you will be able to make application for gas and electric urban services by utilizing either one of the Crowns' websites. The information will be shared between the two Crowns using a secure file transfer protocol.

We encourage you to make application via SaskPower's website rather than SaskEnergy's. This will enable the Crowns to eliminate some manual processes that would otherwise occur when applying via SaskEnergy's website.

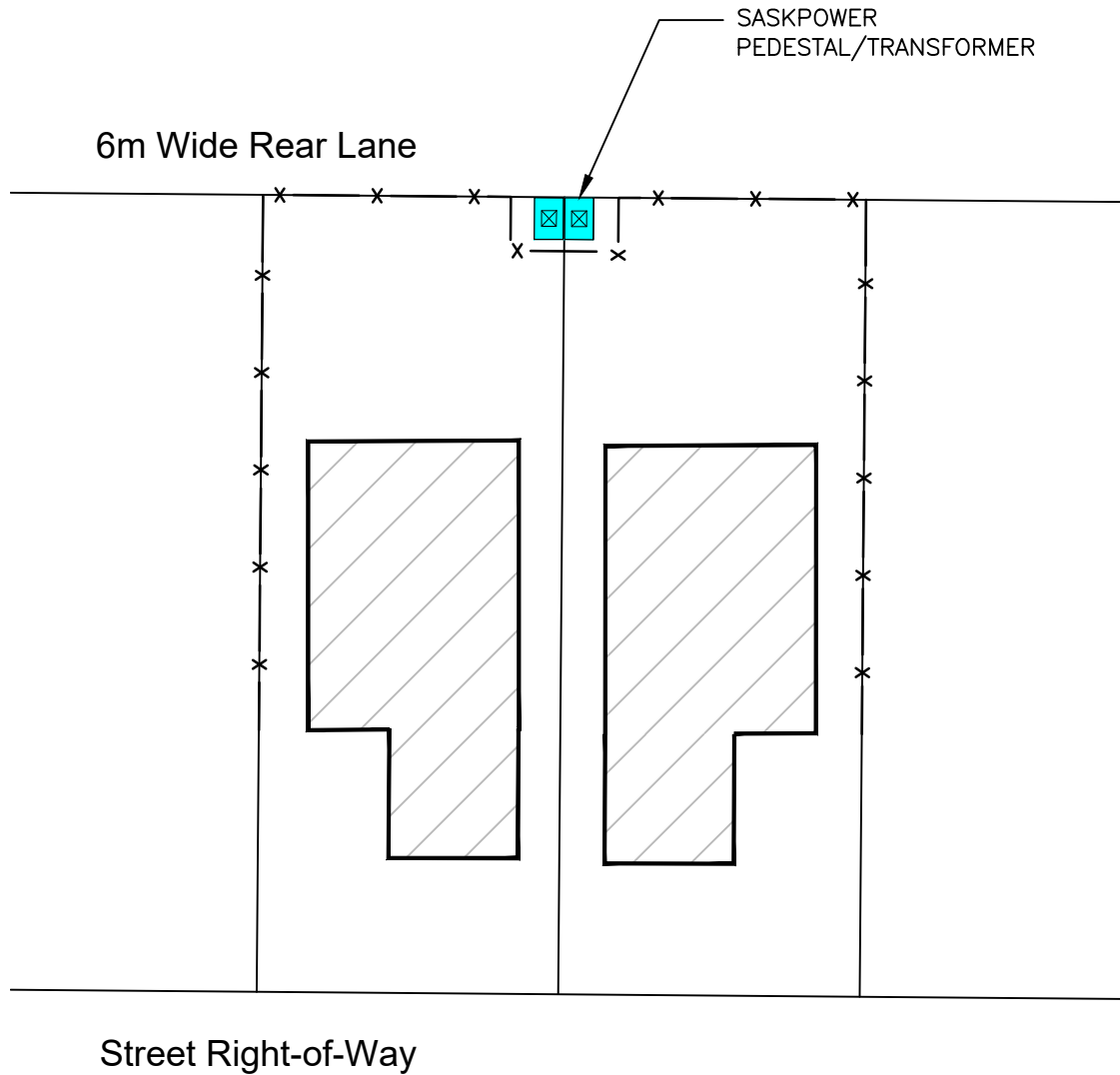
When you know the date that your property will be ready for servicing, you can make application to either SaskEnergy or SaskPower by the following methods:

