

# Multi-Family, Institutional & Commercial Land for Sale

For further information, including sales maps, servicing details and terms of sale, please click on the desired property listing.



Block/ Parcel	Plan	Address	Zoning	Area (ac)	Price
D	102038150	TBD	RMTN	4.21	\$3,912,600
N	102077894	TBD	RMTN	1.41	\$1,289,300
E	102064294	TBD	RMTN	1.08	\$1,268,000
DD	102132447	627 Manek Road	RMTN	1.69	\$1,454,500
TT	102209307	TBD	B4A	3.66	\$5,900,500
UU	102209307	TBD	B4MX	1.63	(sold as a pair)
HI	102209307	TBD	M3	1.56	\$1,599,000
IJ	102209307	TBD	M3	2.34	\$2,398,500
JK	102209307	TBD	M3	1.51	\$1,547,750

Listings in pink denote new listing.

## Blairmore Suburban Centre

Block/ Parcel	Plan	Address	Zoning	Area (ac)	Price
AA	102177862	803 Hart Road	RM2	2.842	\$2,478,000
BB	102177862	705 Hart Road	RM2	2.001	\$1,725,000



Block/ Parcel	Plan	Address	Zoning	Area (ac)	Price
Y	102171732	855 Kensington Boulevard	RMTN	1.85	\$2,030,400
225	102171732	TBD	RMTN	1.496	\$1,737,400



# EVERGREEN

## Multi-Family Land for Sale

Civic Address: TBD

Zoning District: RMTN

Legal Description: Parcel D, Plan No. 102038150

Price: \$3,912,600

Site Area (ac): 4.21

Site Type: Group Townhouse



## Purchase Options

### SALE AGREEMENT:

- a) 10% non-refundable deposit is required.
- b) 18 week allowance for Architectural Evaluation Approval.
- c) Final Payment due within 30 days of Architectural Approval.

The purchaser will have up to 18 weeks to gain final approval for architectural plans for the site from Saskatoon Land. The first submission of plans must be received by Saskatoon Land within 8 weeks of the deposit. Final Payment is due 30 days from plan approval.

### OPTION TO PURCHASE AGREEMENT:

- a) 2% (plus GST) option will give prospective purchasers six months to determine if they wish to purchase a parcel. In the event an option is exercised within the option period, the option fee shall be credited to the purchase price of the lot. If the option is not exercised the option fee is forfeited.

b) The option may be exercised by notice in writing and accompanied by a Further Payment sufficient to bring the total amount submitted to 10% of the purchase price. At this time, the Architectural Evaluation process begins.

The purchaser will have up to 18 weeks to gain final approval of architectural plans for the site from Saskatoon land. The first submission of plans must be received by Saskatoon Land within 8 weeks of the further payment. Final payment is due 30 days from plan approval.



## Architectural Controls

Building plans will be reviewed for consistency with Saskatoon Land's Architectural Controls for Multi-Unit Dwelling Districts available at:

[https://www.saskatoon.ca/sites/default/files/architectural\\_controls\\_for\\_multi-unit\\_dwelling\\_districts\\_2013.pdf](https://www.saskatoon.ca/sites/default/files/architectural_controls_for_multi-unit_dwelling_districts_2013.pdf)

The purchaser will not be able to apply for a building permit until receiving final approval from Saskatoon Land. Once the Architectural Evaluation is completed, the purchaser may apply for a Building Permit by providing the Building Standards Division with a copy of the Sale Agreement and building plans. These plans will be cross checked to the plans which were submitted to and approved by Saskatoon Land. If the builder makes changes to its plans following approval from Saskatoon Land, a second approval will be required in order to ensure that the design still meets all architectural controls.

The following information is required for the Architectural Evaluation:

- 1) A site plan to scale, showing buildings, roads, parking, loading, fences, and the landscaping concept;
- 2) Floor plans of all floors for each building to scale;
- 3) All exterior elevations of each building to scale indicating location of materials and colours;
- 4) Building section of each building to scale indicating building height, roof slopes, and features; and
- 5) Specifications and colours for all exterior building materials of each building and for site development.

There will be no appeal process for purchasers who wish to challenge the decision of Saskatoon Land in its interpretation of the architectural controls.

*It should be noted that Saskatoon Land is acting solely as the land developer of the Evergreen neighbourhood and in no capacity as the Municipal Approving Authority for the City of Saskatoon. Questions or interpretations regarding municipal regulatory requirements should be directed to the appropriate civic department(s).*



## Development Controls

The following development controls apply to Parcel D.

- 1) The development shall consist of ground-oriented housing units only. No dwelling units shall be located above or below another;
- 2) All buildings shall have a maximum of two storeys in elevation;
- 3) No dwelling units shall be constructed with an above-grade floor area (excluding attached decks, patios and garages) less than 1000 square feet;
- 4) The rear yard setback shall be a minimum of 7.5 metres where the site is directly adjacent to single-family development without a lane in-between; and
- 5) All dwelling units must be constructed with a minimum single-wide garage. The garage must be constructed at the same time the dwelling is built.

## Zoning

Purchasers are advised to consult with the Planning and Development Division at 306-975-2645 as to permissible uses and other details regarding the zoning.

## Services

The purchase price includes the sum required to prepay services. These services include curb, sidewalk, boulevard, street paving, street lighting, street signing, water mains, sanitary sewer mains, trunk sewer levies and primary water main levies. Services are provided adjacent to the site and are typically located in adjacent rights of way. Any costs associated with service connections or private crossings are not included in the purchase price and are the responsibility of the purchaser.

Final site grading is the responsibility of the purchaser and must be approved by the City of Saskatoon, Transportation & Utilities Department. The purchaser is also responsible for the topsoil, seeding, irrigating and maintenance of boulevards adjacent to their property to the edge of the sidewalk and between the sidewalk and the curb.



## Possession

Possession of the site will not be granted until completion of the architectural evaluation.

The purchaser will be granted possession of the property after payment in full has been received. Payment in full must be secured no later than 30 days after architectural plans have been approved.

The following outlines the conditions of possession:

1. On or before the possession date, the purchaser will deliver to the City of Saskatoon, Saskatoon Land the following:
  - a. A certified cheque, bank draft or solicitor's trust cheque for the balance of the purchase price;
  - b. A written statement acknowledging acceptance of the environmental condition of the property; and
  - c. Properly executed and sealed copies of the Sale Agreement.
2. Property taxes will be adjusted at the possession date.
3. Purchaser is responsible for fees to transfer Title. The Purchaser must provide the name of their solicitor who will undertake to register the Transfer Authorization on their behalf. The City of Saskatoon will provide a Transfer Authorization to the purchaser's solicitor upon receipt of the balance of the purchase price.

## Easements

See attached map for easements. The purchaser is required to agree to grant the utility agencies any further easements, which may be required, at no cost.

## Environmental Condition

The properties are being sold "as is". A Phase 1 Environmental Assessment report will be supplied to the successful purchaser. Any further subsurface environmental investigations to evaluate for soil conditions on the site will be at the purchasers own expense.

# Sales Information Evergreen

[Click to return to first page](#)



## Legend:

Previous Development		Lot Number	10	Transformer(2.0m x 2.0m)	
Residential Care Home Type II		Easement 3m		Utility Pedestal (2.75m x 2.0m)	
Multi-Family Parcels <small>Group Townhouses</small>		Easement 5m		Light Standard	
Multi-Family Parcels <small>Street Townhouses</small>		Proposed Bus Stop		Fire Hydrant	
Civic Addresses	1234	Mail Boxes		Temporary Water Circulator	



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Note: Saskatoon Land does not guarantee the accuracy of this plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. Park and buffer renderings are for illustrative purposes only and does not represent what will be constructed. To ensure accuracy, please refer to the Registered Plan of Survey. Distances are in meters unless shown otherwise. Do not scale.



# EVERGREEN

## Multi-Family Land for Sale

Civic Address: TBD

Zoning District: RMTN

Legal Description: Parcel N, Plan No. 102077894

Price: \$1,289,300

Site Area (ac): 1.41

Site Type: Group Townhouse



## Purchase Options

### SALE AGREEMENT:

- a) 10% non-refundable deposit is required.
- b) 18 week allowance for Architectural Evaluation Approval.
- c) Final Payment due within 30 days of Architectural Approval.

The purchaser will have up to 18 weeks to gain final approval for architectural plans for the site from Saskatoon Land. The first submission of plans must be received by Saskatoon Land within 8 weeks of the deposit. Final Payment is due 30 days from plan approval.

### OPTION TO PURCHASE AGREEMENT:

- a) 2% (plus GST) option will give prospective purchasers six months to determine if they wish to purchase a parcel. In the event an option is exercised within the option period, the option fee shall be credited to the purchase price of the lot. If the option is not exercised the option fee is forfeited.

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## Architectural Controls

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## Development Controls

The following development controls apply to Parcel N.

- 1) The development shall consist of ground-oriented housing units only. No dwelling units shall be located above or below another;
- 2) All buildings shall have a maximum of two storeys in elevation;
- 3) No dwelling units shall be constructed with an above-grade floor area (excluding attached decks, patios and garages) less than 1000 square feet;
- 4) The rear yard setback shall be a minimum of 7.5 metres where the site is directly adjacent to single-family development without a lane in-between; and
- 5) All dwelling units must be constructed with a minimum single-wide garage. The garage must be constructed at the same time the dwelling is built.

## Zoning

Purchasers are advised to consult with the Planning and Development Division at 306-975-2645 as to permissible uses and other details regarding the zoning.

