



MULTI-FAMILY LAND FOR SALE by PUBLIC TENDER

*Multi-family land is for sale in the
Evergreen Neighbourhood.
Contact Saskatoon Land today for
further details!*

Saskatoon Land
201 - 3rd Ave N
Saskatoon, SK S7K 2H7
Phone: 306 - 975 - 3278
Email: land@saskatoon.ca
saskatoonland.ca

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PROPERTY FACT SHEET

City/Town:	Saskatoon
Type:	Land
Zone:	RM3
Land Area:	3.44 ac
Civic Address:	TBD
Possession:	Immediate
Occ:	Vacant
Tax:	\$34,835.37 (2020 estimate)
List Date:	10/10/2020
Closing Date:	21/10/2020 2:00pm
Legal:	Parcel LM, Plan No. 102308082
Legal2:	ISC Parcel# 203746327
Lease Type:	None
Environmental:	Yes
Nearby Amenities:	Richards Park (Playground), Misaskwatomina Park (Sport Fields), Evergreen Green Bridge (Connects to Elementary Schools), Evergreen Crossing Commercial, Northeast Swale (Conservation Area)

Reserve Price

\$3,009,100

Development Controls

Development on this site will be required to meet Saskatoon Land's Architectural Controls for Multi-unit Dwelling Districts.

GET IN TOUCH

(306)975-3278
saskatoonland.ca

land@saskatoon.ca

201 - 3rd Avenue North
Saskatoon, SK S7K 2H7



PROPERTY FACT SHEET

City/Town:	Saskatoon
Type:	Land
Zone:	RM3
Land Area:	4.66 ac
Civic Address:	TBD
Possession:	Immediate
Occ:	Vacant
Tax:	\$47,206.28 (2020 estimate)
List Date:	10/10/2020
Closing Date:	21/10/2020 2:00pm
Legal:	Parcel GH, Plan No. 102308082
Legal2:	ISC Parcel# 203746338
Lease Type:	None
Environmental:	Yes
Nearby Amenities:	Richards Park (Playground), Misaskwatomina Park (Sport Fields), Evergreen Green Bridge (Connects to Elementary Schools), Evergreen Crossing Commercial, Northeast Swale (Conservation Area)

Reserve Price

\$3,844,500

Development Controls

Development on this site will be required to meet Saskatoon Land's Architectural Controls for Multi-unit Dwelling Districts.

GET IN TOUCH

(306)975-3278
saskatoonland.ca

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201 - 3rd Avenue North
Saskatoon, SK S7K 2H7

INSTRUCTIONS TO BIDDERS

Bids must be accompanied by a certified cheque or bank draft payable to the City of Saskatoon for 10% of the tendered price, and must be submitted on the attached standard tender form. Subject to the information below, should the successful bidder not purchase the property, the deposit will be forfeited. The deposit cheques received from the unsuccessful bidders will be returned. Bids must be determined independently from any other bidder, or potential bidder. If in the opinion of the City there is any appearance that a bidder has consulted another bidder or potential bidder regarding:

- (a) prices;
- (b) methods, factors or formulas used to calculate prices;
- (c) the intention or decision to submit, or not submit, a bid; or
- (d) any other indication of collusion regarding bid prices,

the City may, in its discretion, take any action it considers appropriate including rejecting any bid, or disqualifying any bidder from bidding on this tender or another tender.

No multiple bids for a single property will be accepted.

No bids less than the Reserve Bid will be accepted.

No conditional bids will be accepted.



ARCHITECTURAL REVIEW

The successful purchaser must enter into a Sale Agreement within thirty (30) days of notification of the award of the sale. Failure to enter into the Sale Agreement within the prescribed time period will be deemed in default of the terms of the sale and the bid deposit will be forfeited.

Multi-family development on these sites are subject to compliance with Saskatoon Land's Architectural Controls for Multi-unit Dwelling Districts (see attachment 2 or visit saskatoonland.ca).

Purchasers must gain approval of architectural plans for any site from Saskatoon Land through an architectural control review process. Prior to plan preparation, or at any stage during plan development, Saskatoon Land is available to meet to view draft plans and discuss the architectural requirements.

From the date the successful purchaser has been notified, the purchaser must submit their draft plans to Saskatoon Land for Architectural Evaluation within eight (8) weeks.

Saskatoon Land will then analyze the plans for compliance with the architectural controls. Saskatoon Land reserves the right to take up to two (2) weeks to review and comment on plans after any submission is made by the successful purchaser. After plans have been reviewed, a meeting with the successful purchaser will be arranged to discuss plan changes, if any, which may be required.

The final Architectural Evaluation and approval of the architectural controls by Saskatoon Land must be obtained by the successful purchaser within eighteen (18) weeks from the date the successful purchaser was first notified.

The successful purchaser will not be able to apply for a building permit until receiving final approval from Saskatoon Land. Once the Architectural Evaluation is completed, the successful purchaser may apply for a Building Permit by providing the Building Standards Division with a copy of the Sale Agreement and building plans. These plans will be cross checked to the plans which were submitted to and approved by Saskatoon Land. If the successful purchaser makes changes to its plans following approval from Saskatoon Land, a delay in the approval process may occur and the successful purchaser will be required to obtain a second approval from Saskatoon Land to ensure that the design still meets all architectural controls.

Final payment is due thirty (30) days from the date that Saskatoon Land approves the building plans for compliance with the architectural controls. The following information is required for the Architectural Evaluation:

- A site plan, to scale showing buildings, roads, parking, loading areas, fences, and the landscaping concept;
- Floor plans of all floors for each building to scale;
- All exterior elevations of each building to scale indicating location of materials;
- Building section of each building to scale indicating building height, roof slopes, and features; and
- Specifications and colours for all exterior building materials of each building and for site development.



SERVICES

The purchase price includes the sum required to prepay services. These services include curb, sidewalk, boulevard, street paving, street lighting, street signing, water mains, sanitary sewer mains, trunk sewer levies and primary water main levies. Services are provided adjacent to the site and are typically located in adjacent rights of way. Any costs associated with service connections or private crossings are not included in the price and are the responsibility of the successful purchaser.

Final site grading is the responsibility of the purchaser and must be approved by the City of Saskatoon, Saskatoon Water Division. The purchaser is also responsible for the topsoil, seeding, irrigating and maintenance of boulevards adjacent to their property to the edge of the sidewalk and between the sidewalk and the curb.

ZONING

The parcel is zoned RM3 (Medium Density Residential) District in the City's Zoning Bylaw. Refer to Attachment 6 for further information. Interested purchasers are advised to consult with the Planning and Development Division at 306-975-2645 as to permitted uses and other details regarding applicable zoning provisions.

REPRESENTATIONS, WARRANTIES & ENVIRONMENTAL CONDITION

The properties are being sold "as is". A Phase 1 Environmental Site Assessment report will be supplied to the purchaser. Any further subsurface environmental investigations to evaluate for soil conditions on the site will be at the expense of the purchaser.

EASEMENTS

The purchaser is required to agree to grant the utility agencies any easements which may be required at no cost. Existing easements are identified in Attachment 4.

POSSESSION

Possession of the site will not be granted until completion of the Architectural Evaluation.

