

# EVERGREEN PHASE 8

## LOT INFORMATION PACKAGE



BALTZAN BOULEVARD, COVE, TERRACE & BAY  
BOYKOWICH CRESCENT, BEND & STREET  
MARLATTE CRESCENT, STREET & LANE

CITY OF SASKATOON  
201 3RD AVENUE NORTH  
SASKATOON SK S7K 2H7  
WWW.SASKATOON.CA



# EVERGREEN

# EVERGREEN ENVIRONMENTAL INCENTIVES

The Land Branch is offering the following incentives to home builders and individuals to promote environmentally sustainable building and household practices:

1



To promote more energy efficient homes, a \$500 administrative cost rebate will be offered to home builders and individuals for homes that are certified through the ENERGY STAR® Qualified program, the Energuide for New Homes 80 (EGNH80) program, R2000 or the LEED Canada for homes program.



To promote sustainable organic waste practices one composter will be offered per lot.

2



## EVERGREEN

To promote reduced potable water use, one rainwater collection barrel will be offered per lot.

4



3

To promote sustainable landscaping practises, two Saskatoon Berry bushes will be offered per lot.



To promote and showcase more energy efficient homes, the Show Home Policy for home building contractors has been modified to include only those homes that are certified through the ENERGY STAR Qualified program, the Energuide for new Home 80 (EGNH80) program or the LEED Canada for Homes program.

At the time that the lot is paid in full and the Title is transferred, individuals may pick up the coupons allotted to their lot at the Land Branch office. Eligible Contractors who purchased lots will identify to the Land Branch the name of the new home owner who will then be authorized to pick up the coupons allotted to their specific lot.

*Images shown are for example only. Actual merchandise may differ from image above.*

# TABLE OF CONTENTS



<b>Terms of Sale</b>	<b>2</b>
<b>Development Controls (BRCs)</b>	<b>4</b>
Attached Garage Placement	9
Corner Garage Placement	9
<b>Evergreen General Information</b>	<b>9</b>
Community Garden Spaces	9
Multi-Family Sites	10
Green Bridge	10
District Park & Secondary Core Park	11
District Village	11
Community Centre & Possible School Sites	11
Transit Stops	12
Pre-designated Residential Care Home Sites	12
Zoning	12
<b>Lot Grading</b>	<b>12</b>
Lot Grade Details	13
Grading Between Lots	13
Lot Grading Do's & Don'ts	14
Lot Grading – Walkout Basement Lot	14
<b>Foundation Drainage</b>	<b>15</b>
Concrete Storm Water Drainage Swale	15
Foundation Drainage (Weeping Tile) Requirements	16
Discharge of Foundation Drainage Water	16
Sump Design Criteria	16
Installation of Filter Sock	19
<b>Fencing</b>	<b>19</b>
Decorative Aluminum Fence	19
Agriculture Canada Fence	19
<b>Construction Notes</b>	<b>21</b>
Starting Construction	21
Laned Lot Information	21
Landscaping of City Boulevards	21
Buffer Landscaping East of Marlatte Crescent	21
Boulevard Tree Planting	21
Sidewalk Irrigation Sleeve	22
Earth Disposal	23
Disclosure of Adjacent Property Owners	23
Topsoil for Lot Landscaping	23
Construction Waste	23
Temporary Water Circulation Boxes	24

## **Construction Notes Continued**

Power	24
138KV Overhead Power Line	24
Underground Electrical Service Requirements	24
SaskEnergy Information	27
<b>Other Information</b>	<b>28</b>












## **LIST OF FIGURES**



<b>Figure 1:</b> Corner Garage Placement	9
<b>Figure 2:</b> Rendering of Green Bridge	10
<b>Figure 3:</b> Elevation View of Rendering of Green Bridge	11
<b>Figure 4:</b> Sump Design	18
<b>Figure 5:</b> Decorative Fence Details	20
<b>Figure 6:</b> Separate Sidewalk Irrigation Sleeve	22
<b>Figure 7:</b> Typical Underground Electrical Service for New Residences	27

## **LIST OF ATTACHMENTS**



 Drainage Information	
Individual Lot Grade Types	
Lot Grade Details	
 Cut and Fill Contours	
 Design Contours	
 Plan of Survey & Feature Plan	
Baltzan	
Plan No. 102137633	
Feature Plan No. 102137789	
Feature Plan No. 102137969	
Boykowich	
Plan No. 102146891	
Feature Plan No. 102148488	
Marlatte	
Plan No. 102145159	
Feature Plan No. 113677596	
 Concrete Swale Drainage	
 Typical Servicing from Lane	
 Letter from SaskEnergy	
 Letter from Agriculture Canada	
 Zoning Map	
 Neighbourhood Concept Plan Map	
 Lot Information Map	

# TERMS OF SALE



## **THE CITY OF SASKATOON SELLS RESIDENTIAL LOTS TO:**

- individuals who have not purchased a lot from the City of Saskatoon within the last three years and who are purchasing a lot for the construction of their own personal residence; and
- home builders who are currently on the Eligible Contractor list.

## **DOWN PAYMENT**

At the time of lot selection, an Agreement for Sale will be entered into with a minimum down payment required of 13 percent of the total price of the lot plus GST on the price of the lot (less the \$3,000 deposit during lot draw process).

## **INTEREST**

The interest rate will be set as the prime rate of interest on the date of the Agreement for Sale. Interest will be charged on the unpaid balance starting on the possession date, whether immediate or delayed. If an extension to the eight month term is required and granted, the interest rate would be five percent above the rate established in the Agreement for Sale.

## **POSSESSION OF LAND**

**Please note that all the lots will be sold with a delayed possession date of July 31, 2014.**

Please be advised that the projected completion date noted above is weather dependent and subject to change. Saskatoon Land will provide lot purchasers three week's notice of servicing completion and subsequent possession. Building Permit plan review may take place before possession; however, no permits will be issued until possession is granted by Saskatoon Land. Interest charges, property taxes and the eight month period to pay off the lot will not begin until the possession date.

## **PAYING THE BALANCE**

The full balance (principal plus interest) is due within eight months time from the latter of the Agreement for Sale date or the possession date. The balance may be paid early with interest charged to and including the payout date.

## **BUILDING TIME REQUIREMENT**

All lots purchased have a three-year time requirement to complete construction. Construction may begin once possession of the lot is granted, utility servicing is complete and the roadways are at gravel base. The build requirement will commence from the date of possession. Construction includes final building inspection and completion of all deficiencies within this three-year time frame; if it is not met, no forgiveness of the mortgage will be granted. Contractors not meeting this requirement may be removed from the Eligible Contractors list.



**RESIDENCY REQUIREMENT FOR INDIVIDUALS WHO PURCHASED A LOT FROM THE CITY LAND BRANCH**

Lots purchased have a four-year residency requirement. The four-year period begins the same day Title is transferred into the purchaser(s) name. The original purchaser(s) name must remain on Title to maintain the four-year requirement.

**FORGIVABLE MORTGAGE**

A Forgivable Mortgage for \$50,000, related to the build time and residency requirements held by the City of Saskatoon, will be registered against each lot sold to an Individual. Should the dwelling be completed within the required three years from the date of possession, the mortgage will be forgiven on a monthly basis over the final three years of the four-year residency period starting from the day Title is transferred into the individual purchaser(s) name. No forgiveness will be granted if the dwelling is not completed within three years from the date of possession. Completion of the dwelling requires obtaining a completed Final Building Inspection with no deficiencies.

**ELIGIBLE CONTRACTORS**

Lots are not to be resold. Builders are purchasing City lots to construct homes for potential homebuyers. If a lot is no longer required, please review the Cancellation Policy.

**TAXES**

Property taxes become the responsibility of the purchaser(s) effective the first of the month following the latter of the date of the Agreement for Sale or the possession date on lots waiting for service completion. For an estimate of the taxes on the land only, please call the Assessment Branch at 306-975-3227.

**TRANSFER OF TITLE**

The Transfer of Title will be issued in one of the following ways:

- under appropriate trust conditions, the Transfer will be forwarded to the purchaser's solicitor; or
- upon receipt of payment in full, the Transfer will be forwarded to the purchaser's solicitor.

**DEFAULT OR VOLUNTARY CANCELLATION**

An Agreement for Sale is defaulted when any of the terms are not met within the time of the agreement. In the event of cancellation or default, a \$500 processing fee is charged plus a restocking fee for the time the purchaser has held the lot. The restocking fee is one percent of the purchase price of the lot plus GST, multiplied by the number of months (no charge for first 30 days) which have elapsed between the date of the Agreement for Sale and the date of the Quit Claim. The restocking fee is deducted from monies paid (i.e. down payment) and any remaining portion is refunded. Voluntary cancellation cannot occur once construction has begun or Title has been transferred into the purchaser(s) name.

## DEVELOPMENT CONTROLS (BRC'S)



It is important to build homes that are appropriate for the size and grade of the lot. There are a variety of lot types in Evergreen, which will need to be designed for accordingly. Each of the lot types has their own development controls which are registered on each individual land title.

### **Baltzan Bay, Cove, Terrace, Boykovich Crescent, Street**

The following development controls pertain to larger lots:

Plan 102137633, Block 668, Lots 1 to 25  
 Plan 102146891, Block 670, Lots 15 to 25  
 Plan 102146891, Block 671, Lots 1 to 20  
 Plan 102146891, Block 672, Lots 6 to 17  
 Plan 102146891, Block 674, Lots 22 to 35

- a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:
  - i. 1,200 square feet in the case of a bungalow, bi-level or split-level dwelling;
  - ii. 1,500 square feet in the case of a two-storey dwelling;
- b) All dwellings must be constructed with a minimum double-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 5.4 metres wide and 6.0 metres long;
- c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch; and
- d) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. Masonry application must be a minimum of 100 square feet in area, and where the masonry application meets a building corner, it must be returned 24 inches around the building corner.

### **Baltzan Boulevard**

The following development controls pertain to standard lots fronting onto Baltzan Boulevard:

Plan 102137633, Block 669, Lots 1 to 21

- a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:

- i. 1,000 square feet in the case of a bungalow, bi-level or split-level dwelling;
  - ii. 1,200 square feet in the case of a two-storey dwelling;
- b) All dwellings must be constructed with a minimum single-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 3.5 metres wide and 6.0 metres long;
- c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch;
- d) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. Masonry application must be a minimum of 100 square feet in area, and where the masonry application meets a building corner, it must be returned 24 inches around the building corner; and
- e) Garages shall not protrude more than 2.4 metres (8 feet) from the façade of any habitable floor area of the dwelling;

## Boykowich Crescent

The following development controls pertain to larger lots fronting onto Boykowich Crescent and are graded for Walkout Units:

Plan 102146891, Block 672, Lots 1 to 5

Plan 102146891, Block 673, Lots 1 to 7

- a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:
- i. 1,200 square feet in the case of a bungalow, bi-level or split-level dwelling;
  - ii. 1,500 square feet in the case of a two-storey dwelling.
- b) All dwellings must be constructed with a minimum double-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 5.4 metres wide and 6.0 metres long;
- c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch;
- d) Brick, stone or manufactured stone, requiring a masonry application will be required on the front elevation of all dwellings. Masonry application must be a minimum of 100 square feet in area, and where the masonry application meets a building corner, it must be returned 24 inches around the building corner; and
- e) All dwellings shall be constructed with direct access from the basement level to the backyard ("walkout units").