## Services

The purchase price includes the sum required to prepay services. These services include curb, sidewalk, boulevard, street paving, street lighting, street signing, water mains, sanitary sewer mains, trunk sewer levies and primary water main levies. Services are provided adjacent to the site and are typically located in adjacent rights of way. Any costs associated with service connections or private crossings are not included in the purchase price and are the responsibility of the purchaser.

Final site grading is the responsibility of the purchaser and must be approved by the City of Saskatoon, Transportation & Utilities Department. The purchaser is also responsible for the topsoil, seeding, irrigating and maintenance of boulevards adjacent to their property to the edge of the sidewalk and between the sidewalk and the curb.



## Possession

Possession of the site will not be granted until completion of the architectural evaluation.

The purchaser will be granted possession of the property after payment in full has been received. Payment in full must be secured no later than 30 days after architectural plans have been approved.

The following outlines the conditions of possession:

1. On or before the possession date, the purchaser will deliver to the City of Saskatoon, Saskatoon Land the following:
  - a. A certified cheque, bank draft or solicitor's trust cheque for the balance of the purchase price;
  - b. A written statement acknowledging acceptance of the environmental condition of the property; and
  - c. Properly executed and sealed copies of the Sale Agreement.
2. Property taxes will be adjusted at the possession date.
3. Purchaser is responsible for fees to transfer Title. The Purchaser must provide the name of their solicitor who will undertake to register the Transfer Authorization on their behalf. The City of Saskatoon will provide a Transfer Authorization to the purchaser's solicitor upon receipt of the balance of the purchase price.

## Easements

See attached map for easements. The purchaser is required to agree to grant the utility agencies any further easements, which may be required, at no cost.

## Environmental Condition

The properties are being sold "as is". A Phase 1 Environmental Assessment report will be supplied to the successful purchaser. Any further subsurface environmental investigations to evaluate for soil conditions on the site will be at the purchasers own expense.

# Sales Information Evergreen



**Legend:**

- |   |      |                   |    |                                 |  |
|---|------|-------------------|----|---------------------------------|--|
| Previous Development                      |      | Lot Number        | 10 | Transformer(2.0m x 2.0m)        |  |
| Residential Care Home Type II             |      | Easement 3m       |    | Utility Pedestal (2.75m x 2.0m) |  |
| Multi-Family Parcels<br>Group Townhouses  |      | Easement 5m       |    | Light Standard                  |  |
| Multi-Family Parcels<br>Street Townhouses |      | Proposed Bus Stop |    | Fire Hydrant                    |  |
| Civic Addresses                           | 1234 | Mail Boxes        |    | Temporary Water Circulator      |  |



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# EVERGREEN

## Multi-Family Land for Sale

Civic Address: TBD

Zoning District: RMTN

Legal Description: Parcel E, Plan No. 102064294

Price: \$1,268,000

Site Area (ac): 1.08

Parcel Type: Street Townhouse



## Purchase Options

### SALE AGREEMENT:

- a) 10% non-refundable deposit is required.
- b) 18 week allowance for Architectural Evaluation Approval.
- c) Final Payment due within 30 days of Architectural Approval.

The purchaser will have up to 18 weeks to gain final approval for architectural plans for the site from Saskatoon Land. The first submission of plans must be received by Saskatoon Land within 8 weeks of the deposit. Final Payment is due 30 days from plan approval.

### OPTION TO PURCHASE AGREEMENT:

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## Architectural Controls

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The purchaser will not be able to apply for a building permit until receiving final approval from Saskatoon Land. Once the Architectural Evaluation is completed, the purchaser may apply for a Building Permit by providing the Building Standards Division with a copy of the Sale Agreement and building plans. These plans will be cross checked to the plans which were submitted to and approved by Saskatoon Land. If the builder makes changes to its plans following approval from Saskatoon Land, a second approval will be required in order to ensure that the design still meets all architectural controls.

The following information is required for the Architectural Evaluation:

- 1) A site plan to scale, showing buildings, roads, parking, loading, fences, and the landscaping concept;
- 2) Floor plans of all floors for each building to scale;
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- 4) Building section of each building to scale indicating building height, roof slopes, and features; and
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## Development Controls

The following development controls apply to Parcel E.

- 1) No dwelling units shall be constructed with an above-grade floor area (excluding attached decks, patios and garages) less than 1,000 square feet;
- 2) All dwelling units must be constructed with a minimum single-wide garage. The garage must be constructed at the same time as the dwelling is built and include a paved apron that connects it to the rear property line;
- 3) Parking shall not be permitted in the front yard and no vehicle access to the site shall be permitted from the front street;
- 4) There shall not be more than six dwelling units side-by-side along any one building elevation; and
- 5) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all buildings. The masonry application on each building must be the equivalent of a minimum of 100 square feet in area per unit. Where the masonry application meets a building corner, it must be returned 24 inches around the corner.

## Zoning

Purchasers are advised to consult with the Planning and Development Division at 306-975-2645 as to permissible uses and other details regarding the zoning.

## Services

The purchase prices include the sum required to prepay services. These services include curb, sidewalk, boulevard, street paving, street lighting, street signing, water mains, sanitary sewer mains, trunk sewer levies and primary water main levies. Services are provided adjacent to the site and are typically located in adjacent rights of way. Any costs associated with service connections or private crossings are not included in the purchase price and are the responsibility of the purchaser.

Final site grading is the responsibility of the purchaser and must be approved by the City of Saskatoon, Transportation & Utilities Department. The purchaser is also responsible for the topsoil, seeding, irrigating and maintenance of boulevards adjacent to their property to the edge of the sidewalk and between the sidewalk and the curb.



## Possession

Possession of the site will not be granted until completion of the architectural evaluation.

The purchaser will be granted possession of the property after payment in full has been received. Payment in full must be secured no later than 30 days after architectural plans have been approved.

The following outlines the conditions of possession:

1. On or before the possession date, the purchaser will deliver to the City of Saskatoon, Saskatoon Land the following:
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2. Property taxes will be adjusted at the possession date.
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## Easements

See attached map for easements. The purchaser is required to agree to grant the utility agencies any further easements, which may be required, at no cost.

## Environmental Condition

The properties are being sold "as is". A Phase 1 Environmental Assessment report will be supplied to the successful purchaser. Any further subsurface environmental investigations to evaluate for soil conditions on the site will be at the purchasers own expense.

# Sales Information Evergreen



**Legend:**

- |   |      |                   |    |                                 |  |
|---|------|-------------------|----|---------------------------------|--|
| Previous Development                      |      | Lot Number        | 10 | Transformer(2.0m x 2.0m)        |  |
| Residential Care Home Type II             |      | Easement 3m       |    | Utility Pedestal (2.75m x 2.0m) |  |
| Multi-Family Parcels<br>Group Townhouses  |      | Easement 5m       |    | Light Standard                  |  |
| Multi-Family Parcels<br>Street Townhouses |      | Proposed Bus Stop |    | Fire Hydrant                    |  |
| Civic Addresses                           | 1234 | Mail Boxes        |    | Temporary Water Circulator      |  |



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# EVERGREEN

## Multi-Family Land for Sale

Civic Address: 627 Manek Road

Zoning District: RMTN

Legal Description: Parcel DD, Plan No. 102132447

Price: \$1,454,500

Site Area (ac): 1.69

Parcel Type: Group Townhouse



## Purchase Options

### SALE AGREEMENT:

- a) 10% non-refundable deposit is required.
- b) 18 week allowance for Architectural Evaluation Approval.
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### OPTION TO PURCHASE AGREEMENT:

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## Architectural Controls

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## Development Controls

The following development controls apply to Parcel DD.

- 1) The development shall consist of ground-oriented housing units only. No dwelling units shall be located above or below another;
- 2) All buildings shall have a maximum of two storeys in elevation;
- 3) No dwelling units shall be constructed with an above-grade floor area (excluding attached decks, patios and garages) less than 1000 square feet;
- 4) The rear yard setback shall be a minimum of 7.5 metres where the site is directly adjacent to single-family development without a lane in-between; and
- 5) All dwelling units must be constructed with a minimum single-wide garage. The garage must be constructed at the same time the dwelling is built.

## Zoning

Purchasers are advised to consult with the Planning and Development Division at 306-975-2645 as to permissible uses and other details regarding the zoning.

## Services

The purchase price includes the sum required to prepay services. These services include curb, sidewalk, boulevard, street paving, street lighting, street signing, water mains, sanitary sewer mains, trunk sewer levies and primary water main levies. Services are provided adjacent to the site and are typically located in adjacent rights of way. Any costs associated with service connections or private crossings are not included in the purchase price and are the responsibility of the purchaser.

Final site grading is the responsibility of the purchaser and must be approved by the City of Saskatoon, Transportation & Utilities Department. The purchaser is also responsible for the topsoil, seeding, irrigating and maintenance of boulevards adjacent to their property to the edge of the sidewalk and between the sidewalk and the curb.



## Possession

Possession of the site will not be granted until completion of the architectural evaluation.

The purchaser will be granted possession of the property after payment in full has been received. Payment in full must be secured no later than 30 days after architectural plans have been approved.