The successful purchaser will be granted possession of the property after payment in full has been received. Payment in full must be secured no later than 30 days after architectural plans have been approved.

The following outlines the conditions of possession:

- 1) On or before the possession date, the successful purchaser will deliver to the City of Saskatoon, Saskatoon Land the following:
 - a. A certified cheque, bank draft or solicitor's trust cheque for the balance of the purchase price.
- 2) Property taxes will be adjusted at the possession date.
- 3) Purchaser is responsible for fees to transfer Title. The Purchaser must provide the name of their solicitor who will undertake to register the Transfer Authorization on their behalf. The City of Saskatoon will provide a Transfer Authorization to the purchaser's solicitor upon receipt of the balance of the purchase price.

CONDITIONS

There will be no exceptions as to conditions of this tender.



TERMS & CONDITIONS

1. DEPOSIT/CLOSING DATE/POSSESSION/ADJUSTMENT DATE:

- (a) 10% deposit due with Tender submission by Certified cheque or bank draft.
- (b) Balance of purchase price due within 30 days of obtaining architectural approval.

2. SPECIAL TERMS AND CONDITIONS:

- (a) The property is sold “as is” and the purchaser shall assume all responsibility and liability including any environmental matters existing as of the closing date. Phase 1 ESA for the neighbourhood will be provided.
- (b) Development on these sites will be required to meet Saskatoon Land’s Architectural Controls for Multi-unit Dwelling Districts and Development Controls where applicable.
- (c) Possession of the site will not be granted until completion of the Architectural Evaluation.
- (d) The purchaser further agrees to grant the City of Saskatoon, Saskatchewan Telecommunications, Saskatchewan Power Corporation, SaskEnergy Incorporated, and any utility agency any easements, which may be required by any or all of the said agencies at no cost.
- (e) Purchasers must be in good standing with Saskatoon Land in order to submit a bid.

I have read and accepted these terms.

signature

date



CHECKLIST

TO BE CONSIDERED, A SUBMISSION MUST BE COMPLETE AND INCLUDE THE FOLLOWING:

- ✓ Completed Purchaser Application Form
- ✓ The purchaser has read and acknowledged the Terms and Conditions identified for this property.

Please submit your complete Purchaser Application, Terms & Conditions, Deposit, and Document Checklist forms by courier or can be dropped off by appointment.

If sending by courier, please notify Saskatoon Land by emailing the two staff members below with the parcel tracking number to determine estimated arrival date and time.

Email

Jeremy Meinema at jeremy.meinema@saskatoon.ca

Colleen Hassen at colleen.hassen@saskatoon.ca

Courier

Saskatoon Land
201-3rd Ave N
Saskatoon, SK S7K 2H7
(306) 975 3278



Multi-Family Land Tender Form

I wish to submit the following tender:

❶ Parcel: _____ Plan: _____

Civic Address(es): _____

❷ Amount Tendered: \$ _____ (before GST).*

❸ A certified cheque in the amount of \$ _____ is attached. **

*All bids are subject to Goods and Services Tax. The successful bidder will be required to pay the GST when forwarding the balance of the purchase price or provide a GST Registration Number.

**This amount represents exactly 10% of the amount tendered and the cheque is made out to the City of Saskatoon.

Company: _____

GST Registration Number (if applicable): _____

Contact Name: _____

Address: _____

_____ (postal code)

Telephone No: _____ Fax No.: _____

E-mail Address: _____

The purchaser will be required to have a lawyer to transfer Title into the purchaser's name.

Lawyer's Name

Law Firm

I have read and acknowledge the conditions as set out in the attached Instructions to Bidders.

Signature _____

Date _____

I. SITE INFO MAP



Note: The information contained on this map is for illustrative purposes only and should not be used for legal purposes. All the information was compiled from available sources and the line work is subject to change without notice. Parks and buffer renderings are for illustrative purposes only and does not represent what will be constructed.

 City of Saskatoon Saskatoon Land	Date: 2020 - 09	Scale: 1 : 500		SITE INFO MAP
	Drawn By: TF	File No. 1 : 500		

2. ARCHITECTURAL CONTROLS



Architectural Controls for Multi-Unit
Dwelling Districts 2013

City of Saskatoon Land Branch
306-975-3278 | 201 3rd Ave N | Saskatoon, SK

PREPARED BY
The City of Saskatoon
Land Branch



September 2013



1.0 Introduction

This document outlines the general architectural design requirements for the Multiple-Unit Dwelling Districts being developed by the City of Saskatoon.

Architectural Controls concern the position of buildings on sites, the proportion, scale and massing of buildings, the application of materials and colours to exterior walls and roofs, and the choice and location of windows and doors.

An architectural style is not prescribed. Instead, projects should satisfy the overall human scale architectural vocabulary as outlined in these architectural controls. Varying architectural interpretations are encouraged.

These Architectural Controls are intended to supplement the City of Saskatoon Zoning Bylaw No. 8770. Developments are expected to be governed by Bylaw No. 8770 in combination with the Architectural Controls. In the event that there are contradictions between these two documents, Zoning Bylaw No. 8770 will govern.

The intent of this document is:

1. To promote architectural detailing; not to prescribe style;
2. To influence the application of more than one colour palette; not to prescribe colour; and
3. To influence the application of more than one material; not to prescribe material.

2.0 Proportion, Scale, and Massing

INTENT: New developments should be well proportioned, integrate with neighbouring buildings, and incorporate design elements that break down perceived proportion, scale and massing of building elements to create human-scaled pedestrian-environments and enjoyable streetscaping.

- Developments should utilize existing or “natural” grade, to assist them in blending with adjacent developments. Grade alterations can create negative impacts on adjacent properties.
- All multi-family buildings should be positioned to enhance the streetscape by creating what may be described as a street wall.
- All building volumes must incorporate intermittent variances in plan and elevation to encourage shadow lines on the building and to assist in breaking down the apparent mass and scale into well proportioned volumes. This includes building elevations that are adjacent to or visible from public streets, public parks, and adjacent developments.
- Construct buildings to define the edges of, and to face onto, any public park and/or accessible open spaces.



Above: The above image demonstrates a building facade that interfaces well with the street, creating a pedestrian friendly space.

STREET WALL

A Street Wall refers to the alignment of building facades that face the street. A well designed street wall creates a welcoming pedestrian environment through defining a walkable, pedestrian friendly space.

IN GENERAL...