## Boykowich Bend

The following development controls pertain to standard lots:

Plan 102137633, Block 669, Lots 22 to 43

Plan 102137633, Block 670, Lots 1 to 14

- a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:
  - i. 1,000 square feet in the case of a bungalow, bi-level or split-level dwelling;
  - ii. 1,200 square feet in the case of a two-storey dwelling;
- b) All dwellings must be constructed with a minimum single-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 3.5 metres wide and 6.0 metres long; and
- c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch; and
- d) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. Masonry application must be a minimum of 100 square feet in area, and where the masonry application meets a building corner, it must be returned 24 inches around the building corner.

## Boykowich Street, Marlatte Lane, Crescent, Street

The following development controls pertain to smaller lots zoned R1B with rear lanes:

Plan 102146891, Block 669, Lots 44 to 62

Plan 102146891, Block 674, Lots 1 to 21

Plan 102145159, Block 675, Lots 1 to 38

Plan 102145159, Block 676, Lots 1 to 19

- a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:
  - i. 1,000 square feet in the case of a bungalow or bi-level;
  - ii. 1,200 square feet in the case of a two-storey dwelling;
- b) All dwelling units shall be bungalows, raised bungalows, bi-levels, or two storeys. Split-level dwellings are not permitted;
- c) All dwellings must be constructed with a concrete garage pad with access from the rear lane only. The concrete garage pad must be constructed at the same time the dwelling is built with a minimum dimension of 6 metres wide and 6 metres long. The concrete pad shall be located at a minimum of 1.2 metres from the rear property line, and include a paved apron that connects it to the property line;

- d) All dwellings shall be constructed with covered front verandas. The minimum width of the front veranda for bungalows and bi-levels shall be half the width of the house facade. Two storey dwellings shall have front verandas across the entire width of the house facade. Verandas shall be partially enclosed with railings and spindles or other type of partial enclosure;
- e) The roof of the principal dwelling shall have a minimum 6-in-12 pitch; and
- f) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. The masonry application on each building must be the equivalent of a minimum of 100 square feet in area and where the masonry application meets a building corner, it must be returned 24 inches around the corner.

## **Marlatte Lane**

The following development controls pertain to smaller lots zoned R1B with rear lanes and no roof slope requirement:

Plan 102145159, Block 676, Lots 20 to 38

Plan 102145159, Block 677, Lots 1 to 19

- a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:
  - i. 1,000 square feet in the case of a bungalow or bi-level;
  - ii. 1,200 square feet in the case of a two-storey dwelling;
- b) All dwelling units shall be bungalows, raised bungalows, bi-levels, or two storeys. Split-level dwellings are not permitted;
- c) All dwellings must be constructed with a concrete garage pad with access from the rear lane only. The concrete garage pad must be constructed at the same time the dwelling is built with a minimum dimension of 6 metres wide and 6 metres long. The concrete pad shall be located at a minimum of 1.2 metres from the rear property line, and include a paved apron that connects it to the property line;
- d) All dwellings shall be constructed with covered front verandas. The minimum width of the front veranda for bungalows and bi-levels shall be half the width of the house facade. Two storey dwellings shall have front verandas across the entire width of the house facade. Verandas shall be partially enclosed with railings and spindles or other type of partial enclosure; and
- e) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. The masonry application on each building must be the equivalent of a minimum of 100 square feet in area and where the masonry application meets a building corner, it must be returned 24 inches around the corner.

## Marlatte Crescent

The following development controls pertain to smaller lots zoned R1B:

Plan 102145159, Block 678, Lots 1 to 14

- a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:
  - i. 1,000 square feet in the case of a bungalow, bi-level or split-level dwelling;
  - ii. 1,200 square feet in the case of a two-storey dwelling;
- b) All dwellings must be constructed with a minimum single-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 3.5 metres wide and 6.0 metres long;
- c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch; and
- d) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. Masonry application must be a minimum of 100 square feet in area, and where the masonry application meets a building corner, it must be returned 24 inches around the building corner.

## Marlatte Crescent

The following development controls pertain to smaller lots zoned R1B with no roof slope requirement:

Plan 102145159, Block 678, Lots 15 to 28

- a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:
  - a. 1,000 square feet in the case of a bungalow, bi-level or split-level dwelling;
  - b. 1,200 square feet in the case of a two-storey dwelling;
- b) All dwellings must be constructed with a minimum single-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 3.5 metres wide and 6.0 metres long; and
- c) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. Masonry application must be a minimum of 100 square feet in area, and where the masonry application meets a building corner, it must be returned 24 inches around the building corner.

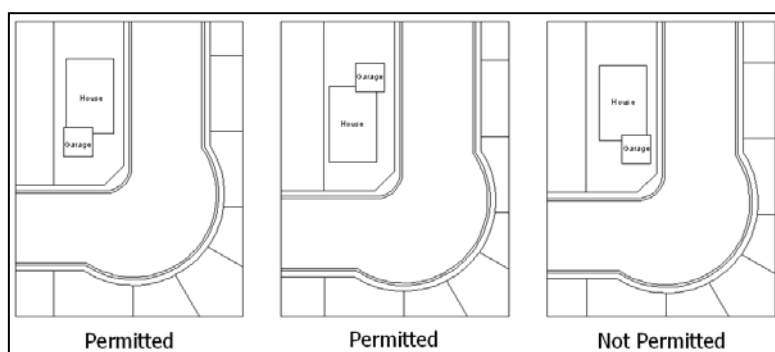
### **ATTACHED GARAGE PLACEMENT**

In addition to the controls noted above, for lots that require the construction of an attached garage, a separate interest will be registered against the title of each single-family lot indicating which side of the lot the garage must be placed against. The intent of this control is to pair garages together against a common property line in order to provide a better streetscape appearance. The garage side placements are shown in the attached Lot Information Map.

### **CORNER GARAGE PLACEMENT**

All corner lots that require an attached garage have the following caveat registered on title: *The garage must be located on the side of the property that is furthest from the intersection.*

Figure 1 on the previous page demonstrates the permitted options for the placement of an attached garage on a corner lot.



**FIGURE 1: CORNER LOT PERMITTED GARAGE PLACEMENT**

**Although the development controls for each respective lot are listed below in this Lot Information Package, please review the development controls listed in your “Agreement for Sale” prior to initialling the section.** This will help to ensure that your understanding of the development controls as listed in the Lot Information Package is in agreement with the development controls as listed in your “Agreement for Sale”.

Please be advised that if the dwelling is constructed in violation of the Development Controls set out in the Sales Agreement and **as registered on Title as a Building Restrictive Covenant**, the City may take legal action to require compliance. **Issuance of a Building Permit will not absolve the Purchaser from meeting this requirement.** Such action could result in the demolition or partial demolition of the building at the expense of the Purchaser.

## EVERGREEN GENERAL INFORMATION



### **COMMUNITY GARDEN SPACES**

Throughout the development of Evergreen, specific areas within parks and open spaces will be identified and landscaped in order to facilitate the establishment of community gardens.

If the neighbourhood residents, as represented by the community association, decide to incorporate community gardens into the neighbourhood, these areas will be available for that purpose.

### **MULTI-FAMILY SITES**

Dwelling Group Townhousing sites:

- Parcel II, and Parcel JJ, on Baltzan Boulevard
- Parcel KK, Parcel NN, Parcel PP on Ahktar Bend
- Parcel VV, on Marlatte Crescent
- Parcel RR, on Horner Crescent

Street Townhousing Sites:

- Parcel QQ, on Marlatte Crescent

Apartment-Style sites:

- Parcel MM, Parcel LL, and Parcel OO on Ahktar Bend

These sites will be subject to the Architectural Guidelines contained in the “Architectural Controls for Multiple-Unit Dwelling Districts” document which may be viewed on our website ([www.saskatoon.ca](http://www.saskatoon.ca)), search under “L” for Land.

### **GREEN BRIDGE – McORMOND DRIVE PEDESTRIAN OVERPASS**

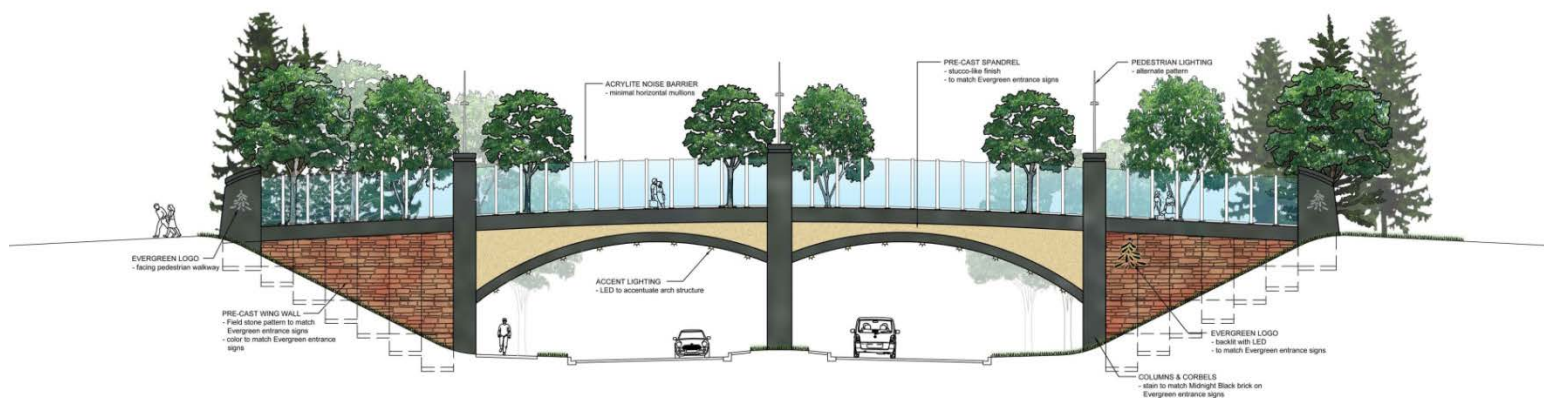
Rather than a tunnel or a traditional narrow and caged pedestrian overpass over McOrmond Drive, a pedestrian “Green Bridge” is being constructed and will function as a continuation of the linear park trail system. This structure will gently rise over McOrmond Drive linking the east and the west linear park trail systems. This bridge is an important amenity for the neighbourhood and is one of the key sustainability features that will promote safe pedestrian connectivity. The pedestrian green bridge’s landscaping will continue the linear park’s landscaping scheme, creating a pleasant pedestrian experience while providing an open and safe route connecting both sides of the neighbourhood. The Green Bridge is currently under construction as is scheduled to be completed by August 2015.