The following outlines the conditions of possession:

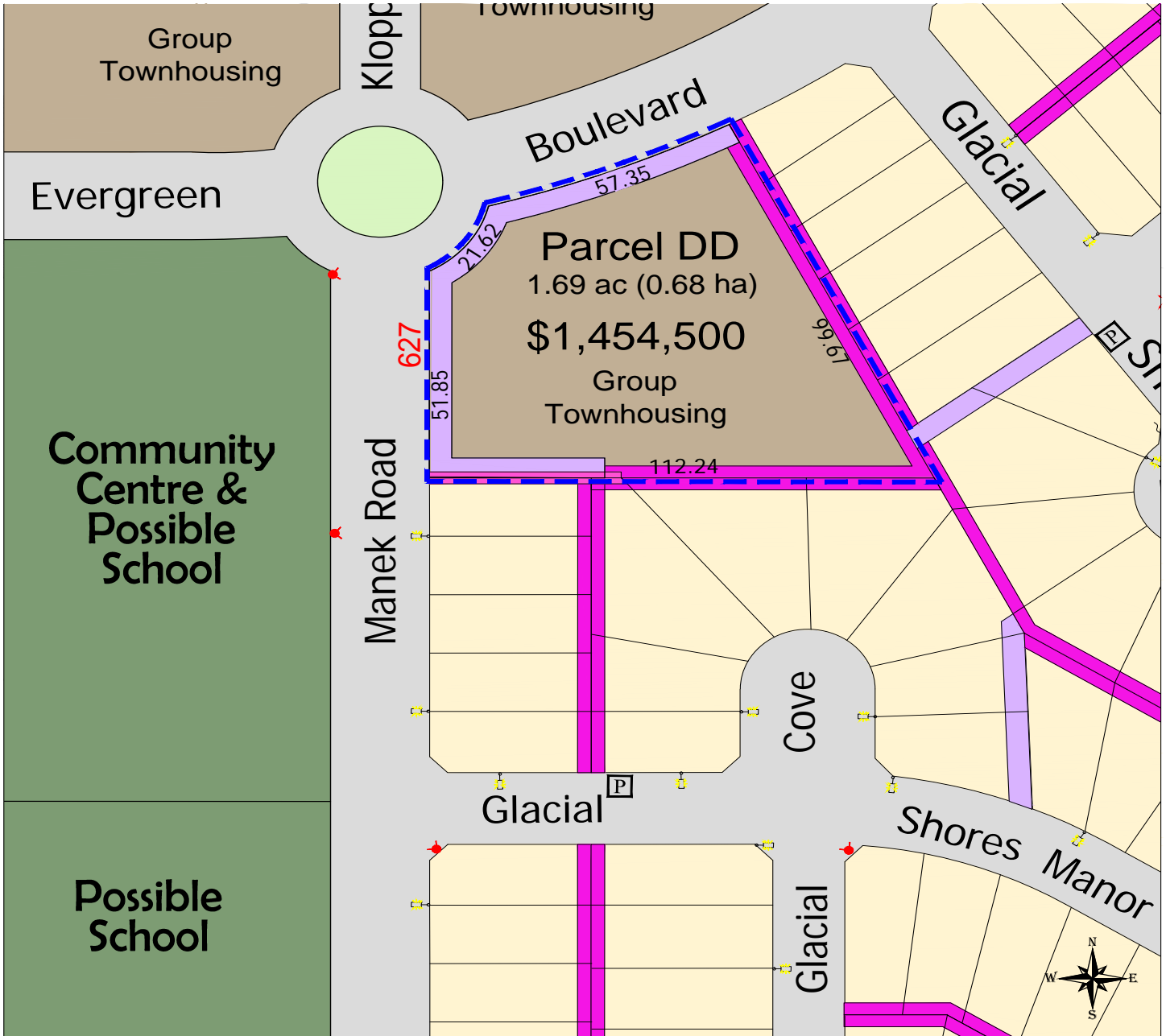
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## Easements

See attached map for easements. The purchaser is required to agree to grant the utility agencies any further easements, which may be required, at no cost.

## Environmental Condition

The properties are being sold "as is". A Phase 1 Environmental Assessment report will be supplied to the successful purchaser. Any further subsurface environmental investigations to evaluate for soil conditions on the site will be at the purchasers own expense.



**Legend:**

Civic Address	1234	Easement 5m		Transformer(2.0m x 2.0m)	
Single Family		City Water & Sewer		Utility Pedestal (2.75m x 2.0m)	
Lots with no roof slope req.		Decorative Fence		Fire Hydrant	
Multi-Family Parcels Medium/High Density		Masonry Fence		Mail Boxes	
Multi-Family Parcels Low/Medium Density		Chain Fence		Multi-family Parcels	
Easement 1.5m		Light Standard			
Easement 3m					



# EVERGREEN

## Commercial & Mixed Use Land for Sale

Civic Address: TBD

Zoning District: B4A

Legal Description: Parcel TT, Plan No. 102209307

Site Area (ac): 3.66

Parcel Type: Commercial

Civic Address: TBD

Zoning District: B4MX

Legal Description: Parcel UU, Plan No. 102209307

Site Area (ac): 1.63

Parcel Type: Mixed-Use Commercial

Parcels TT and UU are being sold as a pair with a combined price of \$5,900,500



## Purchase Options

### SALE AGREEMENT:

- 10% non-refundable deposit is required.
- 18 week allowance for Architectural Evaluation Approval.
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### OPTION TO PURCHASE AGREEMENT:

- 2% (plus GST) option will give prospective purchasers six months to determine if they wish to purchase a parcel. In the event an option is exercised within the option period, the option fee shall be credited to the purchase price of the lot. If the option is not exercised the option fee is forfeited.
- The option may be exercised by notice in writing and accompanied by a Further Payment sufficient to bring the total amount submitted to 10% of the purchase price. At this time, the Architectural Evaluation process begins.

The purchaser will have up to 18 weeks to gain final approval of architectural plans for the site from Saskatoon land. The first submission of plans must be received by Saskatoon Land within 8 weeks of the further payment. Final payment is due 30 days from plan approval.



## Architectural Controls

Building plans for Parcels TT and UU will be reviewed for consistency with the Evergreen Commercial and Institutional Design Guidelines, available at:

[https://www.saskatoon.ca/sites/default/files/documents/asset-financial-management/saskatoon-land/evergreen/district\\_village\\_sales\\_package\\_with\\_attachments.pdf](https://www.saskatoon.ca/sites/default/files/documents/asset-financial-management/saskatoon-land/evergreen/district_village_sales_package_with_attachments.pdf)

The purchaser will not be able to apply for a building permit until receiving final approval from Saskatoon Land. Once the Architectural Evaluation is completed, the purchaser may apply for a Building Permit by providing the Building Standards Division with a copy of the Sale Agreement and building plans. These plans will be cross checked to the plans which were submitted to and approved by Saskatoon Land. If the builder makes changes to its plans following approval from Saskatoon Land, a second approval will be required in order to ensure that the design still meets all architectural controls.

The following information is required for the Architectural Evaluation:

- 1) A site plan to scale, showing buildings, roads, parking, loading, fences, and the landscaping concept;
- 2) Floor plans of all floors for each building to scale;
- 3) All exterior elevations of each building to scale indicating location of materials and colours;
- 4) Building section of each building to scale indicating building height, roof slopes, and features; and
- 5) Specifications and colours for all exterior building materials of each building and for site development.

There will be no appeal process for purchasers who wish to challenge the decision of Saskatoon Land in its interpretation of the architectural controls.

*It should be noted that Saskatoon Land is acting solely as the land developer of the Evergreen neighbourhood and in no capacity as the Municipal Approving Authority for the City of Saskatoon. Questions or interpretations regarding municipal regulatory requirements should be directed to the appropriate civic department(s).*



## Zoning and Parking Credits

Parcel TT is zoned B4A (Special Suburban Centre and Arterial Commercial District) and Parcel UU is zoned B4MX (Integrated Commercial Mixed-Use District) in City of Saskatoon Bylaw No. 8770 (Zoning Bylaw). Bidders and interested parties are advised to consult with the Planning and Development Division at 306-975-2645 as to permitted uses and other details regarding applicable zoning provisions.

Parcel UU benefits from the location of approximately 33 angled on-street parking spaces. The number of off-street parking spaces required for development on this site may be reduced by the street parking spaces at the discretion of the development officer. The determination of the number of on-street parking spaces to be credited towards development on Parcel UU will also be at the discretion of the development officer.

## Traffic Restrictions

For Parcels TT and UU, there will be no direct vehicle access to either site from McOrmond Drive. A municipal buffer strip has been registered adjacent to the northwest property line of these sites for the purpose of restricting access. Proposed vehicle crossings off of Baltzan Boulevard will be reviewed by the Transportation Division based on site layout.

## Environmental Condition

The properties are being sold "as is". A Phase 1 Environmental Assessment report will be supplied to the successful purchaser. Any further subsurface environmental investigations to evaluate for soil conditions on the site will be at the purchasers own expense.





## Possession

Possession of the site will not be granted until completion of the architectural evaluation.

The purchaser will be granted possession of the property after payment in full has been received. Payment in full must be secured no later than 30 days after architectural plans have been approved.

The following outlines the conditions of possession:

1. On or before the possession date, the purchaser will deliver to the City of Saskatoon, Saskatoon Land the following:
  - a. A certified cheque, bank draft or solicitor's trust cheque for the balance of the purchase price;
  - b. A written statement acknowledging acceptance of the environmental condition of the property; and
  - c. Properly executed and sealed copies of the Sale Agreement.
2. Property taxes will be adjusted at the possession date.
3. Purchaser is responsible for fees to transfer Title. The Purchaser must provide the name of their solicitor who will undertake to register the Transfer Authorization on their behalf. The City of Saskatoon will provide a Transfer Authorization to the purchaser's solicitor upon receipt of the balance of the purchase price.