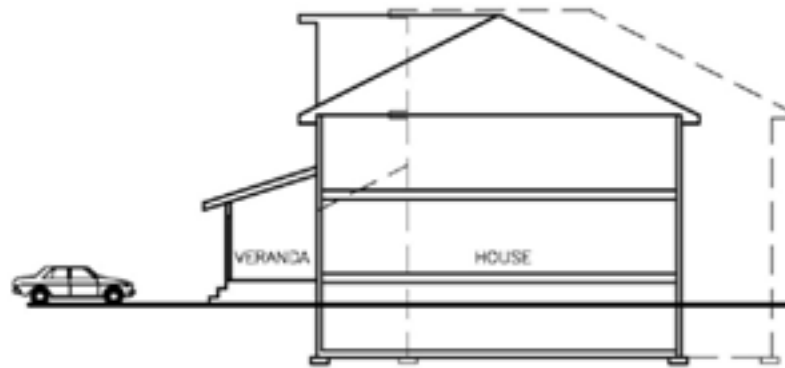
- The majority of the principal building(s) main façade should be located so it is parallel to a straight public street or tangent to a curved public street.
- Open space is permitted between the principal building(s) fronting a public street provided that the total linear amount of building façade exceeds the total linear amount of open space as measured along the same property line.
- The sides of groupings of principal and accessory buildings are permitted to front onto public streets, providing the total linear amount of side elevations are less than the total linear amount of principal building facades fronting the same street. Where side elevations front onto a public street, the side elevations must receive the same architectural treatment as the principal facade.



Left: This building demonstrates an unacceptable building facade facing a public street. Additional design treatments are required.



Above: Buildings that are aligned with adjacent streets ensure a site configuration that creates streets with pleasing streetscapes and enhances the image and feel of the neighbourhood.

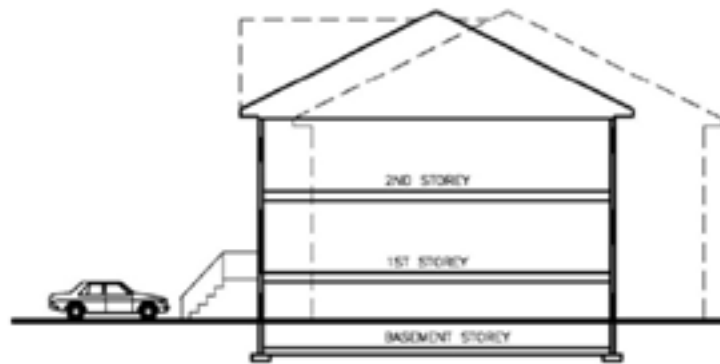


SAMPLE SECTION



SAMPLE FRONT ELEVATION

Proportion, Scale and Massing: Projects must incorporate sensitive design elements that break the overall scale and mass of buildings into human scale components through the use of a variance in plan and wall planes.



SAMPLE SECTION



SAMPLE FRONT ELEVATION

3.0 Walls & Materials

INTENT: To create a visually pleasing streetscape and reduce visual monotony, a variety of materials are to be used as well as materials that compliment those used in adjacent developments.

- A minimum of two major exterior cladding materials, excluding fenestration, are required for any elevation of a principal or accessory building adjacent to or visible from a public street, a public park, or adjacent development, the proportions of which must be sensitively designed.
- In the case of most materials, except for vinyl siding or cement board siding, the use of two discernible colours, two discernible textures, or combinations thereof of the same material are acceptable as meeting the requirements. In the case of vinyl siding or cement board siding, consideration will be given to two significantly different material patterns in a case where a relatively smaller proportion of a third material (greater than 30% of a third material) is used. For example, a material application may be accepted if visible building elevations were proposed to contain 3 materials – 30% stone and 70% vinyl siding whereby straight horizontal overlapping vinyl panels were heavily accented with vinyl “fish scale” panels.
- Required architectural detailing applies equally to all building elevations including where the side and rear of a principal building or an accessory building is adjacent to or visible from, any public street, public park, or adjacent development.
- Walls clad in a single material are not permitted.
- Durable high quality materials should be utilized for cladding on all building faces.
- Wall cladding materials are required to extend to a minimum of 1.2 metres (4 feet) along side building elevations that do not face public streets, public parks, or adjacent developments.
- Where properties share a common property line, each property must have different materials or combinations of materials.



Above: Each of the above images demonstrates a minimum of two exterior cladding materials with sensitively designed proportions.

4.0 Color

INTENT: Variety of colour is necessary for multi-family projects to create lively streetscapes and to prevent the creation of visual monotony.

Dwelling Group or Street Townhouse Style Buildings:

Colour should vary from building to building within developments. A minimum of two exterior colour schemes for each multi-family parcel must be implemented. A minimum of two major colours are required to be utilized in the colour scheme of each building facade adjacent to or visible from any public street, public park, or adjacent development (excluding roof colours and colours utilized for minor architectural components such as soffit and fascia, window and door trim etc). A minimum of four colours should be utilized on any one building colour scheme. This includes the roof colour and the colours of minor architectural components. In order to qualify, colours must be visible from any street.

Apartment Style Buildings: One exterior color scheme is permitted per site that has more than one building. A minimum of two major colours should be utilized on each building facade adjacent to or visible from any public street, public park, or adjacent development (excluding roof colours and colours utilized for minor architectural components such as soffit and fascia, window and door trim etc). A minimum of four colours should be utilized on any one building. This four colour minimum includes the roof colour and the colours of minor architectural components. In order to qualify, colours must be visible from any street.

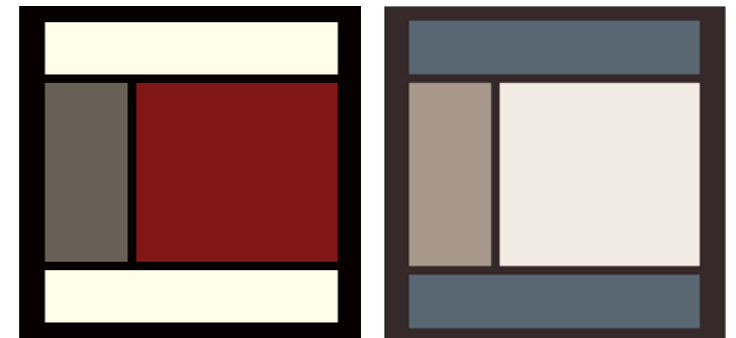
General Requirements:

- Accessory buildings should be treated in a complimentary fashion to the principal buildings on the same site. Where different multi-family parcels share a common property line, each parcel must have different color schemes.
- A minimum number of colors is prescribed to ensure more than one color is used on each façade.
- Readily discernible shades of one colour when viewed from any street may be considered two separate colours.



Above: Street townhousing utilizing a variety of colors

Below: Example color palates meeting the minimum of four colours within a colour scheme.



COLOR SCHEME EXAMPLE



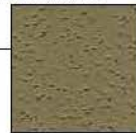
Color Scheme #1



Vinyl Shingles: Foundry #827 "Colonial Grey", Matching trim.
Alternative: Foundry #821 "Sandalwood".



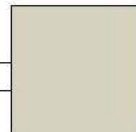
Roof: IKO "Harvard Slate" similar



Stucco: Imasco 318A-6A "Renaissance Clay"



Soffits: Gentek 431 "Bright White"
Doors & Windows Similar.



Vinyl Siding: Gentek #010 "Canyon Clay"
Accent paint to match.



Cultured Stone: Owens Corning Del Mare LedgeStone "Palermo"

Color Scheme #2



Vinyl Shingles: Foundry #827 "Colonial Grey", Matching trim.
Alternative: Foundry #821 "Sandalwood".



Roof: IKO "Harvard Slate" similar



Stucco: Imasco 830-1P "Serenity"



Soffits: Gentek 431 "Bright White"
Doors & Windows Similar.



Vinyl Siding: Gentek #631 "Storm"
Accent paint to match.