- If you use SaskEnergy's application, please apply online at saskenergy.com
- If you use SaskPowers application, please apply online to saskpower.com or call 1-888-SKPOWER (1-888-757-6937) and select Option 4.
- For your telephone and cable providers (SaskTel, Shaw or Access) the conduit will be installed in the joint trench along with SaskPower and SaskEnergy. It is the responsibility of the homeowner to apply for telephone and cable service to one of these providers.

Even though Joint Installation is only being offered in Saskatoon, Regina, Warman, Martensville, and Dalmeny all urban applications for service will be shared between the crowns.



Lots 1, 2, 22 to 40 Block 135



LEGEND

— x — FENCE LOCATION – UTILITY PEDESTALS AND TRANSFORMERS MUST BE ACCESSIBLE FROM REAR LANE AND BE LOCATED OUTSIDE FENCE AS SHOWN

Servicing From Lane
SaskPower and SaskEnergy
Underground Lines

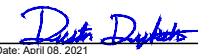
Notes:


- This drawing is intended as a guide only. For more accurate information please contact the respective utilities and the City of Saskatoon Building Standards Branch.
- A garage, or other accessory building may not be built over the gas line or electrical service.
- Saskatoon Land takes no responsibility regarding the legality of the building layout on the lot.

BRIGHTON PHASE D1


PLAN OF PROPOSED SUBDIVISION
WITHIN
L.S.D.11, L.S.D.12 SEC.29-36-4-3
& S.W.1/4 SEC.29-36-4-3

CITY OF SASKATOON
SASKATCHEWAN
BY: DUSTIN F. DYKSTRA, S.L.S.
SCALE 1:1000


Date: April 06, 2021
Saskatchewan Land Surveyor



REV. No.	DATE ISSUED	DESCRIPTION
0	November 17, 2020	Plan of Proposed Subdivision for review.
1	March 10, 2021	Revised Lots 31 to 34 Block 137
2	April 8, 2021	Revised Street Name in Detail


Job No.: 320-1963

Note:
Portion to be approved is outlined in a bold dashed line.
Measurements are in metres and decimals thereof.
Distances are approximate and may vary by 0.5 metres.
Utilities not shown see utility maps for existing buried facilities.
Current Owner L.S.D.11 Sec.29: Bomac Industries Ltd.
Current Owner L.S.D.12 Sec.29: Bomac Industries Ltd.
Current Owner S.W.1/4 29: City of Saskatoon
Total Area of Subdivision: 16.319 ha more or less

Approval:
EXAMINED BY: Bomac Industries Ltd. (Current owner of L.S.D.11 & L.S.D. 12 in Sec. 29-36-4-W3Mer.)

Date: _____
Bomac Industries Ltd.