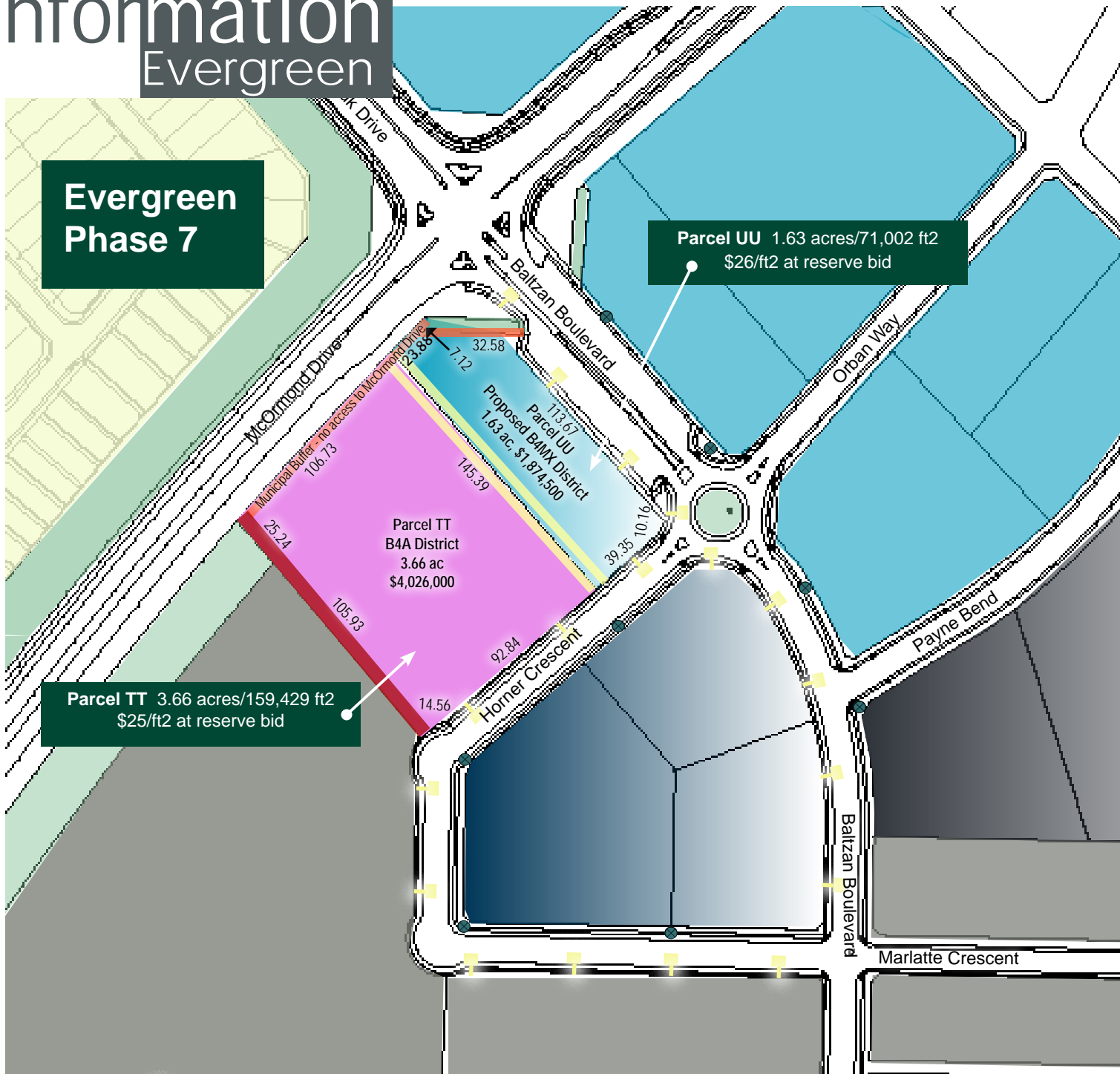
## Easements

See attached map for easements. The purchaser is required to agree to grant the utility agencies any further easements, which may be required, at no cost.

## Commissions

The City will pay real estate fees to a third party licensed realtor in accordance with Council Policy C09-015, Real Estate Commissions. For this type of land, real estate fees to be paid will be based on 3% of the land portion only of the selling price. In this instance the maximum real estate fees would be \$100,000 plus taxes.

# Information Evergreen



North



Saskatoon Land does not guarantee the accuracy of this plan. This plan is not to scale. Please refer to the registered plan of survey. Lot dimensions and the locations of other features are compiled from available information and are subject to change without notice. For verification, please contact the appropriate authority

- 7 metre easement
- 5 metre easement
- 3 metre easement
- Mixed-use commercial
- Group/street townhouse
- Multi-family apartment

- Commercial
- Institutional
- Buffer/berm
- Street Light
- Fire Hydrant
- Previous Evergreen Phasing

[Click to return to first page](#)



# EVERGREEN

## Institutional Land for Sale

Civic Address	To be determined
Zoning District	M3 District
Legal Description	Parcel HI, Plan No. 102209307
ISC Parcel	203202829
Asking Price	\$1,599,000
Site Area	1.56 acres

Civic Address	To be determined
Zoning District	M3 District
Legal Description	Parcel IJ, Plan No. 102209307
ISC Parcel	203202874
Asking Price	\$2,398,500
Site Area	2.34 acres

Civic Address	To be determined
Zoning District	M3 District
Legal Description	Parcel JK, Plan No. 102209307
ISC Parcel	203202784
Asking Price	\$1,547,750
Site Area	1.51 acres

### ZONING

Parcels HI, IJ and JK are zoned M3 (General Institutional Service District) in City of Saskatoon Bylaw No. 8770 (Zoning Bylaw). Interested parties are advised to consult with the Planning and Development Division at 306-975-2645 as to permitted uses and other details regarding applicable zoning provisions.

### SERVICES

The asking prices include the sum required to prepay services. These services include curb, sidewalk, boulevard, street paving, street lighting, street signing, water mains, sanitary sewer mains, trunk sewer levies and primary water main levies. Services are provided adjacent to the site and are typically located in adjacent rights of way. Any costs associated with service connections or private crossings are not included in the asking price and are the responsibility of the successful purchaser. Final site grading is the responsibility of the purchaser and must be approved by the City of Saskatoon, Transportation & Utilities Department. The purchaser is also responsible for the topsoil, seeding, irrigating and maintenance of boulevards adjacent to their property to the edge of the sidewalk and between the sidewalk and the curb.

### REPRESENTATIONS, WARRANTIES & ENVIRONMENTAL CONDITION

The properties are being sold "as is". A Phase 1 Environmental Assessment report will be supplied to the successful purchaser. Any further subsurface environmental or geotechnical investigations to evaluate for soil conditions on the site will be at the purchasers own expense.

### SITE ACCESS

Proposed vehicle crossings for all sites will be reviewed by the Transportation Division for compliance with the City's Private Driveway Crossing Guidelines.

### EASEMENTS

The successful purchaser is required to agree to grant the utility agencies any further easements, which may be required at no cost. Easements are denoted on the Feature Plan.

## Purchase Process

### Step 1: Purchase Request

- Visit Saskatoon Land's Website ([www.saskatoonland.ca](http://www.saskatoonland.ca)) to review property information package.
- Contact Saskatoon Land at 306.975.3278 regarding any questions or further information.

### Step 2: Submission

- Submit the Purchaser Application Form and Document Checklist to Saskatoon Land.
- Ensure that your offer addresses all of the terms and conditions outlined in the sales package and application form.

### Step 3: Review

- All offers are reviewed by Saskatoon Land.
- The successful proponent is contacted by a Saskatoon Land representative. Negotiations regarding the purchase price and other terms and conditions of the sale can then occur.
- Unsuccessful applicants will be notified once the Sale Agreement is executed by the successful proponent.

### Step 4: Approval

- The transaction is brought forward for corporate approval.
- Modifications to the transaction may be made during the approval process. The successful applicant will be notified of such modifications.
- A 10% non-refundable deposit of the purchase price is due within ten (10) days of offer acceptance.

### Step 5: Agreement

- Negotiations are finalized and a Sale Agreement is Executed between Saskatoon Land and the successful purchaser. The Sale Agreement must be executed within 30 days of final negotiations.
- Final payment is due no later than 60 days from the effective date of the Sale Agreement or as agreed to between the vendor and the purchaser.
- The successful purchaser may apply for required permits to begin construction upon receipt of payment in full.

### Step 6: Post Closing Obligations

- Saskatoon Land monitors the purchaser's on-going construction process to ensure the building commitment is met.
- Purchaser complies with all Terms and Conditions set forth by the Sale Agreement.
- Saskatoon Land prepares a land sale report annually listing all land transactions approved by the Chief Financial Officer and General Manager of the Asset and Financial Management Department.

Where did you hear about these properties being offered for sale?

<input type="checkbox"/> Associate	<input type="checkbox"/> StarPhoenix Ad
<input type="checkbox"/> <a href="http://www.saskatoonland.ca">www.saskatoonland.ca</a>	<input type="checkbox"/> Realtor/Industry Mail-out
<input type="checkbox"/> Saskatoon Land email notification	<input type="checkbox"/> Other _____

## Document Checklist

To be considered, a submission must be complete and include the following:

- Completed Purchaser Application Form
- Saskatchewan Corporate Search carried out within the last 30 days for the corporation that is to appear on title.
- Detailed description of proposed development. In order to properly assess the purchaser's development we require as much detail as possible at this time, including:
  - Site layout and proposed use(s)
  - Construction/building time lines
- Demonstrated experience in completing similar projects.
- The purchaser has read and acknowledges the Terms and Conditions identified for this property.