Cultured Stone: Owens Corning Del Mare LedgeStone "Palermo"

5.0 Fenestration – Windows & Doors

INTENT: Fenestration should be oriented to streets and/or public spaces, complement the architectural vocabulary, and satisfy functional and climatic issues. Abundant glazing at street level is encouraged for community surveillance and to enhance street lighting at night.

- Readily discernible trim must be utilized around highly visible doors and windows.
- Blank walls without fenestration at street level or upper levels will not be permitted on facades adjacent to or visible from public streets, public parks, or adjacent development.
- If glazing tints are used, they should reflect the choice of colours of wall and roof claddings. Reflective coatings are not permitted.
- If imitation shutters are utilized, they are required to be proportioned to give the impression that they are functional and capable of covering the entire window.
- Developments are encouraged to have main entrances facing public streets.

6.0 Roofs

INTENT: Roofs should be designed to form an integral part of any project and complement the overall architectural design. Where exposed roof surface areas are large, it is mandatory to incorporate sensitive design elements that break down perceived proportion, scale and massing of the roof to create human-scaled surfaces.



- The exposed roof area when calculated perpendicular to a vertical viewing plane should not exceed 40% of the total projected wall and roof area. Alternatively, large roof areas should be broken down into smaller volumes by varying the roof planes, or by introducing sensitive design elements such as dormer windows.
- Sloped roofs should have a minimum overhang of 450 mm or 18 inches. Fascia boards should be a minimum 150 mm or 6 inches. Permitted claddings for sloped roofs include pre-finished steel standing seam roofs complete with snow and ice stops, asphalt shingles, cedar shingles/shakes, granular faced aluminum shingles, clay or concrete tile roofing and glazing.
- All chimneys visible from any street should be enclosed within a chimney chase. The form, style, materials and color of the chimney chases should be consistent with the overall architectural character.
- While roof pitch is not prescribed, special consideration must be given to the integration of the roof with the building architecture.



Top Left: Use of dormers to break up a large roof plane.

Middle Left: Use of varying roof planes to break up viewing plane.

Bottom Left: Example of flat roof.

7.0 Relationship to Streetscape

INTENT: Multi-unit building facades facing public streets should help define the streetscape through thoughtful design and sensitive architectural treatments.



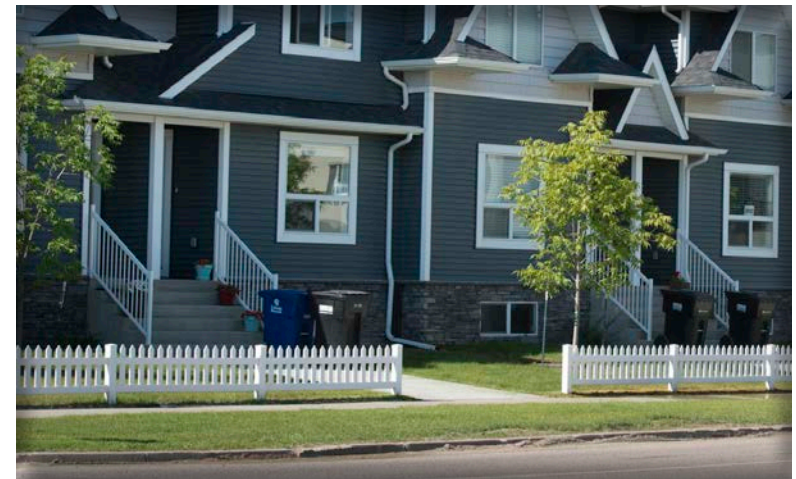
Above: Good examples of buildings interfacing with public street.

- Create a street wall with the majority of the staggered main facade located parallel to straight streets or tangent to curved streets.
- Wherever possible, front and side elevations should front onto public streets. In event that it is not possible, sensitive design treatments may be required in order to create a visually pleasing streetscape.
- Any facade abutting and/or highly visible from a public street, public park or adjacent development shall receive the same architectural treatment as the “front” facade.
- Property lines adjacent to streets must be fully landscaped.
- Street or group townhousing units that are visible from a public street are required to include a significant entry treatment.
- In general, private exterior open space in the form of verandas, porches, balconies, patios, and/or roof terraces are strongly encouraged for as many residential units as possible.
- For Dwelling Groups, main entrances to each unit do not have to face a public street, however, secondary entrances facing public streets should be architecturally well defined.
- In general, connections to existing public space and amenities from multi-unit buildings are encouraged (i.e. walkways linking to sidewalks and/or park pathways).

FENCING

Fencing is not required. In the event that a fence is desired, the below guidelines should be considered:

- If a front yard fence is constructed of wood, steel, aluminum, or wrought iron, the amount of solid area of the fence sections shall not exceed 50%.
- Fence piers or fence sections constructed of natural stone, manufactured stone, brick, or some other masonry application may be 100% solid.
- In the case of street or group townhousing, a front yard fence is required to have an access opening or gate to the street from each front door. Where a solid fence fronts onto a public street and encloses an open space between a principal and accessory building, the cladding materials requirements for principal and accessory buildings shall relate to the fence.



Above: Examples of acceptable front yard fencing

8.0 Variety

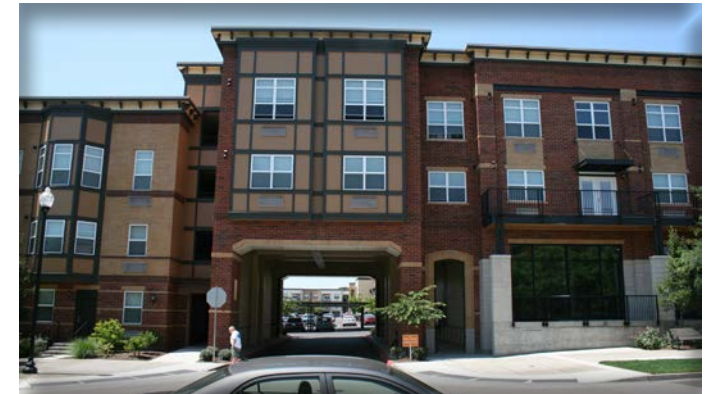
INTENT: A variety of architectural styles, spaces, colours, materials and uses are encouraged within the Neighbourhood.

- Where properties share a common property line, or are in close proximity to each other, each property is encouraged to demonstrate architectural variety to decrease visual monotony.
- Repetition of architectural styles on separate development sites that are in close proximity to each other is strongly discouraged.

9.0 Parking, Loading, and Service Areas

INTENT: Balance the need to improve the pedestrian environment with the demand for parking. Parking should not dominate the streetscape or individual sites.

- For all developments, required parking is not permitted in front yards. Required parking must be located within or under the development or in a rear yard or side yard and suitably screened from adjacent public streets, public parks, or adjacent development.
- Access to all multi-family parcels (not individual dwellings) is acceptable from public streets.
- Where possible, dwelling group sites may orient garages across the street from single family housing with front garages, subject to approval during the Development Review Process addressing technical site and other City Policy considerations.



Above: Example of parking suitably screened from public view by locating it in the interior of building site.