**FIGURE 2: RENDERING OF GREEN BRIDGE**

The following lots are adjacent to the linear park that connects to the Green Bridge:

- Lots 1 - 6, Block 672, Plan 102146891
- Lots 1 - 7, Block 673, Plan 102146891



**FIGURE 3: ELEVATION VIEW RENDERING OF GREEN BRIDGE**

### **DISTRICT PARK & SECONDARY CORE PARK**

This District Park, which will provide City-wide adult sport facilities, is located near the McOrmond Drive arterial road and fronts onto Baltzan Boulevard at the neighbourhood entrance. This is the best location for the following reasons: it provides the best visibility and access for user groups; it will have minimal negative impact on the neighbourhood setting by the outside user groups; and by connecting to the linear park system, it provides good integration into the neighbourhood park system to enhance usability by neighbourhood residents. The design of the District Park is planned to take place in 2015 with construction beginning in 2016.

The Secondary Core Park creates an additional programmed open space for the east half of the Evergreen neighbourhood. It is connected to the west half of Evergreen via the linear park and Green Bridge spanning McOrmond Drive. The design of the Secondary Core Park is planned to take place in 2015 with construction beginning in 2016.

### **DISTRICT VILLAGE**

The Evergreen District Village is a high-density mixed-use development located just north of this phase. A District Village is as a commercial, institutional and medium to high-density housing area that serves several neighbourhoods within the University Heights Suburban Development Area. Saskatoon Land envisions a grand boulevard entryway at the northernmost intersection of McOrmond Drive and Baltzan Boulevard, creating an urban village interface with the collector street similar to the Village Centre around the Village Square. This will maintain a pleasant streetscape in a high intensity land use area.

### **COMMUNITY CENTRE & POSSIBLE SCHOOL SITES**

The future neighbourhood community centre and possible school sites are located just off the core park, at the intersection of Manek Road & Evergreen Boulevard. The community centre will either stand alone, be integrated with one elementary school, or be integrated with both elementary schools. The Ministry of Education and local school boards will decide whether schools are built and, if so, on the eventual configuration of the site.

The Community Centre & Possible Schools Sites are accessible by cyclists and pedestrians via the use of the Green Bridge, a landscaped pedestrian corridor that seamlessly connects the east half of Evergreen to the Core Park and possible community centre & school sites.

### **TRANSIT STOPS**

Transit stops are located at the south intersection of Baltzan Boulevard and Boykowich Crescent, and directly east of the Secondary Core Park along Baltzan Boulevard. Additional transit stops may be located along the upper leg of Baltzan Boulevard, in the District Village.

### **RESIDENTIAL CARE HOMES – TYPE II, PRE-SCHOOLS AND DISCRETIONARY CHILD CARE CENTRES**

Sites within the Evergreen neighbourhood have been pre-designated for development as Residential Care Homes - Type II, Pre-Schools, and Child Care Centres. A Residential Care Home – Type II is a care home in which the number of residents under care is more than five, and no more than fifteen. A Discretionary Child Care Centre is a child care facility having more than eight resident and non-resident children. A Pre-School is a facility which provides a part-time program for pre-school aged children. The locations of sites for these uses have been spread throughout the neighbourhood and among various phases of development. In general, these locations are adjacent to collector streets on corner lots in order to provide access to transit service, and to mitigate any potential parking conflicts. Pre-designated lots will be offered for sale separately by tender as potential Residential Care Homes – Type II, Pre-Schools, and Child Care Centres. If not purchased for these uses, the subject lots will be returned to inventory and sold as typical single-unit lots. **Residential Care Home lots are located at 203 and 207 Baltzan Boulevard and 470 and 474 Boykowich Street.**

### **ZONING**

A zoning map for Evergreen has been included. If you require more information on zoning, please visit ([www.saskatoon.ca](http://www.saskatoon.ca)) and search under “Z” for zoning, or contact the Planning and Development Branch at 306-975-2645.

## LOT GRADING



Lot grading is the sloping of the lot in order to provide good drainage away from buildings in such a way that surface runoff from rainstorms or snowmelt is directed toward the storm sewer. Runoff is controlled through the use of side and back of lot swales to eliminate or minimize the impact on adjacent properties and to ensure proper overland drainage.

Maintaining the pre-designed overland drainage pattern is the responsibility of each property owner. Any deviation from the pre-designed drainage pattern resulting in drainage issues is not the responsibility of Saskatoon Land and shall be resolved between the affected parties.

The following information has been prepared to assist the homeowner, builder and contractor in setting the house elevations and final lot grades.

### **LOT GRADE DETAILS**

Lot grade details are shown on the following sets of drawings in the Lot Grade Information Package:

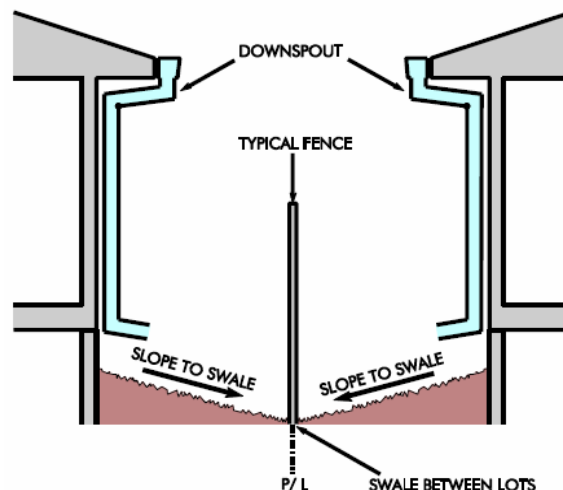
- 1) Individual Lot Grade Drawings – show the final design elevations at property corners and at other points that are deemed critical elevation points. It is important that builders and homeowners match these grades with final landscape elevations. These elevations are required as a minimum for building plan approval.
- 2) Drawings that show the following:
  - a. typical lot grading types (A, D, C, & E) of which each respective drawing includes a three-dimensional view and a side view of the grading type,
  - b. typical transitional situations between lot grading types (A/D, D/C, & D/E) of which each respective drawing includes a three-dimensional view of the different transitional situation between lot grading types and a plan view of the same.
- 3) A drawing showing a cross section of a typical side yard fence and side yard grading that will not impede side yard drainage.

During the initial stages of subdivision development all streets, easements, lanes, and walkways are pre-graded to design elevations set to accommodate drainage throughout the area. In the case of the utility easements, the grade is constructed approximately 100mm (4inches) below the final design grade, which allows the homeowner to add topsoil without creating drainage problems for neighbouring yards.

Once house construction is complete lot grading is a two-step procedure. The first step is the rough grade stage, which includes backfilling the foundation walls and shaping the lot to conform to the pre-grade drainage plan. When rough grading is complete the lot should be within 7 to 20cm below the final design grade to allow for the addition of topsoil. Once the lot is at the final design grade sod, decorative rock, wood chips, or other surface treatments can be installed. **It is strongly recommended that lot owners consult a legal surveyor or other qualified professional to set the final grade elevations before landscaping is started.**

### **GRADING BETWEEN LOTS**

A sloped surface is required to effectively drain water away from the foundation walls, including under steps and decks in order to reduce the risk of water entering the basement during rainfalls or snowmelt. Drainage swales are shallow sloped channels intended to move surface runoff away from lots toward the storm sewers. Drainage swales are located on common property lines and graded in accordance with the drainage plan for the affected lots as shown on the lot type drawings





included in this package. If decorative rock or wood chips are to be used in the swale the grade below this treatment must be at the final grade elevation to facilitate proper runoff to the storm sewer.

### **LOT GRADING DO'S AND DON'TS**

#### **Do's:**

1. Do require construction plans to include finished grade elevations around the house foundation and along property lines. **Do not leave your house and site grading to chance.** Building Standards Branch requires the submission of the lot corner elevations on the site plan submitted for building permit approval. It is strongly recommended that the plans also include finished elevations along the foundation and garage grade beam, garage slab, foundation windows, side property lines, edge of driveways and sidewalks (particularly along the side of the house), and the top and bottom of any retaining feature.
2. Do use a level to set the finished grades along the property line, particularly before installing sidewalks and fencing.
3. Please **disregard** any grade information displayed on electrical pedestals and transformer boxes.
4. Do discuss with adjacent property owners final drainage grades along the property line. Proper lot drainage requires cooperation of adjacent homeowners.
5. Do undertake a final site inspection of easements, side yard and sidewalks with each sub-trade prior to releasing final payment.

#### **DON'TS:**

1. Don't excavate into the easement or berm. These contain critical utilities vital to the neighbourhood.
2. Don't fill the rear drainage easements, as this will block the intended drainage.
3. Don't build raised flowerbeds against the fence/property lines without making provisions for drainage (see attached plans).
4. Don't try to build HIGHER than both adjacent neighbours. This leads to expensive provisions for retaining walls, and potential flooding of neighbouring properties.

For more information please contact Gerald Prefontaine, Drainage Inspector, Infrastructure Services at 306-975-2320.

### **Lot Grading – Walkout Basement Lots**

Lots 1 – 7, Block 673, Plan 102146891

Lots 1 – 5, Block 672, Plan 102146891

The above noted lots have been graded to accommodate the inclusion of a walkout basement into the design of the home. Whether or not a particular lot will support the inclusion of a walkout basement depends on the slope of the lot, the final foundation elevation and the home design characteristics. While some lots will accommodate walkout basements, others will not. In between these areas is a transitional area where the back lot grade slopes successively on each lot until walkout basements can be accommodated. The

grading design for this area is shown on the Final Design Contour plans attached to this package of information. It is very important to review these plans to determine how your lot has been designed to slope. If there are any questions about this information, they should be directed to Saskatoon Land at 306-975-3278. The Lot Grade Sheets also provide important information indicating the specific elevations that must be maintained along the front and rear property lines. Lots identified on the map as Walkout Basement Lots (“W”) are subject to the Building Restriction Caveat stating “All dwellings shall be constructed with direct access from the basement level to the backyard (“walkout unit”). Walkout basements must be constructed on these lots. Lots not identified with the “W” may or may not support walkout basements. The decision to build a walkout on these lots is up to the purchaser. It is strongly recommended that all purchasers discuss their plans to develop their homes with adjacent property owners to ensure that final grades between the houses will meet both owners’ needs. Retaining walls or other means may be necessary if significant grade changes occur between finished homes. The responsibility of the cost of the retaining walls or other associated work shall be resolved by the affected property owners. Saskatoon Land will accept no responsibility in this regard.

## FOUNDATION DRAINAGE



### **Concrete Storm Water Drainage Swale**

A concrete storm water drainage swale will be constructed along the back of the following lots in Block 668 on Baltzan Cove, Terrace and Bay: 3 to 6, 11 to 14, and 19 to 22. This 1 metre wide concrete drainage swale is part of a 3m registered drainage easement. The south edge of the concrete drainage swale begins at the bottom of a drainage slope, 2 metres inside the rear property line.