Please submit your completed Document Checklist and Purchaser Application Form to either:

Jeremy Meinema at [jeremy.meinema@saskatoon.ca](mailto:jeremy.meinema@saskatoon.ca)  
Colleen Hassen at [colleen.hassen@saskatoon.ca](mailto:colleen.hassen@saskatoon.ca)

or by courier or personal delivery addressed to any party above at:

Saskatoon Land  
201-3rd Ave N  
Saskatoon, SK S7K 2H7  
306.975.3278



# Evergreen District Village Purchaser Application Form

Please complete this form if you are interested in purchasing land from Saskatoon Land, City of Saskatoon. This information you provide is not an offer or a contract and does not constitute an interest in land. The purpose of this form is to provide information to Saskatoon Land regarding a desire to purchase property. The completion of the form in no way obligates the applicant to purchase the property in question and is not in any way binding upon The City of Saskatoon. It is for information purposes only. Saskatoon Land will review the form and contact you to confirm whether or not Saskatoon Land will consider your application for negotiation. Saskatoon Land reserves the right to negotiate with only those parties it determines, in its sole discretion. Saskatoon Land reserves the right to amend or abandon any property listing without accepting any Purchaser Application Form. Saskatoon Land has the ability to reject any offer for any reason prior acceptance or approval.

## PROPERTY REQUESTED

Legal	
Civic Address	
ISC Parcel #	
Purchase Price Offered	

## Contact Information

Name to appear on title	
Contact Person	
Phone #	
Fax #	
Email Address	
Street Address	
City, Province	
Postal Code	
GST Registration #	

## Lawyer Information

Name & Firm	
Phone #	
Fx #	
Email Address	
Street Address	
City, Province	
Postal Code	

***The property is sold "as is". No warranties or guarantees apply. All sales are subject to administrative approval. The City reserves the right not to enter into a sale agreement.***



# Real Estate Agent/Broker Declaration Form

## LICENSED BROKER/ASSOCIATE INVOLVEMENT (IF APPLICABLE)\*

\*If using a licensed broker/associate, all negotiations must take place through them. Licensed brokers/associates involved in the transaction that are directors or shareholders of the company purchasing the property will not receive a commission.

Associate's Name & Company	
Associate's Phone Number	
Associate's Fax Number	
Associate's Email Address	

**The proposed corporation that is to hold title to the property must be either a corporation incorporated in Saskatchewan or a corporation extra-provincially registered in Saskatchewan. The ability to change the corporation that is to hold title can only be made prior to offer acceptance. No change of a corporate entity will be allowed thereafter.**

**Date:** \_\_\_\_\_ **Signed:** \_\_\_\_\_

**This information is collected under the authority of Section 33 of *the Freedom of Information and Protection of Privacy Act* and for the purpose of property sale transactions within the City of Saskatoon. It is protected by the privacy provisions of *the Freedom of Information and Protection of Privacy Act*.**



## TERMS & CONDITIONS

### 1. Deposit/Closing Date/Possession/Adjustment Date:

- (a) 10% deposit due within 10 days of offer acceptance.
- (b) Sixty (60) days following acceptance of the Saskatoon Land proposal letter or as agreed to between the vendor and purchaser.

### 2. Conditions Precedent:

- (a) Approval of the sale by the General Manager of Asset and Financial Management.

### 3. Special Terms and Conditions:

- (a) A building commitment will be imposed for the commencement of construction to be satisfied within thirty six (36) months from the closing date.
- (b) The purchaser will be required to enter into a separate agreement to permit repurchase of the lands by the vendor as security for fulfillment of the building commitment.
- (c) The property is sold "as is" and the purchaser shall assume all responsibility and liability including any environmental matters existing as of the closing date.
- (d) Real Estate Commissions will be in accordance with Council Policy C09-015, Real Estate Commissions.
- (e) Non-residential development on this site will be subject to review for consistency with the Evergreen Commercial and Institutional Design Guidelines. Multi-family development on this site will be required to meet Saskatoon Land's Architectural Controls for Multi-unit Dwelling Districts.
- (f) Possession of the site will not be granted until completion of the Architectural Evaluation.
- (g) The purchaser further agrees to grant the City of Saskatoon, Saskatchewan Telecommunications, Saskatchewan Power Corporation, SaskEnergy Incorporated, and any utility agency any easements, which may be required by any or all of the said agencies at no cost.
- (h) Purchasers are required to demonstrate past experience with completing multi-family or institutional development projects.

I have read and accepted these terms.

\_\_\_\_\_  
(signature)

\_\_\_\_\_  
(date)



## ARCHITECTURAL REVIEW PROCESS

Multi-family development on these sites are subject to compliance with Saskatoon Land's Architectural Controls for Multi-unit Dwelling Districts. Non-residential development on these sites are subject to compliance with Saskatoon Land's Evergreen Commercial and Institutional Design Guidelines. These guiding documents provide a framework for site planning and design to promote Saskatoon Land's vision for the area.

Prior to plan preparation, or any stage during plan development, Saskatoon Land is available to meet to view draft plans and discuss the architectural requirements. Any questions should be directed to Matt Grazier at 306-975-3305. Following offer acceptance, the purchaser will have up to 18 weeks to gain final approval of architectural plans for the site from Saskatoon Land. The first submission of plans must be received by Saskatoon Land within 8 weeks of offer acceptance. Saskatoon Land will then analyze the plans for compliance with the architectural controls. Saskatoon Land reserves the right to take up to two weeks to review and comment on plans after any submission is made by the successful party. After plans have been reviewed, a meeting with the successful party will be arranged to discuss plan changes, if any, which may be required. The successful purchaser will not be able to apply for a building permit until receiving final approval from Saskatoon Land. Additionally, possession of the site will not be granted until completion of the architectural evaluation.

Once the architectural evaluation is completed, the successful purchaser may apply for a building permit by providing the Building Standards Division with a copy of the Sale Agreement and building plans. These plans will be cross checked to the plans which were submitted to and approved by Saskatoon Land. If the purchaser makes changes to its plans following approval from Saskatoon Land, a second approval will be required in order to ensure that the design still meets all architectural controls.

The following information is required for the architectural evaluation:

- A site plan, to scale showing buildings, roads, parking, loading, fences, and the landscaping concept;
- Floor plans of all floors for each building to scale;
- All exterior elevations of each building to scale indicating location of materials and colours;
- Building section of each building to scale, indicating building height, roof slopes, and features; and
- Specifications and colours for all exterior building materials of each building and for site development.

## ATTACHMENTS

The following attachments are available upon request from Saskatoon Land.

1. Registered Feature Plan
2. Registered Survey Plan
3. Architectural Controls for Multi-Unit Dwelling Districts
4. Evergreen Commercial and Institutional Design Guidelines
5. Final Grades
6. Design Contours
7. Cut/Fill Map

# Legend

-  Institutional
-  Commercial
-  Mixed-use Commercial
-  Apartment
-  Townhouse
-  Park
-  Buffer
-  Single-Family
-  Street Light
-  Fire Hydrant
-  Easement (3 m)



Saskatoon Land

Saskatoon Land does not guarantee the accuracy of this plan. This Plan is not to scale. Please refer to the registered plan of survey. Lot dimensions and the locations of other features are compiled from available information and are subject to change without notice. For verification, please contact the appropriate authority.

Green Bridge Location



# EVERGREEN



[Click to return to first page](#)

# Blairmore Suburban Centre

## Multi-Family Land for Sale

Civic Address: 803 Hart Road

Zoning District: RM2

Legal Description: Parcel AA, Plan No. 102177862

Price: \$2,478,000

Site Area (ac): 2.842

Parcel Type: Group Townhouse



## Purchase Options

### SALE AGREEMENT:

- a) 10% non-refundable deposit is required.
- b) 18 week allowance for Architectural Evaluation Approval.
- c) Final Payment due within 30 days of Architectural Approval.

The purchaser will have up to 18 weeks to gain final approval for architectural plans for the site from Saskatoon Land. The first submission of plans must be received by Saskatoon Land within 8 weeks of the deposit. Final Payment is due 30 days from plan approval.

### OPTION TO PURCHASE AGREEMENT:

- a) 2% (plus GST) option will give prospective purchasers six months to determine if they wish to purchase a parcel. In the event an option is exercised within the option period, the option fee shall be credited to the purchase price of the lot. If the option is not exercised the option fee is forfeited.

b) The option may be exercised by notice in writing and accompanied by a Further Payment sufficient to bring the total amount submitted to 10% of the purchase price. At this time, the Architectural Evaluation process begins.

The purchaser will have up to 18 weeks to gain final approval of architectural plans for the site from Saskatoon land. The first submission of plans must be received by Saskatoon Land within 8 weeks of the further payment. Final payment is due 30 days from plan approval.



## Architectural Controls

Building plans will be reviewed for consistency with Saskatoon Land's Architectural Controls for Multi-Unit Dwelling Districts available at:

[https://www.saskatoon.ca/sites/default/files/architectural\\_controls\\_for\\_multi-unit\\_dwelling\\_districts\\_2013.pdf](https://www.saskatoon.ca/sites/default/files/architectural_controls_for_multi-unit_dwelling_districts_2013.pdf)

The purchaser will not be able to apply for a building permit until receiving final approval from Saskatoon Land. Once the Architectural Evaluation is completed, the purchaser may apply for a Building Permit by providing the Building Standards Division with a copy of the Sale Agreement and building plans. These plans will be cross checked to the plans which were submitted to and approved by Saskatoon Land. If the builder makes changes to its plans following approval from Saskatoon Land, a second approval will be required in order to ensure that the design still meets all architectural controls.

The following information is required for the Architectural Evaluation:

- 1) A site plan to scale, showing buildings, roads, parking, loading, fences, and the landscaping concept;
- 2) Floor plans of all floors for each building to scale;
- 3) All exterior elevations of each building to scale indicating location of materials and colours;
- 4) Building section of each building to scale indicating building height, roof slopes, and features; and
- 5) Specifications and colours for all exterior building materials of each building and for site development.