10.0 Site and Building Exterior Lighting

INTENT: Buildings and sites should be illuminated for security and ambience. Night lighting encourages activity, but any potential for “light pollution” is to be avoided.

Lighting on any site and on/in any portion of a building shall be arranged and shielded such as that it does not become a hazard or annoyance. Lighting should not in any way compromise the appropriate function of adjacent properties.

11.0 Mechanical/Electrical

INTENT: Screen mechanical and electrical equipment that is normally left within view of the street on sites and on rooftops. Noise generated by this equipment must be considered such that adjacent occupancies are not impacted.

Excluding any existing utility, mechanical and electrical equipment on a site or on a building must be adequately screened from adjacent street level.

12.0 Landscaping

INTENT: To encourage professionally designed solutions to link to streetscapes and public spaces with the Neighbourhood.

- Open space must be landscaped. All development submissions must be accompanied by general landscape concept plans (not Landscape Rendering).
- In the case of soft landscaping that is visible from any public street, lane or park, grass may only be used for 75% of the soft landscaping provided on any site. This must be demonstrated on plan either graphically or in text format.
- Landscapes must be designed to be self-sustaining in the local climate or an adequate irrigation system is to be provided.
- Coniferous trees must be a minimum of 1800mm height and deciduous trees must have a minimum caliper of 50mm at the time of installation.
- Landscaping is to be extended into the City boulevard where the site is adjacent to separate sidewalk and curb.

Below: Multi-family buildings front on common space that contains self-sustaining landscaping.



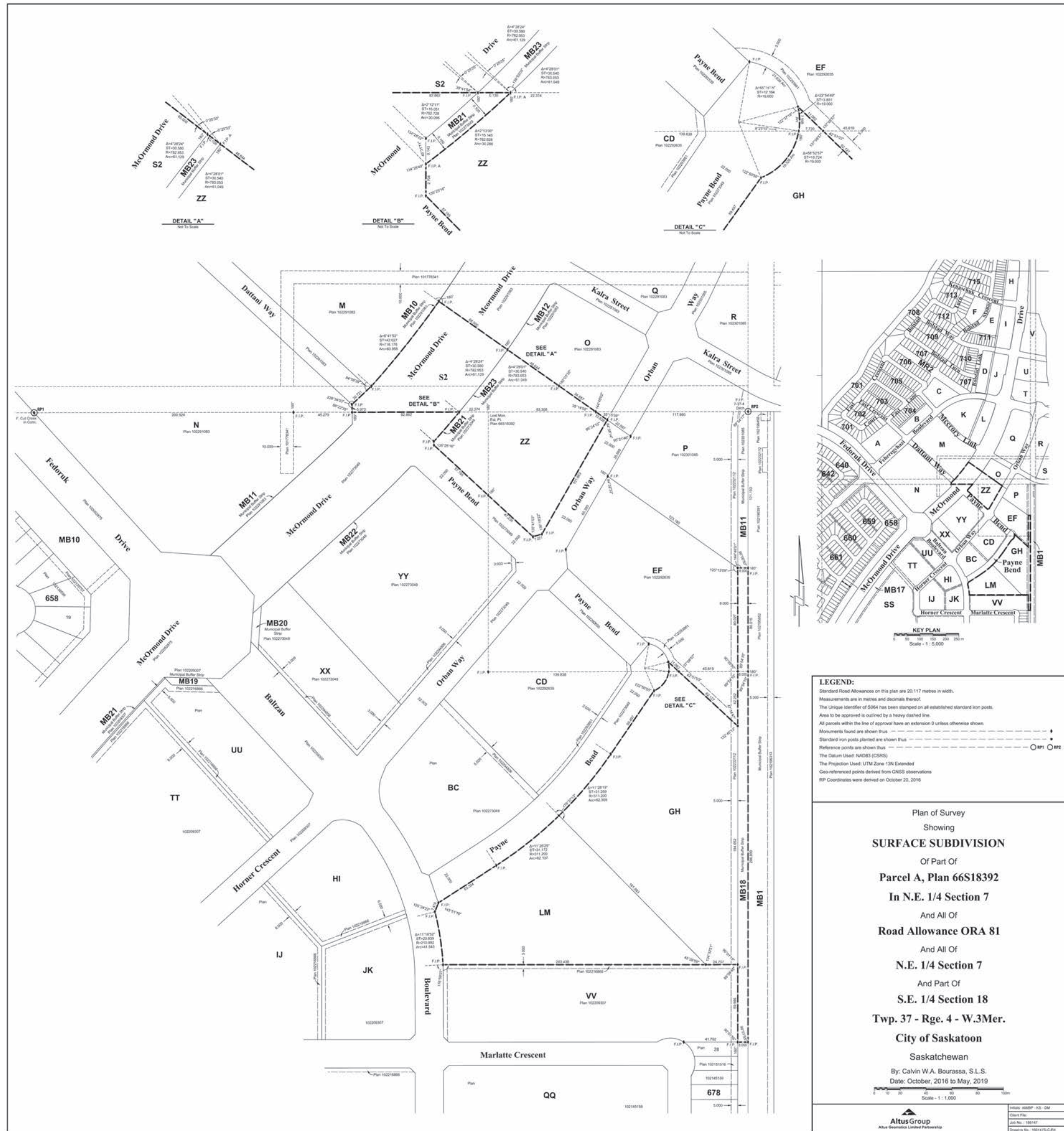
13.0 Summary of Key Architectural Considerations

1. The intention of implementing Architectural Controls is not to control building styles but rather to reduce the potential for the visual monotony often associated with multi-family developments. This can be achieved by breaking up large volumes of uninterrupted roof planes, the breaking up the featureless planes associated with large multi-unit wall areas, the careful use of more than one cladding material, the use of trim details, and the use of several colour schemes each containing more than one or two colours.
2. On a group townhousing site, or an apartment style building site, the buildings adjacent to the front property line is required to front onto the public street. This required layout is similar to the way a street townhouse fronts onto a street.
3. Where possible, townhouse sites may orient garages across the street from single family housing with front garages. It is also subject to approval during the Development Review Process addressing technical site and other City Policy considerations.
4. Large volumes of roofs or walls need to be broken up with architectural detailing that significantly reduces large expanses of featureless plane.
5. All buildings require, at the very least, two major cladding materials.
6. Any building's colour scheme needs, at the very least, four colours of which two are major colour applications. The two major colours will be associated with the major cladding materials. The two other colours will be associated with the roof colour and minor architectural detailing such as soffit, fascia, doors, door trim, and window trim. In the case of townhousing, adjacent buildings require different colour schemes.
7. Wall cladding materials are required to extend a minimum of 1.2 metres (4 feet) along side building elevations that do not face public streets, public parks, or adjacent developments.
8. Any facade abutting and/or highly visible from a public street, public park or adjacent development shall receive the same architectural treatment as the "front" facade.
9. All mechanical equipment, garbage or recycling receptacles, must be suitably screened. Chimneys or other venting pipes must be clad in chimney chase.