This concrete storm water drainage swale is an integral component of the drainage system for the lots within this immediate area. Lot owners need to ensure that this concrete swale is never blocked. Please take extra precautions during landscaping and fence construction to ensure that you do not cause storm water flooding - **do not block the concrete storm water drainage swale.**

The concrete swale has been constructed. Please ensure the grades within the 3 metre easement are not disturbed and construction materials are not stored in this location. Any costs to regrade the 3 metre drainage easement or to remove construction materials from the easement will be charged to the lot owner.

### **FOUNDATION DRAINAGE (WEEPING TILE) REQUIREMENTS**

1. The bottom of every exterior foundation wall shall be drained as per the National Building Code.
2. Connection of foundation drains of all buildings to the sanitary sewer collection system will not be permitted,

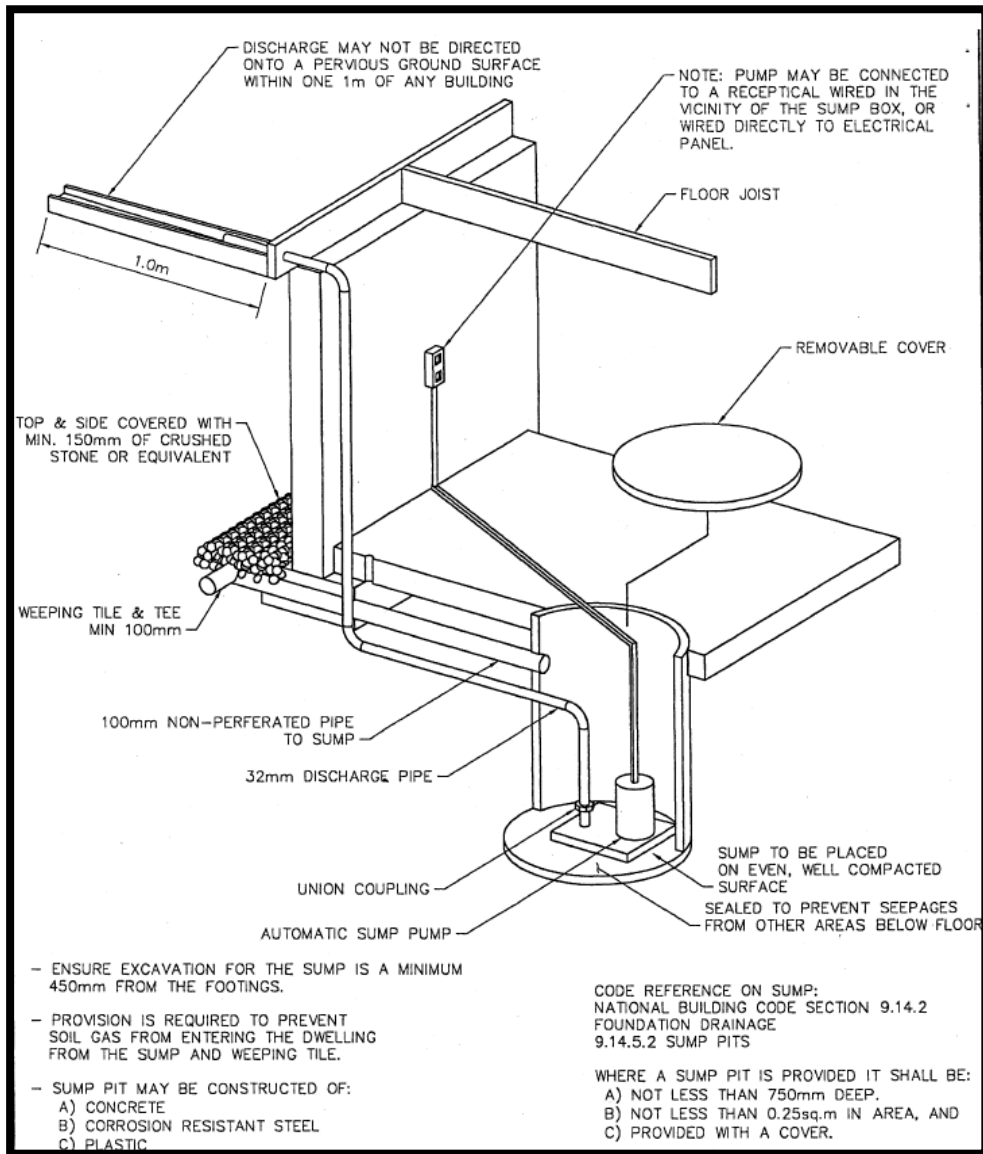
### **DISCHARGE OF FOUNDATION DRAINAGE WATER**

1. All buildings are required to drain foundation water into a sump, which in turn discharges the water to the surface or to a storm sewer.
2. Surface Discharge
  - a. Sump pumps discharging to surface may not discharge directly onto a pervious ground surface within one metre of any building that has a basement or a level below the finished ground surface.
  - b. The location of the point of discharge shall be directed away from adjacent properties.
  - c. If the lot drains from the centre to the front and to the back, surface discharge may be to either the front or back yard. If the lot drains from the back to the front, surface discharge must be to front yard.
  - d. The discharge may not be into the "required" side yard unless the side yard is adjacent to a street, park or buffer strip.
3. Discharge to Storm Sewer
  - a. Sumps discharging to storm sewers shall be pumped to the main by a pressure service connection as per detailed drawing Sump with Pumped Discharge to Storm Sewer, Detail Drawing 102-0025-002r004.

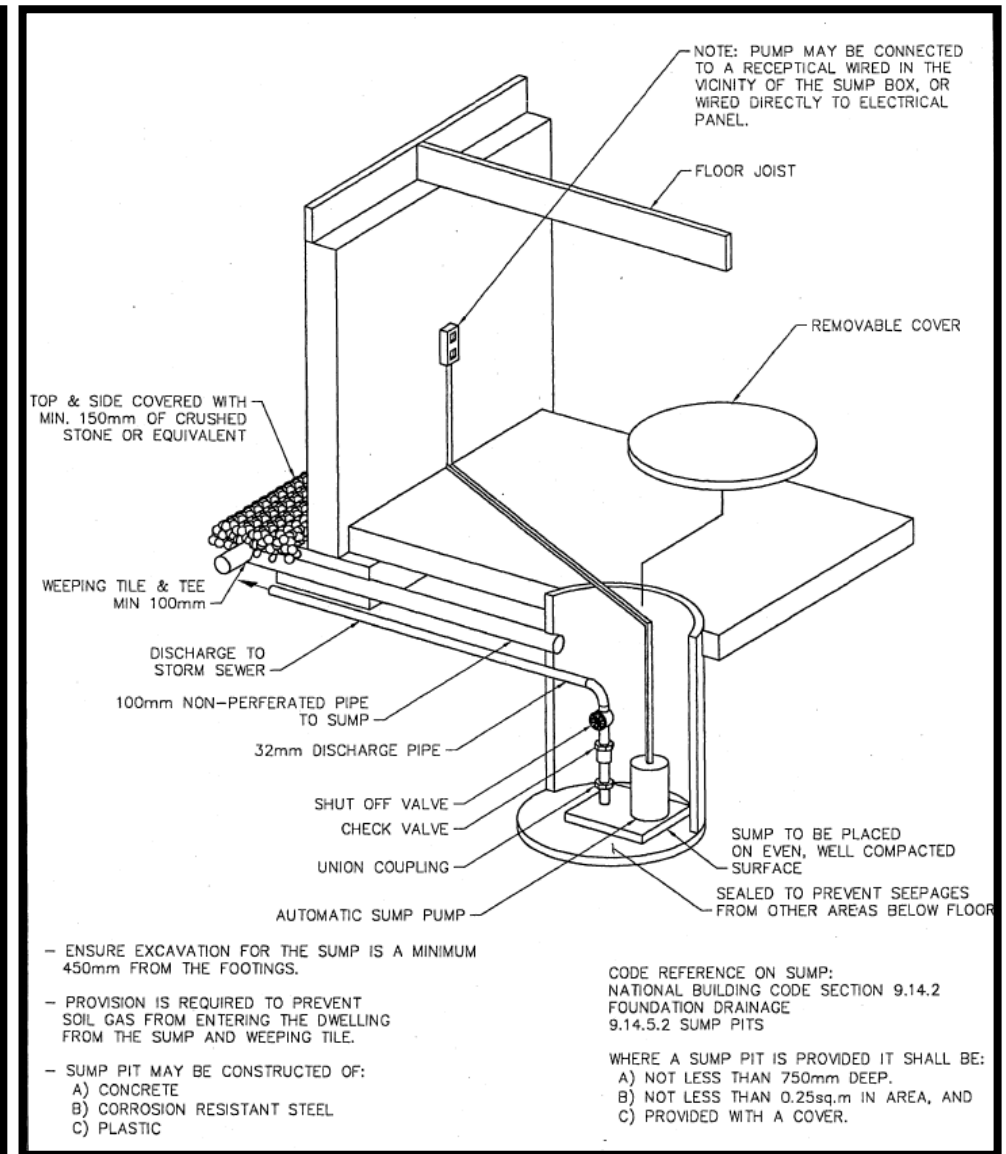
### **SUMP DESIGN CRITERIA**

1. Sump Pit Details
  - a. As per National Building Code 9.14.5.2, sump pits are to be a minimum of 750 mm deep and 0.25m<sup>2</sup> in area.
  - b. Sump pit is to be fitted with a tight fitting removable cover.
  - c. Sump pit will be constructed of concrete, plastic, or non-corrosive metal.
  - d. Sump pit is to be fitted with an opening to accept a 100 mm drain with the invert of the pipe located above centre of the sump pit height.
  - e. Sump pit is to be placed on an even, well compacted surface.
2. Foundation Drainage (Weeping Tile) to Sump Pit

- a. A weeping tile collection system shall be provided around the building perimeter and tied to a sump pit using a positively graded, non-perforated, 100 mm pipe which discharges into the side of the pit.
  - b. Provision shall be made to ensure soil gas is prevented from entering the dwelling unit through the weeping tile and through the sump pit.
3. Sump Pump
- a. Provide a sump pump (column of submersible type) capable of pumping 50L/m at three metres of head.
  - b. The pump shall be fitted with an automatic on/off level control.
  - c. The pump discharge must have a minimum pipe diameter of 32mm. The pipe must be adequately secured.
  - d. Sump pumps connected directly to a storm sewer must be equipped with a spring check valve and a shut-off valve located downstream of the check valve, so that the connection to the main can be isolated for maintenance, etc.