EXAMINED: City of Saskatoon

Date: _____
Senior Planner (Saskatoon Land)
Saskatoon Land Division

Date: _____
City of Saskatoon - Planning and Development Branch

Approved under provisions of City of Saskatoon Bylaw No. 6537

Date: _____
City of Saskatoon

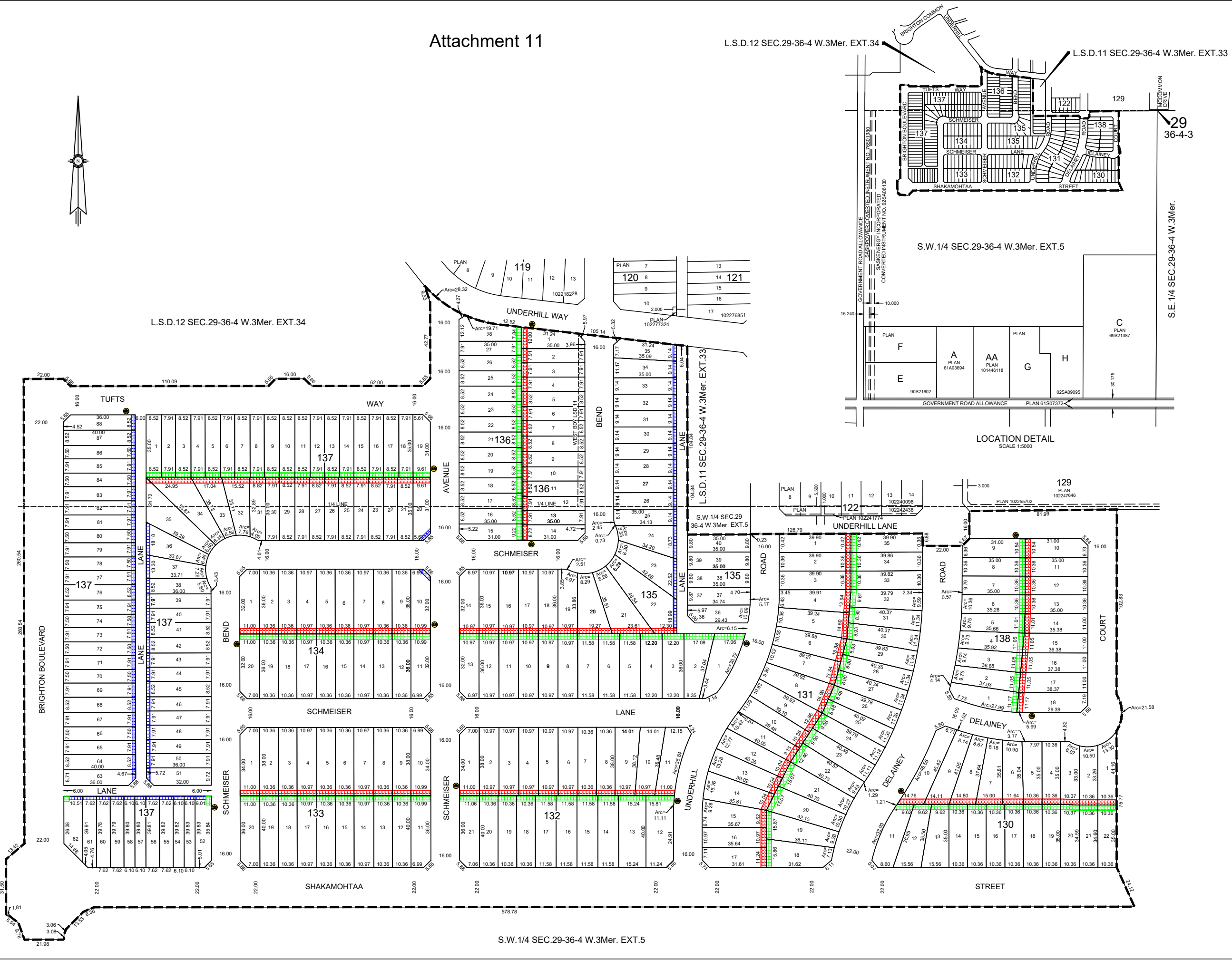
Legend:

- Area To Be Approved
- 2.0m Joint-Use Easement (Saskpower, Sasktel, Shaw Cable)
- 3.0m Joint-Use Easement (Saskpower, Sasktel, Shaw Cable)
- 3.0m Easement (Saskenergy)
- Proposed Community Mailboxes

Attachment 11

L.S.D.12 SEC.29-36-4 W.3Mer. EXT.34

L.S.D.11 SEC.29-36-4 W.3Mer. EXT.33



S.W.1/4 SEC.29-36-4 W.3Mer. EXT.5