www.saskatoon.ca
306-975-3278
201 3rd Ave N | Saskatoon, SK



3. REGISTERED SURVEY PLAN



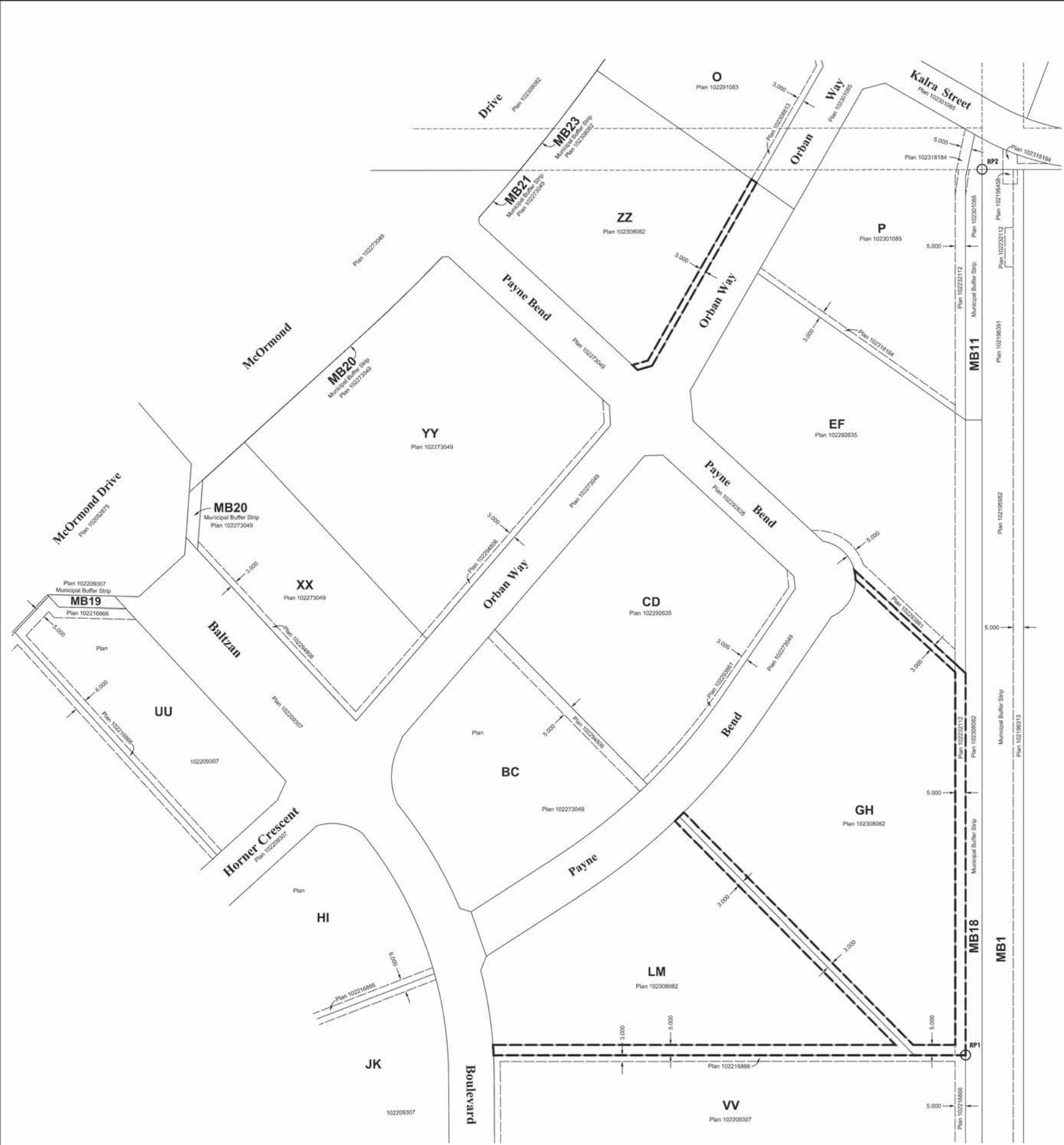
LEGEND:
Standard Road Allowances on this plan are 20.117 metres in width.
Measurements are in metres and decimals thereof.
The Unique Identifier of 5064 has been stamped on all established standard iron posts.
Area to be approved is outlined by a heavy dashed line.
All parcels within the line of approval have an extension 0 unless otherwise shown.
Monuments found are shown thus: ————
Standard iron posts planted are shown thus: ————
Reference points are shown thus: ————
The Datum Used: NAD83 (CSRS05)
The Projection Used: UTM Zone 13N Extended
Geo-referenced points derived from GNSS observations
RP Coordinates were derived on October 20, 2016

Plan of Survey
Showing
SURFACE SUBDIVISION
Of Part Of
Parcel A, Plan 66S18392
In N.E. 1/4 Section 7
And All Of
Road Allowance ORA 81
And All Of
N.E. 1/4 Section 7
And Part Of
S.E. 1/4 Section 18
Twp. 37 - Rge. 4 - W.3Mer.
City of Saskatoon
Saskatchewan
By: Calvin W.A. Bourassa, S.L.S.
Date: October, 2016 to May, 2019
Scale - 1 : 1,000





AltusGroup
Altus Securities Limited Partnership

Index: AMSP - CS - DM
Client File:
Job No.: 188427
Drawing No.: 188427-01

4. REGISTERED FEATURE PLAN



LEGEND:

Measurements are in metres and decimals thereof.
Area to be approved is outlined by a heavy dashed line.
The extensions of all parcels affected by this feature are 0 unless otherwise shown.
New Right of Way limits are straight lines unless otherwise shown.
Monuments found are shown thus  
Reference points are shown thus  
The Datum Used: NAD83 (CSRS)
The Projection Used: UTM Zone 13N Extended
Geo-referenced points derived from GPS observations
RP Coordinates were derived on October 20, 2016

CITY OF SASKATOON

Descriptive Plan - Type 2
Showing
FEATURE UTILITY RIGHT OF WAY
Within
Parcels GH, LM & ZZ, Plan 102308082
N.E. 1/4 Section 7
Twp. 37 - Rge. 4 - W.3Mer.
City of Saskatoon
Saskatchewan

By: Calvin W.A. Bourassa, S.L.S.
Date: October 25th, 2018



5. CUT/FILL MAP



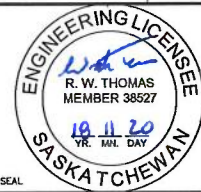
LEGEND:

- **-0.25** --- CUT CONTOUR
- **0.25** --- FILL CONTOUR
- **0.0** --- 0.0 CUT/FILL CONTOUR

NOTE:

1. CUT/FILL CONTOURS DERIVED FROM A VOLUMETRIC COMPARISON OF EXISTING GROUND (COS SURVEY JAN., 2011) -200mm vs "DESIGN"
2. BASEMENT DUMP IS NOT SHOWN IN THE CUT/FILL CONTOURS

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PLAN DESCRIPTION/REVISION					
	DATE	BY	SEAL		