SUMP WITH PUMPED DISCHARGE TO SURFACE



SUMP WITH PUMPED DISCHARGE TO STORM SEWER

FIGURE 4: SUMP DESIGN

**INSTALLATION OF FILTER SOCK**

Filter socks are installed in order to prevent silt run off into park areas from residential lots during construction. The filter sock should be removed after the lot has been fine graded with topsoil and is ready for sod to be installed. If a lot owner plans to use seed rather than sod, the filter sock should stay in place until the lawn has germinated. Homebuilders please do not remove or damage the filter sock during home construction.

A Filter Sock has been installed on the rear yard of:

Lots 1 - 17, Block 672, Plan 102146891

Lots 1 - 7, Block 673, Plan 102146891

A Filter Sock has been installed on the side yard of:

Lots 1 and 17, Block 672, Plan 102146891

Lots 1 and 7, Block 673, Plan 102146891

**FENCING****DECORATIVE ALUMINUM FENCE:**

A decorative aluminum fence will be located in the side yard of:

Lots 1 and 17, Block 672, Plan 102146891

Lots 1 and 7, Block 673, Plan 102146891

A decorative aluminum fence will be located in the rear yard of:

Lots 1 - 17, Block 672, Plan 102146891

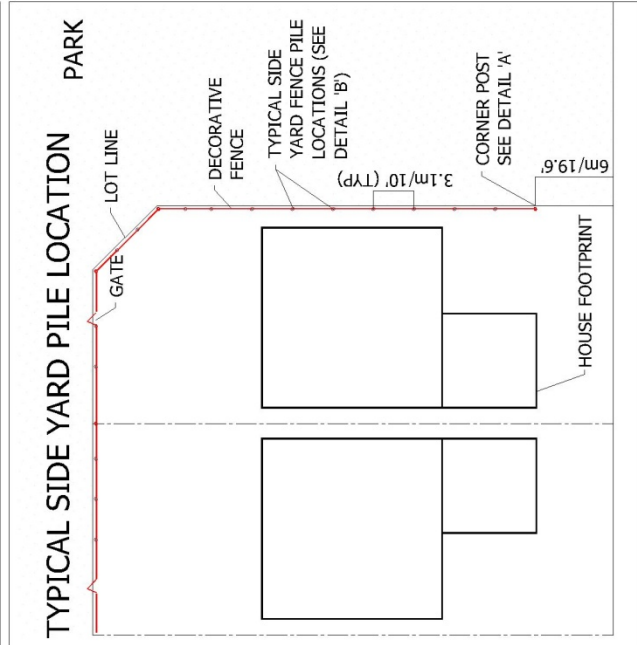
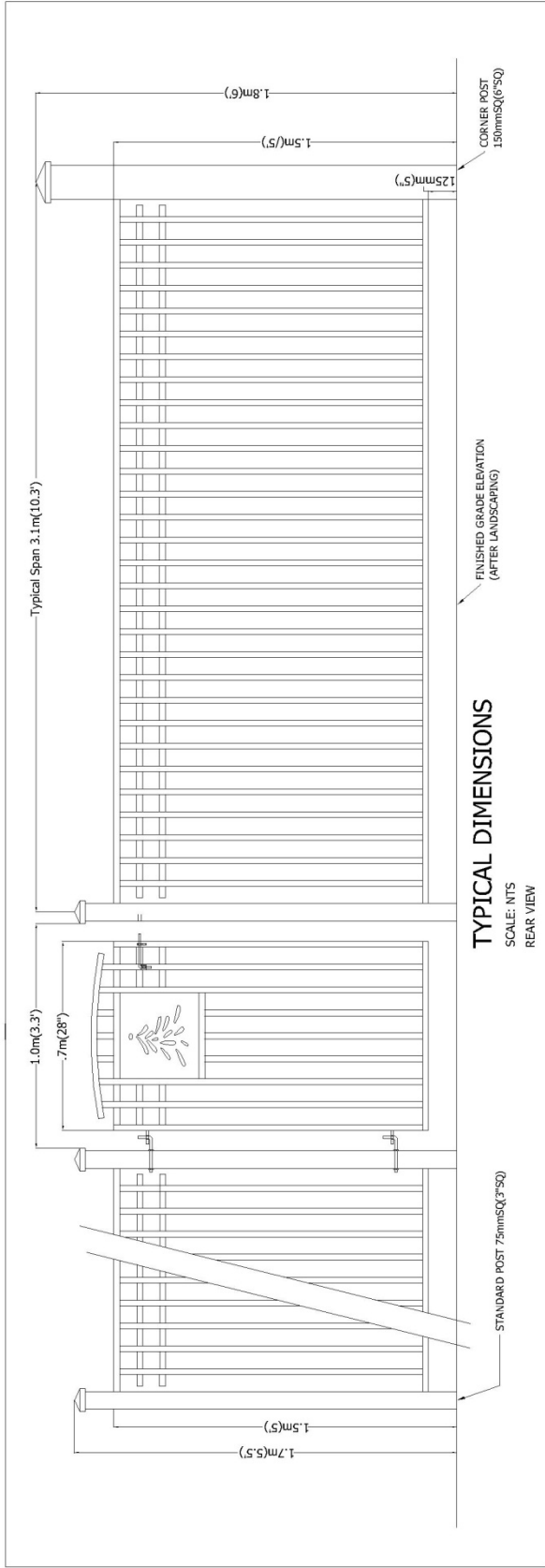
Lots 1 - 7, Block 673, Plan 102146891

These lots are adjacent to a park space. The centre line of this fence is located approximately 250mm (10 inches) inside the purchaser's property line. The inside edge of the structural pilings for this fence is located approximately 400mm (16 inches) inside of the purchaser's property line. The purchaser will be responsible for all future maintenance of the fence. The location of the fence should be taken into consideration when siting your house on the lot and, specifically with a side yard fence, while planning your basement excavation. Pay special attention that your basement excavation and other construction activities do not disturb the structural pilings or other components of the fence. The drawing on the following page titled, "Decorative Fence Details" illustrates the fence details and style.

**Agriculture Canada Fence**

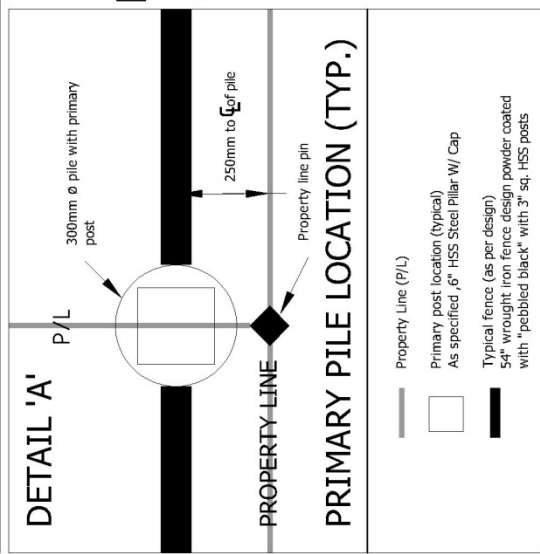
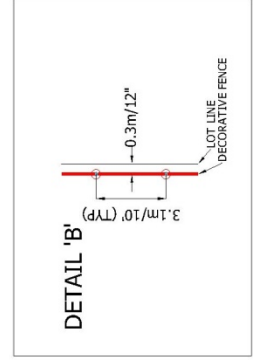
There is an existing chain link fence owned by Agriculture Canada bordering on the rear property lines of the following lots in Block 668: 3 to 6, 11 to 14, and 19 to 22. This fence is built on Agriculture Canada property, is owned by Agriculture Canada, and cannot be removed by lot owners. Lot owners may choose to screen the fence or build another fence inside of Agriculture Canada Fence.

# Evergreen Decorative Fence Details



**\*DO NOT DISTURB FENCE PILES DURING BASEMENT EXCAVATION**

**\*CENTRELINE OF FENCE IS APPROX. 25cm (10") ON OWNER PROPERTY**



**FIGURE 5: DECORATIVE FENCE DETAILS**

# CONSTRUCTION NOTES



## **STARTING CONSTRUCTION**

Possession of the site is granted for construction purposes when the down payment has been received, the Agreement for Sale is endorsed, and the servicing and subdivision process is complete. Saskatoon Land will provide three weeks' notice to purchasers when the lots will be ready. In order to assist the utility companies, please post your civic address at the front of the property when construction begins.

## **LANED LOT INFORMATION**

To facilitate the paving of back lanes, SaskEnergy has pre-stubbed the gas connection into the back of:

Lots 44 - 62, Block 669, Plan 102146891  
 Lots 1 - 21, Block 674, Plan 102146891  
 Lots 1 - 38, Block 675, Plan 102145159  
 Lots 1 - 38, Block 676, Plan 102145159  
 Lots 1 - 19, Block 677, Plan 102145159

Please review the attached map showing the back of lot location of the gas stubs, the "Typical Servicing from Lane" drawing and the attached letter from SaskEnergy. If a homeowner wants to build a garage within the required offset from either the power line or the gas line, they will need to contact the relevant utility, either SaskPower or SaskEnergy. The City of Saskatoon will not be responsible for these costs.

## **LANDSCAPING OF CITY BOULEVARDS**

It is the homeowner's responsibility to landscape and maintain the boulevard along both the front of their property and along the side of corner lots.

Boulevards are defined as the landscaping space between the edge of the roadway and the property lines. Where the sidewalk is attached to the curb, the boulevard is the space between the edge of the sidewalk and the property line. Where the sidewalk is not attached to the curb, the boulevard also includes the space between the curb and the sidewalk. These areas need to be landscaped and maintained by the homeowner at their expense.