There will be no appeal process for purchasers who wish to challenge the decision of Saskatoon Land in its interpretation of the architectural controls.

*It should be noted that Saskatoon Land is acting solely as the land developer of the Blairmore Suburban Centre and in no capacity as the Municipal Approving Authority for the City of Saskatoon. Questions or interpretations regarding municipal regulatory requirements should be directed to the appropriate civic department(s).*

# Information

## Blairmore



## Services

The purchase price includes the sum required to prepay services. These services include curb, sidewalk, boulevard, street paving, street lighting, street signing, water mains, sanitary sewer mains, trunk sewer levies and primary water main levies. Services are provided adjacent to the site and are typically located in adjacent rights of way. Any costs associated with service connections or private crossings are not included in the purchase price and are the responsibility of the purchaser.

Final site grading is the responsibility of the purchaser and must be approved by the City of Saskatoon, Transportation & Utilities Department. The purchaser is also responsible for the topsoil, seeding, irrigating and maintenance of boulevards adjacent to their property to the edge of the sidewalk and between the sidewalk and the curb.

## Zoning

Purchasers are advised to consult with the Planning and Development Division at 306-975-2645 as to permissible uses and other details regarding the zoning.

## Easements

See attached map for easements. The purchaser is required to agree to grant the utility agencies any further easements, which may be required, at no cost.

## Environmental Condition

The properties are being sold "as is". A Phase 1 Environmental Assessment report will be supplied to the successful purchaser.

Any further subsurface environmental investigations to evaluate for soil conditions on the site will be at the purchasers own expense.



## Possession

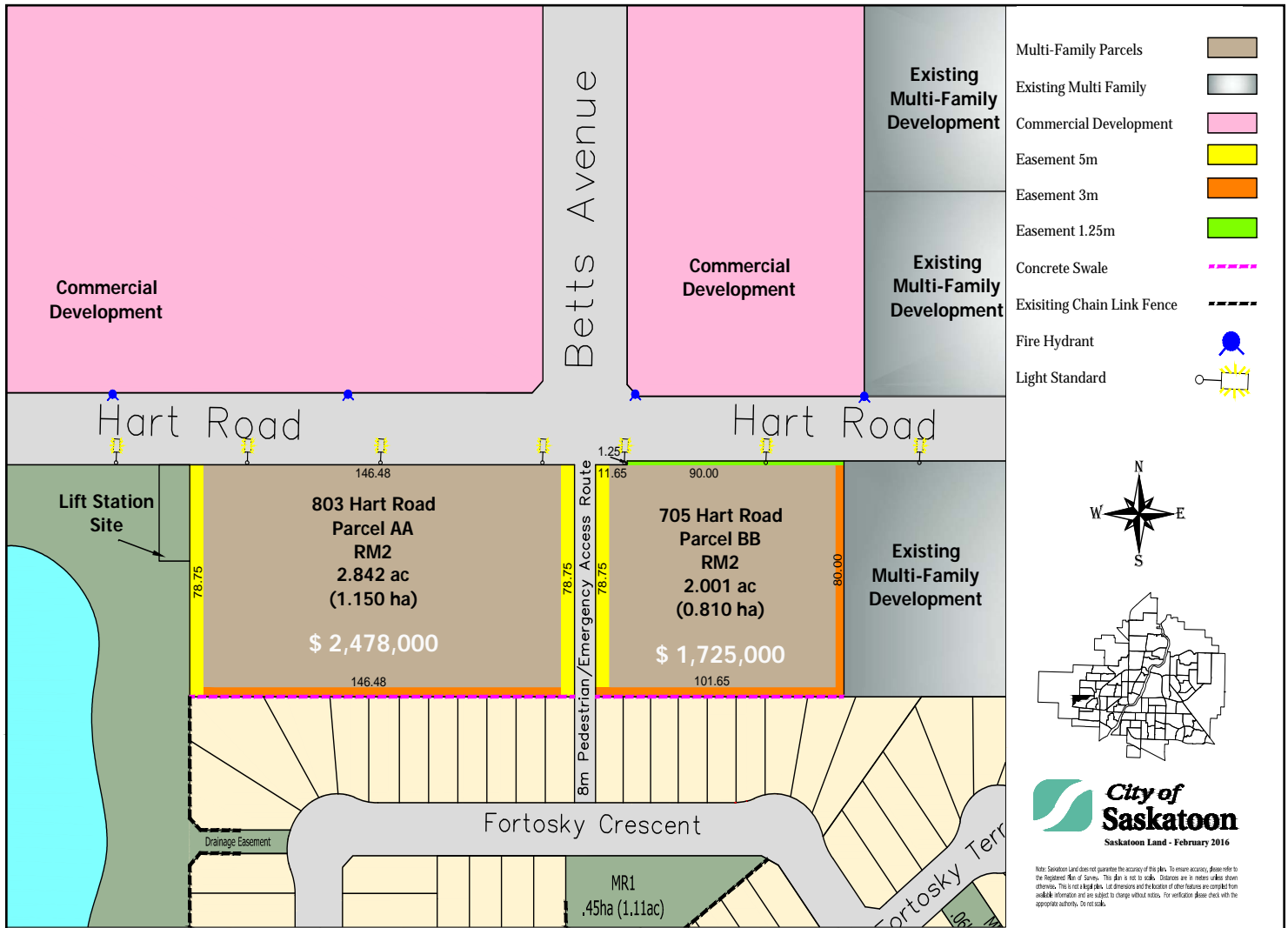
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1. On or before the possession date, the purchaser will deliver to the City of Saskatoon, Saskatoon Land the following:
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2. Property taxes will be adjusted at the possession date.
3. Purchaser is responsible for fees to transfer Title. The Purchaser must provide the name of their solicitor who will undertake to register the Transfer Authorization on their behalf. The City of Saskatoon will provide a Transfer Authorization to the purchaser's solicitor upon receipt of the balance of the purchase price.

# Sales Information Blairmore



# Blairmore Suburban Centre

## Multi-Family Land for Sale

Civic Address: 705 Hart Road

Zoning District: RM2

Legal Description: Parcel BB, Plan No. 102177862

Price: \$1,725,000

Site Area (ac): 2.001

Parcel Type: Group Townhouse



## Purchase Options

### SALE AGREEMENT:

- a) 10% non-refundable deposit is required.
- b) 18 week allowance for Architectural Evaluation Approval.
- c) Final Payment due within 30 days of Architectural Approval.

The purchaser will have up to 18 weeks to gain final approval for architectural plans for the site from Saskatoon Land. The first submission of plans must be received by Saskatoon Land within 8 weeks of the further payment. Final Payment is due 30 days from plan approval.

### OPTION TO PURCHASE AGREEMENT:

- a) 2% (plus GST) option will give prospective purchasers six months to determine if they wish to purchase a parcel. In the event an option is exercised within the option period, the option fee shall be credited to the purchase price of the lot. If the option is not exercised the option fee is forfeited.

- b) The option may be exercised by notice in writing and accompanied by a Further Payment sufficient to bring the total amount submitted to 10% of the purchase price. At this time, the Architectural Evaluation process begins.

The purchaser will have up to 18 weeks to gain final approval of architectural plans for the site from Saskatoon land. The first submission of plans must be received by Saskatoon Land within 8 weeks of the further payment. Final payment is due 30 days from plan approval.





## Architectural Controls

Building plans will be reviewed for consistency with Saskatoon Land's Architectural Controls for Multi-Unit Dwelling Districts available at:

[https://www.saskatoon.ca/sites/default/files/architectural\\_controls\\_for\\_multi-unit\\_dwelling\\_districts\\_2013.pdf](https://www.saskatoon.ca/sites/default/files/architectural_controls_for_multi-unit_dwelling_districts_2013.pdf)

The purchaser will not be able to apply for a building permit until receiving final approval from Saskatoon Land. Once the Architectural Evaluation is completed, the purchaser may apply for a Building Permit by providing the Building Standards Division with a copy of the Sale Agreement and building plans. These plans will be cross checked to the plans which were submitted to and approved by Saskatoon Land. If the builder makes changes to its plans following approval from Saskatoon Land, a second approval will be required in order to ensure that the design still meets all architectural controls.

The following information is required for the Architectural Evaluation:

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- 4) Building section of each building to scale indicating building height, roof slopes, and features; and
- 5) Specifications and colours for all exterior building materials of each building and for site development.

There will be no appeal process for purchasers who wish to challenge the decision of Saskatoon Land in its interpretation of the architectural controls.

*It should be noted that Saskatoon Land is acting solely as the land developer of the Blairmore Suburban Centre and in no capacity as the Municipal Approving Authority for the City of Saskatoon. Questions or interpretations regarding municipal regulatory requirements should be directed to the appropriate civic department(s).*

# Information

## Blairmore



## Services

The purchase price includes the sum required to prepay services. These services include curb, sidewalk, boulevard, street paving, street lighting, street signing, water mains, sanitary sewer mains, trunk sewer levies and primary water main levies. Services are provided adjacent to the site and are typically located in adjacent rights of way. Any costs associated with service connections or private crossings are not included in the purchase price and are the responsibility of the purchaser.

Final site grading is the responsibility of the purchaser and must be approved by the City of Saskatoon, Transportation & Utilities Department. The purchaser is also responsible for the topsoil, seeding, irrigating and maintenance of boulevards adjacent to their property to the edge of the sidewalk and between the sidewalk and the curb.

## Zoning

Purchasers are advised to consult with the Planning and Development Division at 306-975-2645 as to permissible uses and other details regarding the zoning.