CHECKED BY:	CHECKED BY:
DATE	DATE
DRAWN BY: RWD	DATE: 2018-NOV-20



City of Saskatoon
Transportation & Utilities Department

EVERGREEN LAND DEVELOPMENT D4
AREA GRADING
CUT & FILL CONTOURS
FINAL ELEVATIONS vs POST TOPSOIL STRIPPING

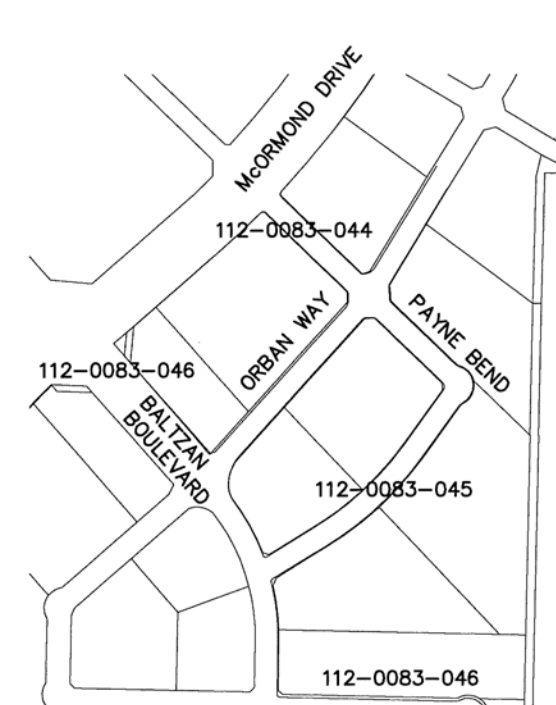
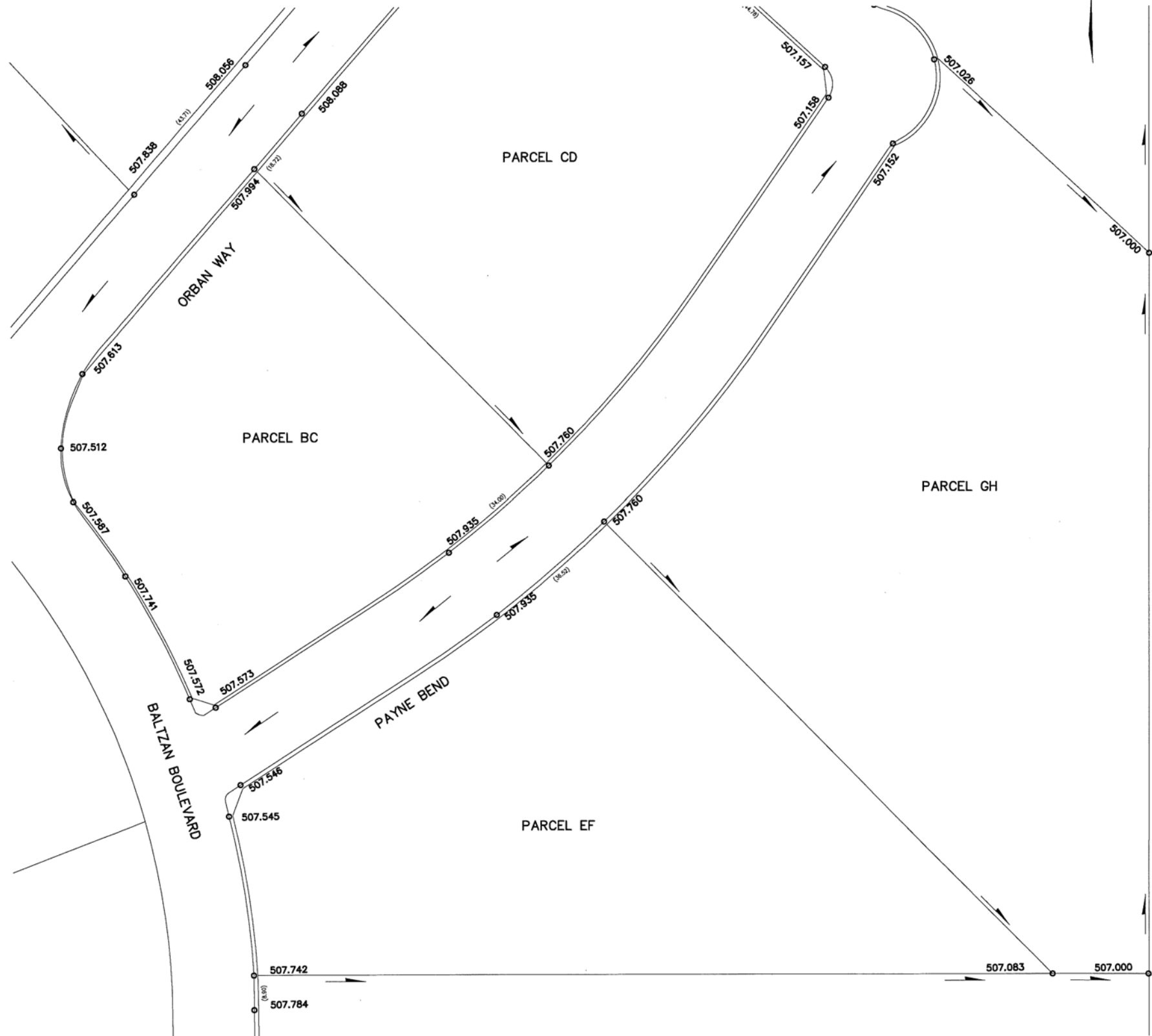
CHIEF ENGINEER	
SCALES:	
HOR. 1:2500	DATE
VERT. --	
SHEET NO.	PLAN NO.

6. DESIGN CONTOUR MAP



<table border="1"> <tr><td>11</td><td></td></tr> <tr><td>10</td><td></td></tr> <tr><td>9</td><td></td></tr> <tr><td>8</td><td></td></tr> <tr><td>7</td><td></td></tr> <tr><td>6</td><td></td></tr> <tr><td>5</td><td></td></tr> <tr><td>4</td><td></td></tr> <tr><td>3</td><td></td></tr> <tr><td>2</td><td></td></tr> <tr><td>1</td><td></td></tr> </table>		11		10		9		8		7		6		5		4		3		2		1		<table border="1"> <tr> <td>2013-JUN-11</td> <td>RWOT</td> </tr> <tr> <td>DATE</td> <td>BY</td> </tr> </table>		2013-JUN-11	RWOT	DATE	BY			<table border="1"> <tr> <td>CHECKED BY:</td> <td>CHECKED BY:</td> </tr> <tr> <td><i>Michael Reul</i></td> <td><i>[Signature]</i></td> </tr> <tr> <td>DATE: June 27th, 2014</td> <td>DATE: June 30, 2014</td> </tr> </table>		CHECKED BY:	CHECKED BY:	<i>Michael Reul</i>	<i>[Signature]</i>	DATE: June 27 th , 2014	DATE: June 30, 2014	<p>City of Saskatoon Transportation & Utilities Department</p>		<p>EVERGREEN LAND DEVELOPMENT D4</p> <p>AREA GRADING DESIGN CONTOURS</p>		<p>CHIEF ENGINEER <i>[Signature]</i></p> <p>SCALES: 1:2500</p> <p>DATE: July 3, 14</p>	
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7. AREA GRADES

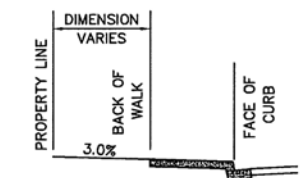
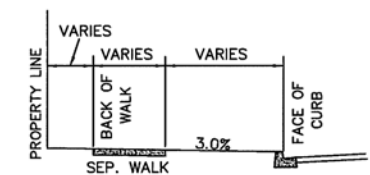


KEY PLAN

LEGEND

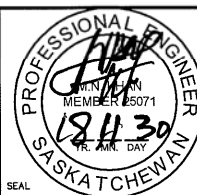
NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.