## **BUFFER LANDSCAPING EAST OF MARLATTE CRESCENT**

There is a 8.0 metre buffer located east of the lots on Marlatte Crescent (see Lot Information Map). Shelter belt planting along the buffer will occur as the development progresses. **Please ensure basement excavations and all other construction waste materials are not deposited on the buffer.**

## **BOULEVARD TREE PLANTING**

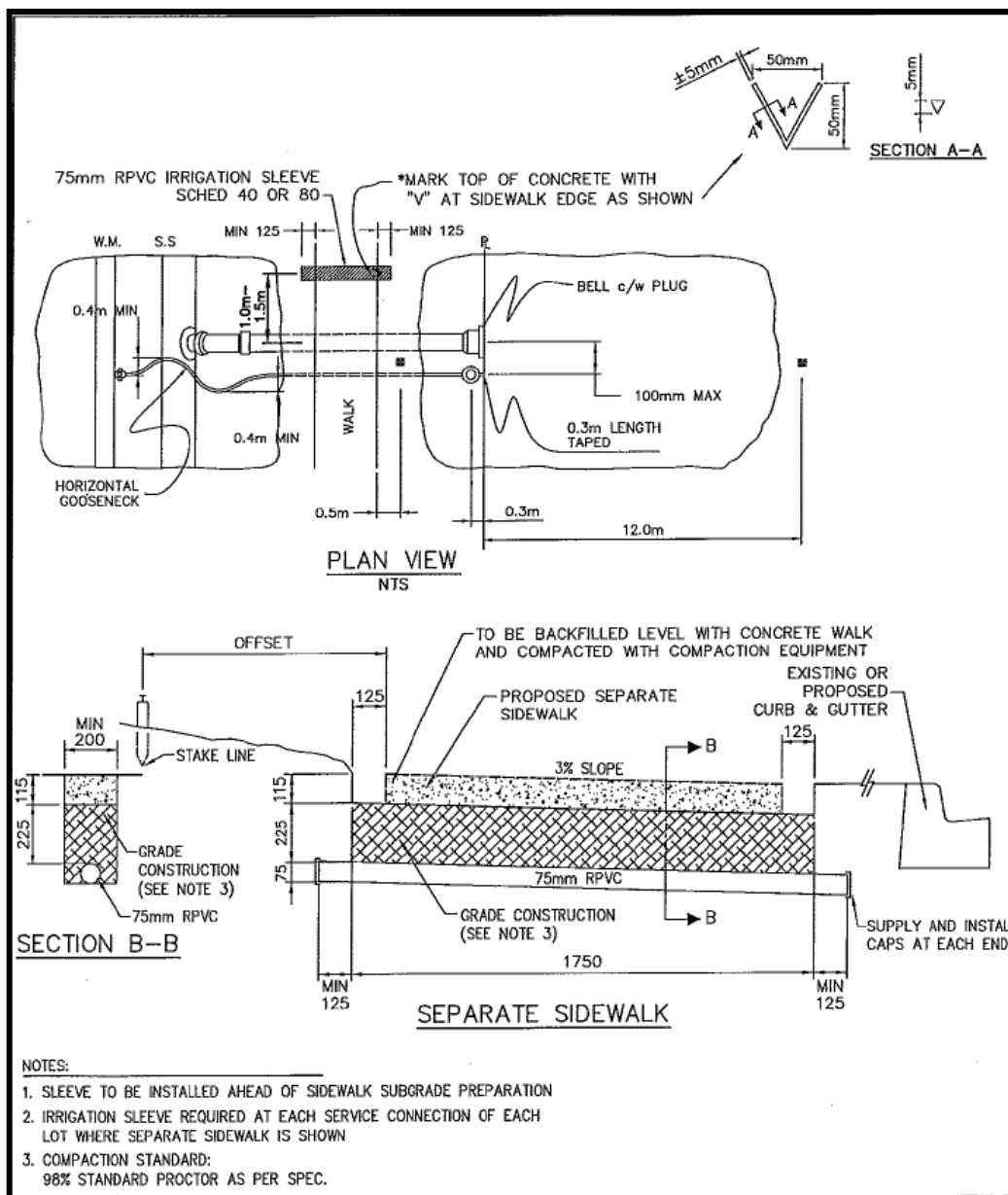
The Community Tree Planting Program was established in 1991 via pre-paid levies from the original sale of lots. Through this program, the City of Saskatoon, Urban Forestry Section hand plants 30mm (1.2") caliper trees on boulevards in recently developed neighbourhoods. Streets are selected for this Program based on a review of newly developed areas. The City



considers the number of lots that are fully developed and landscaped. This review is completed the season prior to planting. The *Plant By Request Program* is also available to residents to request to have a tree planted in an available planting site on the boulevard. This program plants 30mm (1.2") caliper trees. For *Plant By Request Program* please contact the Urban Forestry Section at 975-2890.

**SIDEWALK IRRIGATION SLEEVE – BALTZAN BOULEVARD**

If you wish to extend your irrigation system into the space between the curb and the sidewalk along Baltzan Boulevard, a plastic sleeve (75 mm RPVC pipe) has been installed underground crossing the sidewalk for your use. You can install your irrigation system through this sleeve in order to access the boulevard on the other side of the sidewalk. A small "V" has been stamped into the edge of the sidewalk indicating the location of the sleeve. You will find the empty pipe approximately 340 mm beneath the sidewalk.



**Figure 6: Separate Sidewalk Irrigation Sleeve**

**EARTH DISPOSAL**

Contractors and individuals will be responsible for disposing of their own excess earth material. **The former clean fill site located east of McOrmond Drive is no longer available for use.** At this time, the recommended clean fill disposal site is the City landfill. If arrangements are made with another landowner to dispose of the material anywhere within city limits, they are to contact Central Dispatch at 306-975-2491 and they will maintain a log of locations. If disposing of material outside the city limits within the RM of Corman Park the RM needs to be notified of those arrangements.

Please ensure basement excavations and all other construction waste materials are not deposited on adjacent properties or any other properties in this area without prior arrangements being made. The area will be **regularly inspected and any individual or company found illegally disposing of materials on properties without the owner's permission shall be liable of fines up to \$25,000 as outlined in City of Saskatoon Waste Bylaw No. 8310 and the Anti-Dumping Bylaw No. 5713.**

**DISCLOSURE OF ADJACENT PROPERTY OWNERS**

Please note in order to facilitate discussions between property owners respecting lot grading, fencing issues and property maintenance issues, Saskatoon Land will, upon request, disclose the names of purchasers to adjacent property owners.

**CONSTRUCTION WASTE**

As per City of Saskatoon Bylaw No. 8310, The Waste Bylaw, 2004 any owner or contractor carrying out the construction of a building on any property shall place all waste into a waste container or enclosure. The owner or contractor shall dispose of all waste resulting from the construction in a timely manner so as to ensure there is no unreasonable accumulation of waste on the property during the construction.

A waste disposal bin must remain on each building site for the duration of construction in order to ensure that the waste is not dispersed on or around the property or surrounding properties. Upon completion of construction, it is the owner or the contractor's responsibility to clear their site of all waste. If the waste is not removed, the City may remove the waste and all associated costs will be charged to the property owner or the contractor.

**TOPSOIL FOR LOT LANDSCAPING**

Topsoil may be available free of charge to homeowners to topsoil their properties. Please call Saskatoon Land at 306-975-3278 for up to date information on topsoil availability. Topsoil is not to be removed from other lots, boulevards, parks, or any other open spaces in the neighbourhood.

**CONSTRUCTION WASTE**

As per City of Saskatoon Bylaw No. 8310, The Waste Bylaw, 2004 any owner or contractor carrying out the construction of a building on any property shall place all waste into a waste container or enclosure. The owner or contractor shall dispose of all waste resulting from the construction in a timely manner so as to ensure there is no unreasonable accumulation of waste on the property during the construction.

A waste disposal bin must remain on each building site for the duration of construction in order to ensure that the waste is not dispersed on or around the property or surrounding properties. Upon completion of construction, it is the owner or the contractor's responsibility to clear their site of all waste. If the waste is not removed, the City may remove the waste and all associated costs will be charged to the property owner or the contractor.

### **TEMPORARY WATER CIRCULATION BOXES**

To ensure water quality is maintained throughout the initial stages of development in this phase; temporary water circulation boxes are installed. The locations of these temporary water circulation boxes are identified on the attached map. These temporary water circulation boxes are removed during the installation of the water and sewer connection to the house. For more information, please contact the Municipal Engineering Branch at 306-975-2454.

### **POWER**

Power to all blocks in Phase 8 is provided by SaskPower.

### **138KV OVERHEAD POWER LINE**

There is an overhead 138kv power line owned by SaskPower which runs north-south along the east edge of the neighbourhood, behind Lots 1 to 28, Block 678. There is no vehicular access to this buffer and storage of any construction equipment, vehicles or material under the power line is prohibited. Care should be taken to ensure that the power line is not contacted during house construction on the adjacent lots.

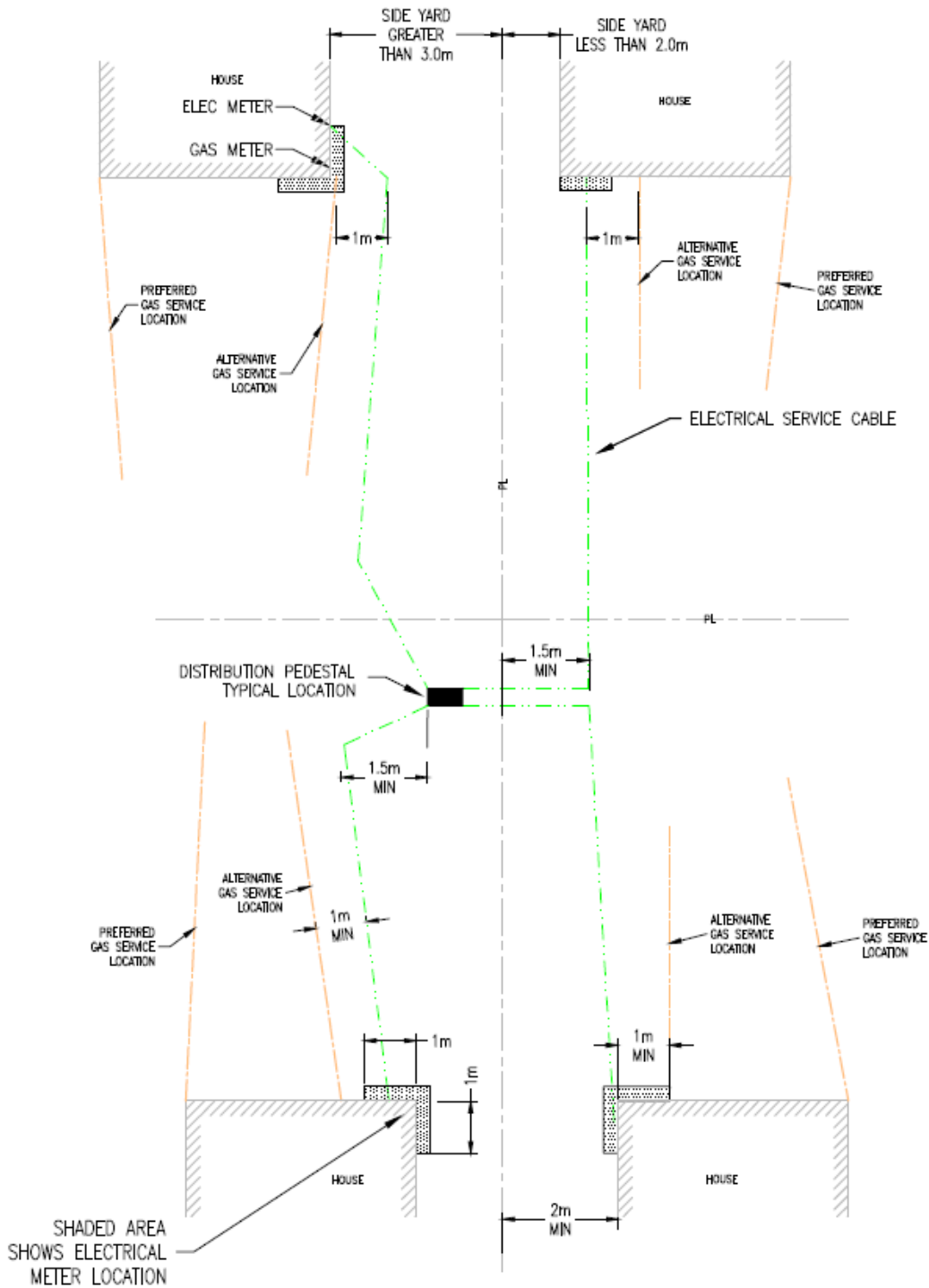
### **UNDERGROUND ELECTRICAL SERVICE REQUIREMENTS FOR NEW RESIDENCES**

1. The minimum size of meter socket shall be 455mm x 300mm x 125mm for all single phase residential services up to and including 200 amp. The meter socket shall have a 1/2 inch stud type line side and neutral terminals arranged to permit straight in conductor connections and suitable for securing compression lugs rated for #6 to 4/0. A single meter sockets with dual lugs on the load side will be allowed in certain circumstances. Total load on the socket must not exceed that allowed by the Canadian Electrical Code. The meter socket is to be mounted on an adequately secured fixed wood backing at least the same size as the socket. The use of a 400 amp self-contained meter socket is NOT allowed.
2. The electrical meter stack shall be located on the house within one meter of the corner closest to the service pedestal (as shown on Ws-1 00B-02).
3. If the Homeowner wants the electrical meter mounted on the side of the house, he/she must provide a minimum 2 meters between the house and the property line for construction access. If the electrical meter is mounted on the side of the house, the gas meter shall not be mounted on the same side of the house, and shall be at least 1.0 meter away from the electrical meter and service cable.
4. If the Homeowner wants the electrical meter and gas meter mounted on the same side of the house he/she must provide a minimum 3 meters between the house and the

property line for construction access. There shall be at least 1.0 meter separation between the gas meter and the electrical meter lines.