## Easements

See attached map for easements. The purchaser is required to agree to grant the utility agencies any further easements, which may be required, at no cost.

## Environmental Condition

The properties are being sold "as is". A Phase 1 Environmental Assessment report will be supplied to the successful purchaser.

Any further subsurface environmental investigations to evaluate for soil conditions on the site will be at the purchasers own expense.



## Possession

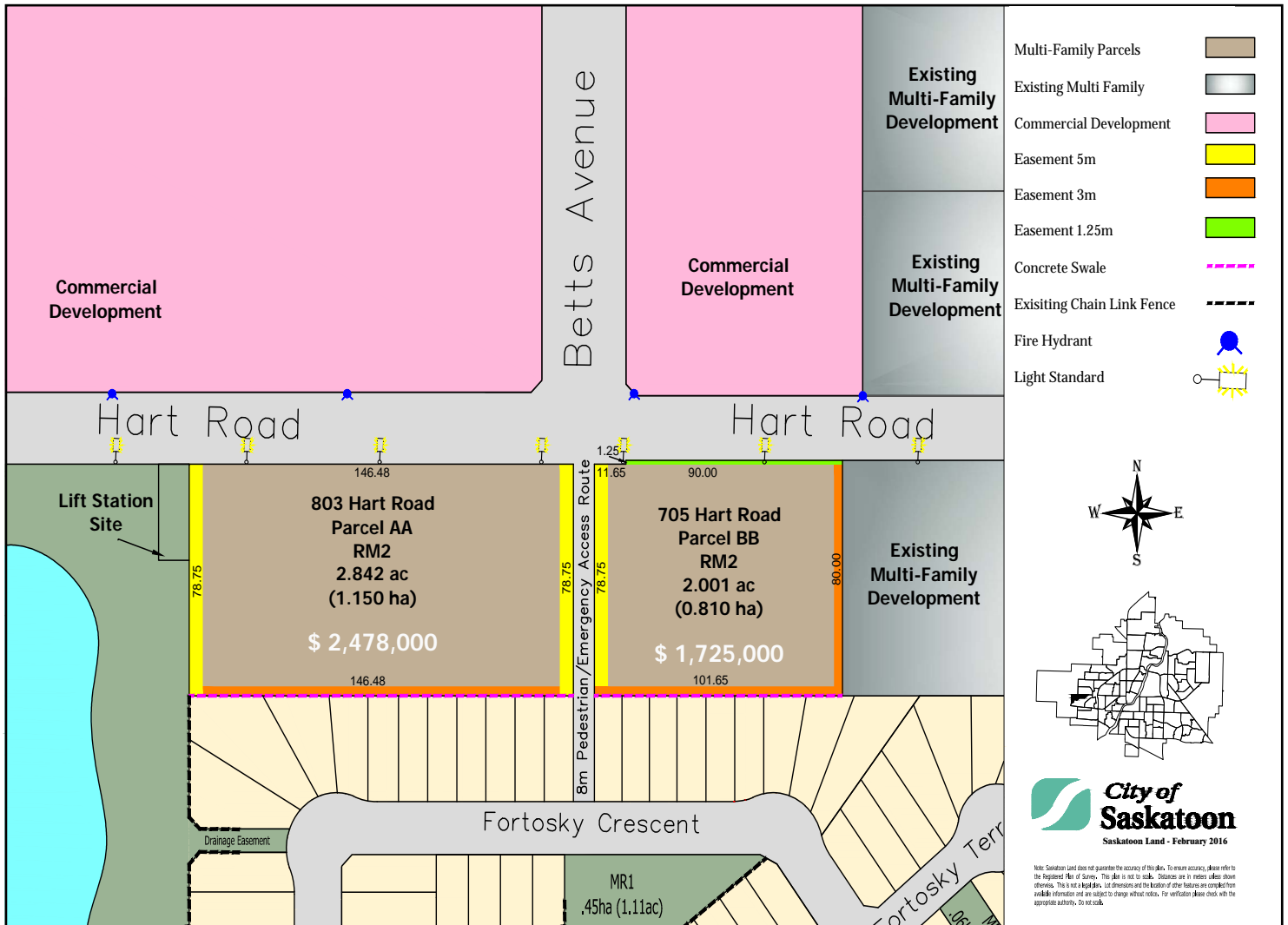
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The following outlines the conditions of possession:

1. On or before the possession date, the purchaser will deliver to the City of Saskatoon, Saskatoon Land the following:
  - a. A certified cheque, bank draft or solicitor's trust cheque for the balance of the purchase price;
  - b. A written statement acknowledging acceptance of the environmental condition of the property; and
  - c. Properly executed and sealed copies of the Sale Agreement.
2. Property taxes will be adjusted at the possession date.
3. Purchaser is responsible for fees to transfer Title. The Purchaser must provide the name of their solicitor who will undertake to register the Transfer Authorization on their behalf. The City of Saskatoon will provide a Transfer Authorization to the purchaser's solicitor upon receipt of the balance of the purchase price.

# Sales Information Blairmore





# Kensington

## Multi-Family Land for Sale

**Civic Address:** 855 Kensington Boulevard

**Zoning District:** RMTN

**Legal Description:** Parcel Y, Plan No. 102171732

**Price:** \$2,030,400

**Site Area (ac):** 1.85

**Site Type:** Street Townhouse



## Purchase Options

### **SALE AGREEMENT:**

- a) 10% non-refundable deposit is required.
- b) 18 week allowance for Architectural Evaluation Approval.
- c) Final Payment due within 30 days of Architectural Approval.

The purchaser will have up to 18 weeks to gain final approval for architectural plans for the site from Saskatoon Land. The first submission of plans must be received by Saskatoon Land within 8 weeks of the deposit. Final Payment is due 30 days from plan approval.

### **OPTION TO PURCHASE AGREEMENT:**

- a) 2% (plus GST) option will give prospective purchasers six months to determine if they wish to purchase a parcel. In the event an option is exercised within the option period, the option fee shall be credited to the purchase price of the lot. If the option is not exercised the option fee is forfeited.
- b) The option may be exercised by notice in writing and accompanied by a Further Payment sufficient to bring the total amount submitted to 10% of the purchase price. At this time, the Architectural Evaluation process begins.

The purchaser will have up to 18 weeks to gain final approval of architectural plans for the site from Saskatoon land. The first submission of plans must be received by Saskatoon Land within 8 weeks of the further payment. Final payment is due 30 days from plan approval.



## Architectural Controls

Building plans will be reviewed for consistency with Saskatoon Land's Architectural Controls for Multi-Unit Dwelling Districts available at:

[https://www.saskatoon.ca/sites/default/files/architectural\\_controls\\_for\\_multi-unit\\_dwelling\\_districts\\_2013.pdf](https://www.saskatoon.ca/sites/default/files/architectural_controls_for_multi-unit_dwelling_districts_2013.pdf)

The purchaser will not be able to apply for a building permit until receiving final approval from Saskatoon Land. Once the Architectural Evaluation is completed, the purchaser may apply for a Building Permit by providing the Building Standards Division with a copy of the Sale Agreement and building plans. These plans will be cross checked to the plans which were submitted to and approved by Saskatoon Land. If the builder makes changes to its plans following approval from Saskatoon Land, a second approval will be required in order to ensure that the design still meets all architectural controls.

The following information is required for the Architectural Evaluation:

- 1) A site plan to scale, showing buildings, roads, parking, loading, fences, and the landscaping concept;
- 2) Floor plans of all floors for each building to scale;
- 3) All exterior elevations of each building to scale indicating location of materials and colours;
- 4) Building section of each building to scale indicating building height, roof slopes, and features; and
- 5) Specifications and colours for all exterior building materials of each building and for site development.

There will be no appeal process for purchasers who wish to challenge the decision of Saskatoon Land in its interpretation of the architectural controls.

*It should be noted that Saskatoon Land is acting solely as the land developer of the Kensington Neighbourhood and in no capacity as the Municipal Approving Authority for the City of Saskatoon. Questions or interpretations regarding municipal regulatory requirements should be directed to the appropriate civic department(s).*



## Development Controls

The following development controls apply to Parcel Y.

- 1) All dwelling units must include a single wide garage with access from the rear lane only, constructed at the same time as the dwelling unit.
- 2) The garage shall be located at a minimum of 1.2 metres from the rear property line and include a paved apron that connects it to the rear property line.
- 3) Vinyl Siding is not permitted as an exterior building material on any of the elevations of any dwelling units.

## Zoning

Purchasers are advised to consult with the Planning and Development Division at 306-975-2645 as to permissible uses and other details regarding the zoning.

## Services

The purchase price includes the sum required to prepay services. These services include curb, sidewalk, boulevard, street paving, street lighting, street signing, water mains, sanitary sewer mains, trunk sewer levies and primary water main levies. Services are provided adjacent to the site and are typically located in adjacent rights of way. Any costs associated with service connections or private crossings are not included in the purchase price and are the responsibility of the purchaser.

Final site grading is the responsibility of the purchaser and must be approved by the City of Saskatoon, Transportation & Utilities Department. The purchaser is also responsible for the topsoil, seeding, irrigating and maintenance of boulevards adjacent to their property to the edge of the sidewalk and between the sidewalk and the curb.



## Possession

Possession of the site will not be granted until completion of the architectural evaluation.

The purchaser will be granted possession of the property after payment in full has been received. Payment in full must be secured no later than 30 days after architectural plans have been approved.