CONST.

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1	ISSUED FOR CONSTRUCTION	2018-NOV-05	JVS
	PLAN DESCRIPTION/REVISION	DATE	BY



CHECKED BY:	CHECKED BY:
<i>[Signature]</i>	
DATE 27.2018	DATE
DRAWN BY JVS	DATE 2018-NOV-05

City of Saskatoon
Transportation & Utilities Department

EVERGREEN - PHASE D4
LOT GRADES
PAYNE BEND & ORBAN WAY

CHIEF ENGINEER
SCALES: 1:1250
HOR. DATE 12-12-2019
VERT. DATE
SHEET NO. PLAN NO.
112-0083-045r001

8. RM3 ZONING DISTRICT

8.12 RM3 - Medium Density Multiple-Unit Dwelling District

8.12.1 Purpose

The purpose of the RM3 District is to provide for a variety of residential developments in a medium density form as well as related community uses.

8.12.2 Permitted Uses

The Permitted Uses and Minimum Development Standards in an RM3 District are set out in the following chart:

RM3 District	Minimum Development Standards (in Metres)									
	Site Width	Site Depth	Site Area (m ²)	Front Yard	Side Yard	Rear Yard Interior Site	Rear Yard Corner Site	Building Height (Max.)	Site Coverage (Max.)	Amenity Space Per Unit (m ²)
8.12.2 Permitted Uses										
(1) All uses permitted in the R2 Zoning District, subject to the development standards contained in the R2 Zoning District										
(2) Multiple-unit dwellings - containing three to six dwelling units	15	30	550	6	1.5	6	6	12	40% ₂	18
(3) Multiple-unit dwellings - containing seven or more dwelling units	21	30	630	6	3 ₁	6	6	12	40% ₂	18
(4) Dwelling groups	30	30	900	6	3 ₅	6 ₅	6 ₅	12	40% _{2,4}	18
(5) Converted dwellings with a maximum four dwelling units	3.75/unit	30	225	6	0.75	7.5	4.5	8.5	40% ₃	18
(6) Boarding houses	15	30	450	6	0.75	7.5	4.5	12	40% ₃	18
(7) Boarding apartments	21	30	630	6	3 ₁	6	6	12	40% ₂	18
(8) Custodial care facilities - Type II	15	30	450	6	0.75	7.5	4.5	12	40% ₃	-
(9) Adult day care - Type II	15	30	450	6	0.75	7.5	4.5	12	40% ₃	-
(10) Convents and monasteries - Type I	15	30	450	6	0.75	7.5	4.5	12	40% ₃	-
(11) Convents and monasteries - Type II	15	30	450	6	0.75	7.5	4.5	12	40% ₃	-
(12) Hostels - Type I	15	30	450	6	0.75	7.5	4.5	12	40% ₃	-
(13) Special care homes	21	30	630	6	3 ₁	7.5	4.5	12	40% ₃	18
(14) Residential care homes - Type II	15	30	450	6	0.75	7.5	4.5	12	40% ₃	-
(15) Residential care homes - Type III	21	30	630	6	3 ₁	7.5	4.5	12	40% ₃	-

8.12.3 Discretionary Uses

The Discretionary Uses and Minimum Development Standards in an RM3 District are set out in the following chart:

RM3 District	Minimum Development Standards (in Metres)									
	Site	Site	Site	Front	Side	Rear Yard	Rear Yard	Building	Site	Amenity
	Width	Depth	Area	Yard	Yard	Interior	Corner	Height	Coverage	Space Per
			(m²)			Site	Site	(Max.)	(Max.)	Unit (m²)
8.12.3 Discretionary Uses										
(1) Child care centres and pre-schools	7.5	30	225	6	0.75	7.5	4.5	12	40% ₃	-
(2) Community centres	15	30	450	6	3 ₁	7.5	4.5	12	40% ₃	-
(3) Parking stations	7.5	30	225	6	Refer to Section 6.0					
(4) Bed and breakfast homes	Refer to General Provisions Section 5.31									
(5) Private schools	15	30	450	6	3 ₁	7.5	4.5	12	40% ₃	-
(6) Ambulance stations	15	30	450	6	3 ₁	7.5	4.5	12	40%	-
(7) Special needs housing	21	30	630	6	3 ₁	6	6	12	40% ₂	18
(8) Custodial care facility - Type III	15	30	450	6	0.75	7.5	4.5	12	40% ₃	-
(9) Hostels - Type II	15	30	450	6	0.75	7.5	4.5	12	40% ₃	-

8.12.4 Notes to Development Standards

- On a corner site where the side yard adjoins the street, the side yard setback shall be a minimum of 4.5 metres.
- Site coverage may be increased to 50% where more than 50% of the required parking is provided underground or enclosed as part of the principal building.
- Site coverage may be increased for attached covered patios and decks or attached enclosed swimming pools by the percentage of the area covered by such patio, deck or swimming pool, but the total site coverage shall not exceed 50%.
- Site coverage for dwellings in dwelling groups may be increased for attached covered patios or decks by the percentage of the area covered by such patio or deck but the total site coverage shall not exceed 50% or 60% where the additional site coverage is used for enclosed parking.
- For dwellings in dwelling groups, a side yard of not less than 3 metres in width throughout and a rear yard of not less than 3 metres in width throughout shall be provided for an attached covered patio or deck or an attached raised patio or deck.

8.12.5 Signs

The regulations governing signs in an RM3 District are contained in **Appendix A - Sign Regulations**.

8.12.6 Parking

The regulations governing parking and loading in an RM3 District are contained in **Section 6.0**.

8.12.7 Gross Floor Space Ratio

- (1) The gross floor space ratio shall not exceed 1.5:1.

8.12.8 Landscaping

- (1) A landscaped strip of not less than 4.5 metres in depth throughout lying parallel to and abutting the front site line shall be provided on every site and shall be used for no purpose except landscaping and necessary driveway access to the site.
- (2) On corner lots, in addition to the landscaping required in the front yard, the whole of any required side yard abutting the flanking street shall be landscaped.
- (3) Where an RM3 site abuts any R District site without an intervening lane, there shall be a strip of land adjacent to the abutting site line of not less than 1.5 metres throughout, which shall not be used for any purpose except landscaping.

8.12.9 Special Provision for Marquees or Canopies

- (1) For all permitted buildings except one and two-unit dwellings, a marquee or canopy shall be permitted to project into front and side yards; provided however, that the outer edges of such marquee or canopy shall not be located closer than 1.5 metres to any front or side site line. A marquee or canopy may be cantilevered out from the building but may not be constructed or supported within such yards by walls or by more than required or normal structural supports.

9. RM3 ZONING MAP