5. If there are any questions as to which distribution pedestal will service the lot, please contact Saskatoon Light & Power.
6. If the Homeowner wants the meter to be located in a position other than those outlined above, he/she must contact Saskatoon Light & Power, for approval. Additional charges may apply for these special service applications.
7. Saskatoon Light & Power will install the service cables to the meter stack only after:
  - a. The meter stack has been installed,
  - b. The lot is at a finished grade, and
  - c. All other obstructions (such as dirt piles and lumber) have been cleared from the trench line.
8. Saskatoon Light & Power will install the meter and energize the service only after:
  - a. The Civic Address is clearly marked on the front of the house,
  - b. An application for electrical service has been made at City Hall, Customer Service, phone (306) 975-2400, and
  - c. The Electrical inspection Permit number has been provided to the Saskatoon Light & Power Meters Services, phone (306) 975-2417, fax (306) 975-2625.

For more information, please contact Saskatoon Light & Power (306) 975-2414.



**Figure 7: Typical Underground Electrical Service Requirements for New Residences**

## **SASKENERGY**

### Applying For Service

1. Make the application for your natural gas service when
  - property is backfilled.
  - framing is started

You can make this application by calling SaskEnergy at 306-975-8505.

2. At this time, a staking appointment will be given to meet on site to determine the route of the gas service and to hang the bracket.
3. Construction of your gas service should take place within 2 to 3 weeks during summer construction (allow an extra week during winter construction period).  
Note: When running a new service, take into consideration any future developments to avoid encroachments on the gas service and having to reroute the service. (E.g. Decks, garages, sheds, pools)
4. When your mechanical contractor has completed all the piping for your natural gas appliances, he has to call SaskEnergy to have your natural gas meter installed. The number to call is 975-8500.

### Building A Garage/Fence or Deck

Call SaskEnergy at 975-8515 at least 2 working days prior to starting construction and we will send someone out to locate your natural gas service at no charge. Remember – if you don't call and there is damage to the gas service, you will be charged the cost to repair it.

### Natural Gas For Your Home

Whether you're looking for an efficient way to heat your home, a better way to barbecue, or something to add fun and warmth to the great outdoors, natural gas is the choice for you. Your options are endless with SaskEnergy Network Financing.

Look around your home and you'll see that there are plenty of reasons to consider the natural gas alternative. Natural gas is convenient, safe, efficient, reliable and a friendlier option for the environment. When you think about it...the choice should come naturally.

Consider these natural gas options...home, garage and shop heating, water heater, fireplace, range, clothes dryer, barbecue, yard lights, campfire, pool and patio heaters.

Visit a SaskEnergy Network Member and ask to see their selection of natural gas appliances, heating systems and outdoor items.

For a list of SaskEnergy Network Members throughout the province, visit [www.saskenergy.com](http://www.saskenergy.com) or call 1-800-567-8899.

### Convenient Payment Options

SaskEnergy offers convenient bill payment options to make payments a breeze.

### *Equalized Payment Plan*

With Sask.Energy's Equalized Payment Plan you can average your bills over the year and avoid peak winter heating bills. You pay the same amount each month until your annual settle-up, when a new monthly payment is calculated for the next year. It's an easy way to budget and take the bite out of winter bills. Call us for full details.

### *Pre-authorized Payment Plan*

No more monthly cheques to write, no line-ups no postage and the peace of mind knowing that your payment is on time, every time. The full amount of your monthly bill will be debited from your bank account each month automatically.

SaskEnergy's Pre-authorized Payment Plan is available to all SaskEnergy customers and is accepted on any chequing account from recognized financial institutions in the province.

### How To Read Your Bill

Your billing is based on the cubic meters of natural gas you used during the billing period. Consumption on most natural gas meters is measured in hundreds of cubic feet. This multiplied by a metric factor in order to convert to cubic meters. On the back of your SaskEnergy bill, you'll find an explanation of all the terms used on your bill, including:

Basic monthly charge – this covers ongoing costs of service such as meter reading, maintenance and billing.

Delivery charge – this is for storing and delivering natural gas through our pipelines to your home or business.

Gas supply cost – this is the cost of gas we buy in the market to supply to your home or business.

For more information on SaskEnergy, our products and programs, appliance information, or a listing of SaskEnergy Network Members, give us a call at 975-8500 or visit our website at [www.saskenergy.com](http://www.saskenergy.com).

## OTHER INFORMATION



Lots are sold “**As Is**”. These terms are contained in the Agreement for Sale. The terms may change without notice. Any questions should be asked to ensure you understand the terms of your purchase.