The following outlines the conditions of possession:

1. On or before the possession date, the purchaser will deliver to the City of Saskatoon, Saskatoon Land the following:
  - a. A certified cheque, bank draft or solicitor's trust cheque for the balance of the purchase price;
  - b. A written statement acknowledging acceptance of the environmental condition of the property; and
  - c. Properly executed and sealed copies of the Sale Agreement.
2. Property taxes will be adjusted at the possession date.
3. Purchaser is responsible for fees to transfer Title. The Purchaser must provide the name of their solicitor who will undertake to register the Transfer Authorization on their behalf. The City of Saskatoon will provide a Transfer Authorization to the purchaser's solicitor upon receipt of the balance of the purchase price.

## Easements

See attached map for easements. The purchaser is required to agree to grant the utility agencies any further easements, which may be required, at no cost.

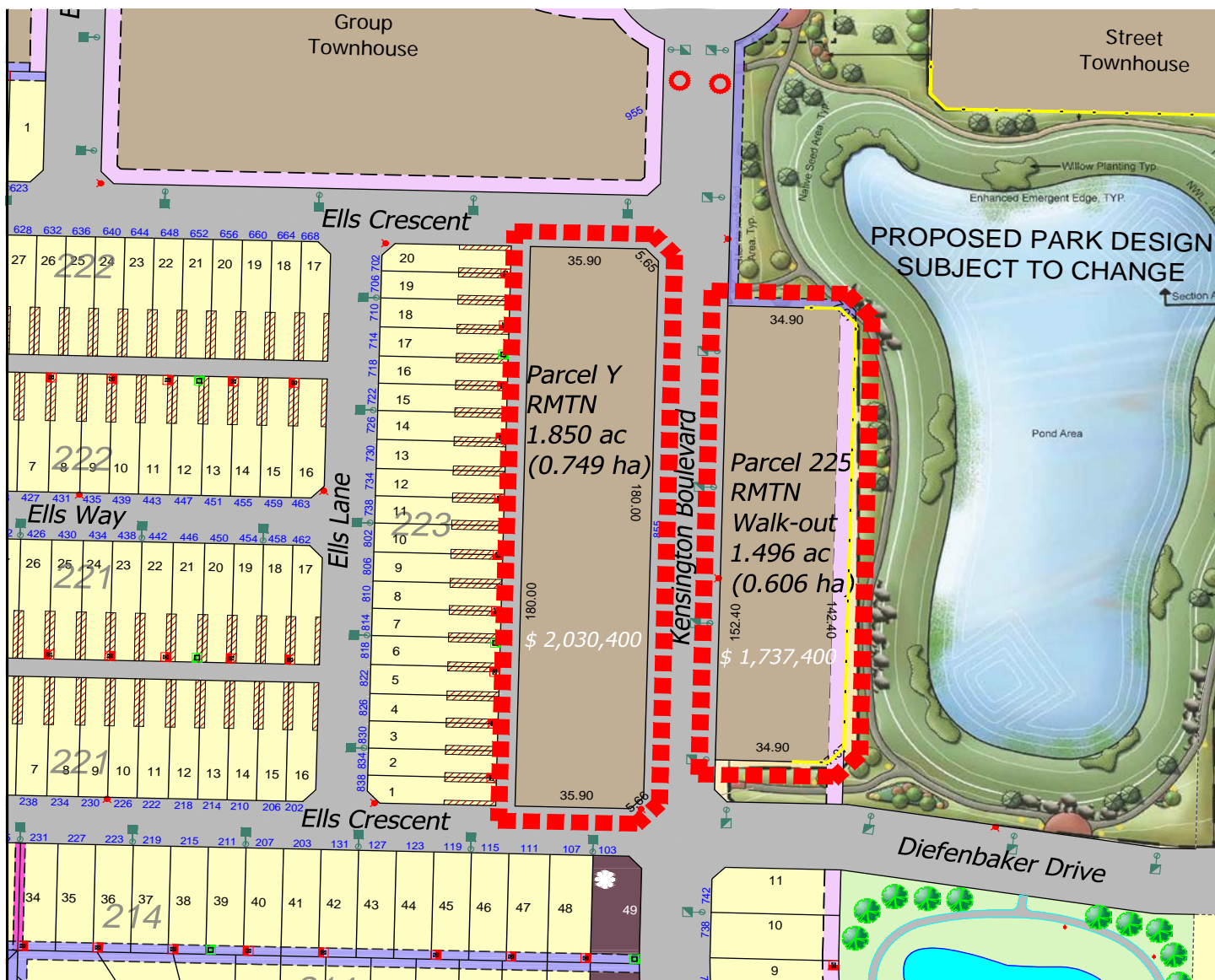
## Environmental Condition

The properties are being sold "as is". A Phase 1 Environmental Assessment report will be supplied to the successful purchaser. Any further subsurface environmental investigations to evaluate for soil conditions on the site will be at the purchasers own expense.



# Sales Information Kensington

[Click to return to first page](#)



### Legend

- |                       |                |
|-----------------------|----------------|
| Single Family         | Aluminum Fence |
| Multi-Family          | Civic Address  |
| Residential Care Home | Lot Number     |
| Park & Open Space     | Block Number   |
| Buffer/Berm           | Bus Stop       |
| Wet Pond              | Mail Box       |
| 1.5m Easement         | Fire Hydrant   |
| 3.0m Easement         |                |
| 5.0m Easement         |                |
| Utility Pedestal      |                |
| Transformer           |                |
| Light Standard        |                |



Note: Saskatoon Land does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Plan of Survey. This plan is not to scale. Distances are in meters unless shown otherwise. This is not a legal plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. For verification please check with the appropriate authority. Do not scale.



# Kensington

## Multi-Family Land for Sale

Civic Address: TBD

Zoning District: RMTN

Legal Description: Parcel 225, Plan No. 102171732

Price: \$1,737,400

Site Area (ac): 1.496

Site Type: Street Townhouse (walk-out style)



## Purchase Options

### SALE AGREEMENT:

- a) 10% non-refundable deposit is required.
- b) 18 week allowance for Architectural Evaluation Approval.
- c) Final Payment due within 30 days of Architectural Approval.

The purchaser will have up to 18 weeks to gain final approval for architectural plans for the site from Saskatoon Land. The first submission of plans must be received by Saskatoon Land within 8 weeks of the deposit. Final Payment is due 30 days from plan approval.

### OPTION TO PURCHASE AGREEMENT:

- a) 2% (plus GST) option will give prospective purchasers six months to determine if they wish to purchase a parcel. In the event an option is exercised within the option period, the option fee shall be credited to the purchase price of the lot. If the option is not exercised the option fee is forfeited.

b) The option may be exercised by notice in writing and accompanied by a Further Payment sufficient to bring the total amount submitted to 10% of the purchase price. At this time, the Architectural Evaluation process begins.

The purchaser will have up to 18 weeks to gain final approval of architectural plans for the site from Saskatoon land. The first submission of plans must be received by Saskatoon Land within 8 weeks of the further payment. Final payment is due 30 days from plan approval.



## Architectural Controls

Building plans will be reviewed for consistency with Saskatoon Land's Architectural Controls for Multi-Unit Dwelling Districts available at:

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The purchaser will not be able to apply for a building permit until receiving final approval from Saskatoon Land. Once the Architectural Evaluation is completed, the purchaser may apply for a Building Permit by providing the Building Standards Division with a copy of the Sale Agreement and building plans. These plans will be cross checked to the plans which were submitted to and approved by Saskatoon Land. If the builder makes changes to its plans following approval from Saskatoon Land, a second approval will be required in order to ensure that the design still meets all architectural controls.

The following information is required for the Architectural Evaluation:

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- 5) Specifications and colours for all exterior building materials of each building and for site development.

There will be no appeal process for purchasers who wish to challenge the decision of Saskatoon Land in its interpretation of the architectural controls.

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## Development Controls

The following development controls apply to Parcel 225.

- 1) All dwelling units must be constructed with a minimum single-wide attached garage. The garage must be constructed at the same time the dwelling is built.
- 2) Attached garages must be paired together when viewed from the street.
- 3) The garage doors of each dwelling unit shall have some decorative features, to be approved and evaluated by Saskatoon Land.
- 4) Vinyl Siding is not permitted as an exterior building material on any of the elevations of any dwelling units.

## Zoning

Purchasers are advised to consult with the Planning and Development Division at 306-975-2645 as to permissible uses and other details regarding the zoning.

## Services

The purchase price includes the sum required to prepay services. These services include curb, sidewalk, boulevard, street paving, street lighting, street signing, water mains, sanitary sewer mains, trunk sewer levies and primary water main levies. Services are provided adjacent to the site and are typically located in adjacent rights of way. Any costs associated with service connections or private crossings are not included in the purchase price and are the responsibility of the purchaser.

Final site grading is the responsibility of the purchaser and must be approved by the City of Saskatoon, Transportation & Utilities Department. The purchaser is also responsible for the topsoil, seeding, irrigating and maintenance of boulevards adjacent to their property to the edge of the sidewalk and between the sidewalk and the curb.

# Sales Information Kensington



## Possession

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## Easements

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## Environmental Condition

The properties are being sold "as is". A Phase 1 Environmental Assessment report will be supplied to the successful purchaser. Any further subsurface environmental investigations to evaluate for soil conditions on the site will be at the purchasers own expense.



**Legend**

- |                       |                |
|-----------------------|----------------|
| Single Family         | Aluminum Fence |
| Multi-Family          | Civic Address  |
| Residential Care Home | Lot Number     |
| Park & Open Space     | Block Number   |
| Buffer/Berm           | Bus Stop       |
| Wet Pond              | Mail Box       |
| 1.5m Easement         | Fire Hydrant   |
| 3.0m Easement         |                |
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| Utility Pedestal      |                |
| Transformer           |                |
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