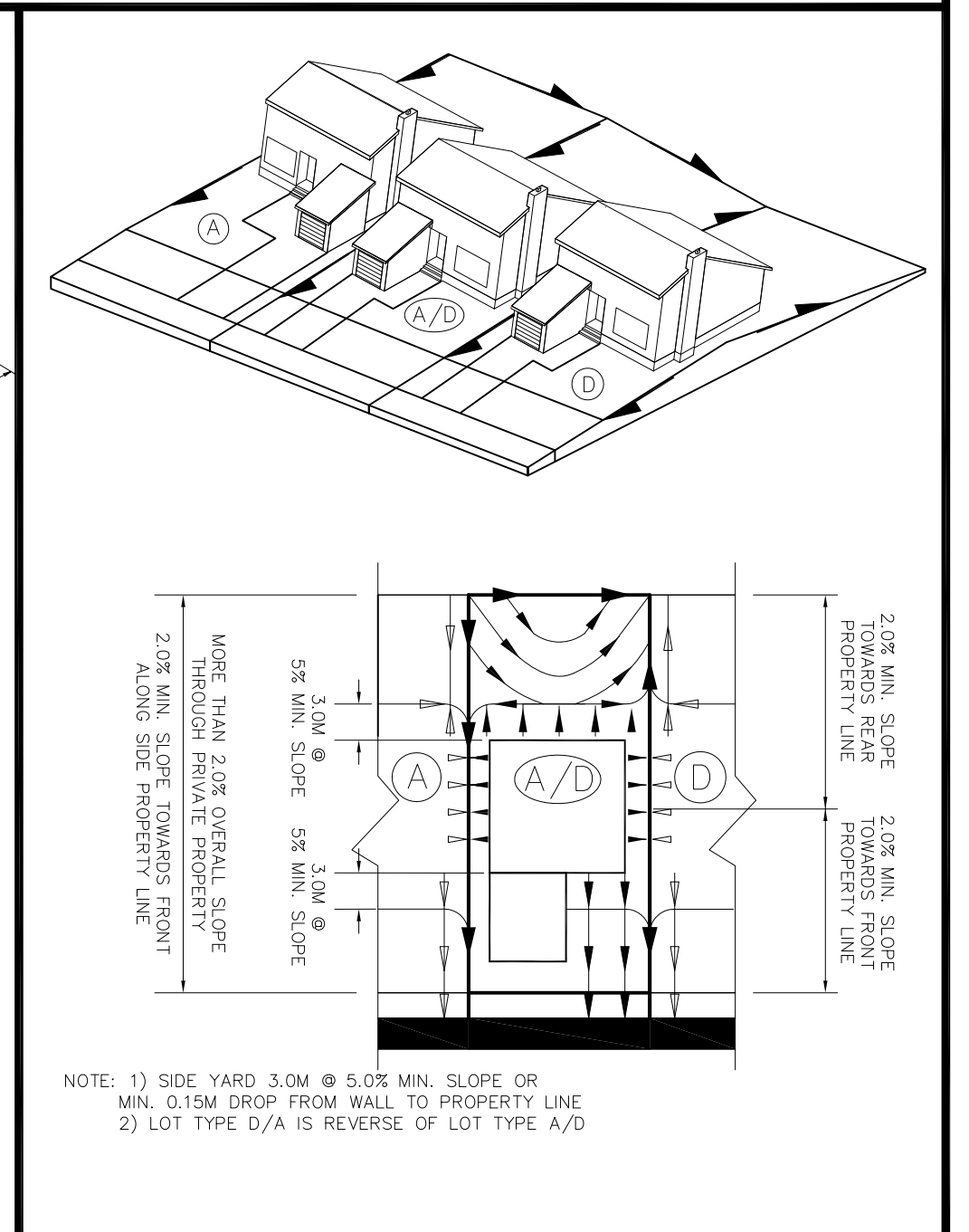
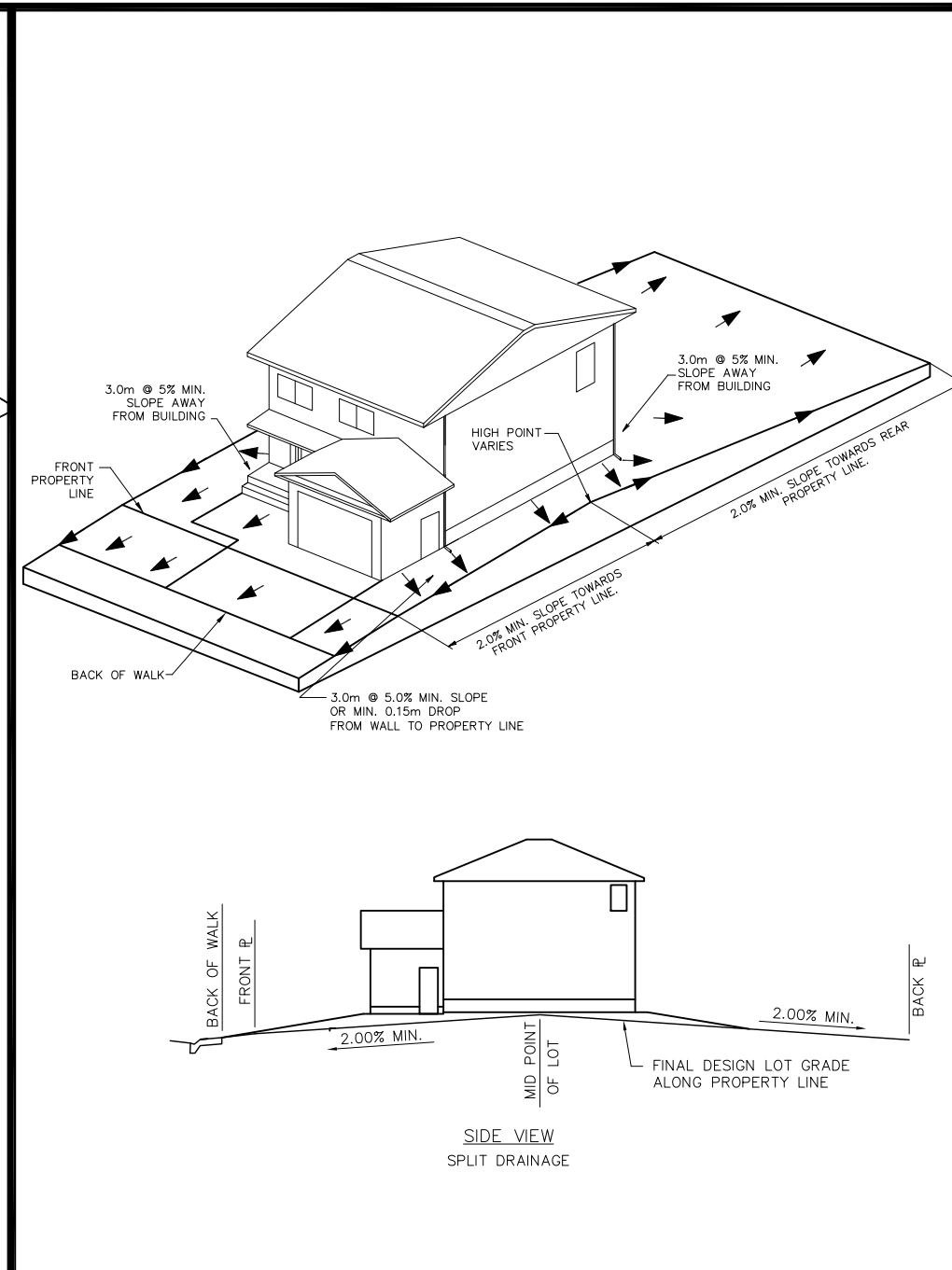
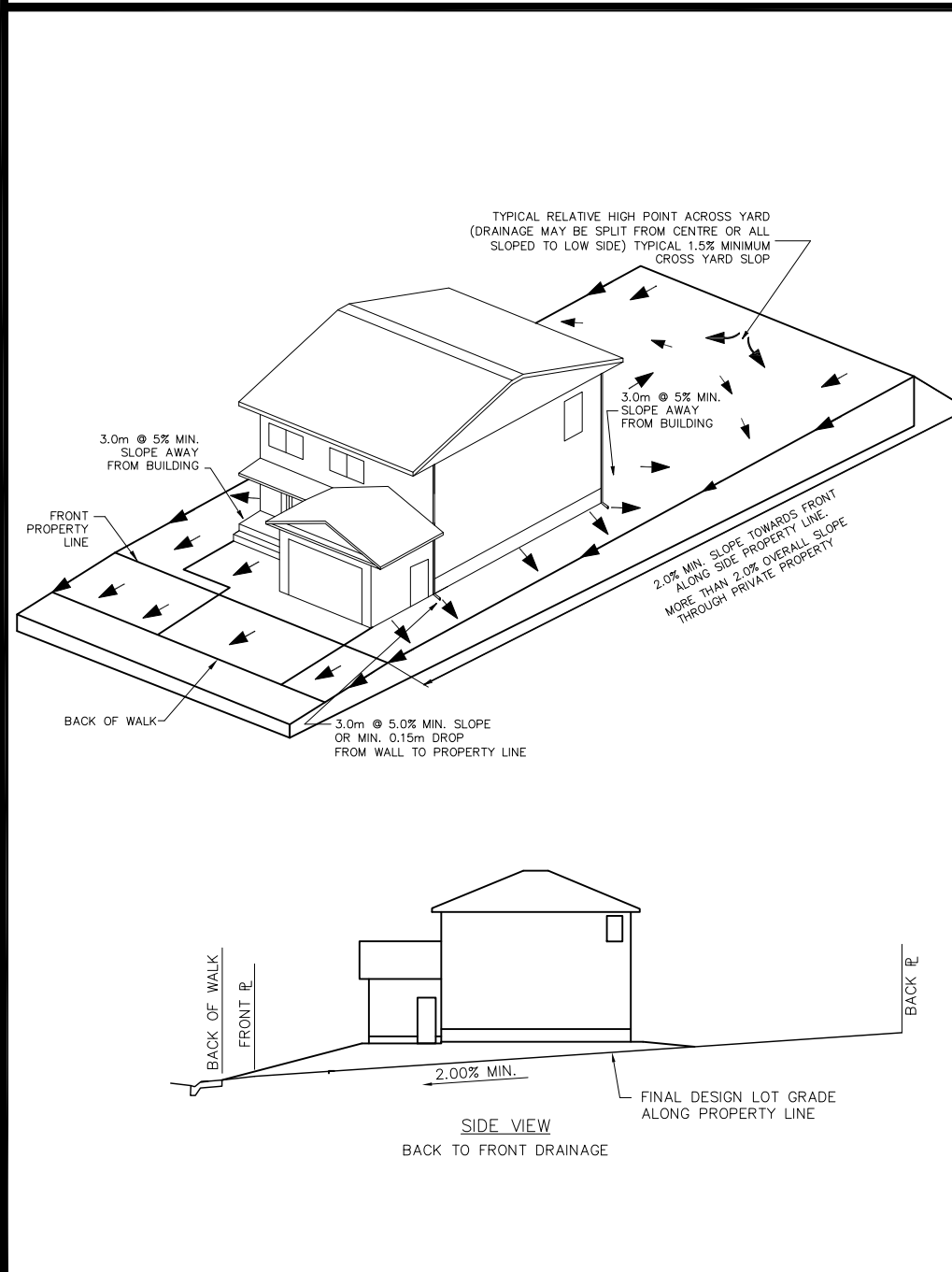
The following will issued by addendum once available:

- Individual Lots Grades - Blocks 668 - 678

# Lot Grade Details



# EVERGREEN



Lot Grade Type "A"

Lot Grade Type "D"

Transition Lot Type "A/D"

REVISIONS		CITY OF SASKATOON INFRASTRUCTURE SERVICES DEPARTMENT	APPROVED	
1			CITY ENGINEER	P. ENG.
2		ENGINEER		
3		ENGINEER		
DRAWN BY: LMD		LOT GRADING TYPE A		
DATE: 04-OCT-2010				
CHECKED BY:		SCALES: HOR. N.T.S. VERT. N.T.S.		
DATE:		PLAN NO. 102-0022-016r001		

REVISIONS		CITY OF SASKATOON INFRASTRUCTURE SERVICES DEPARTMENT	APPROVED	
1			CITY ENGINEER	P. ENG.
2		ENGINEER		
3		ENGINEER		
DRAWN BY: LMD		LOT GRADING TYPE D		
DATE: 04-OCT-2010				
CHECKED BY:		SCALES: HOR. N.T.S. VERT. N.T.S.		
DATE:		PLAN NO. 102-0022-017r001		

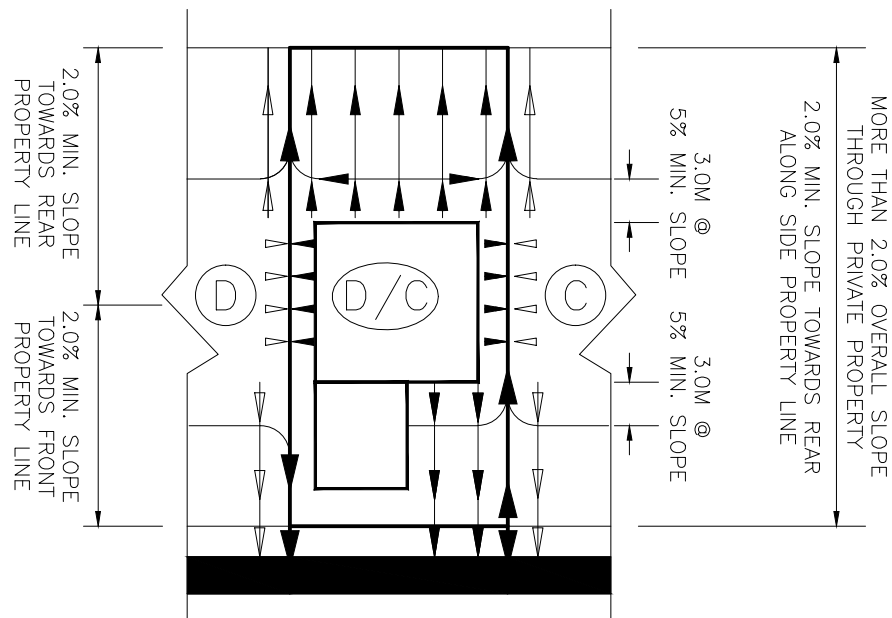
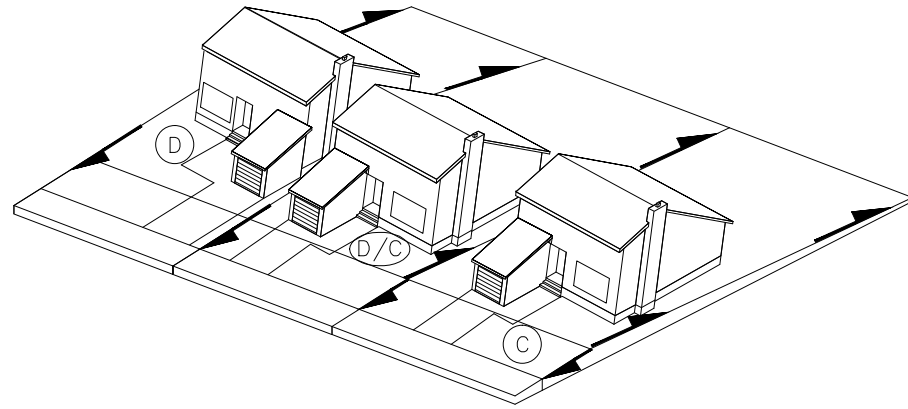
PLAN DESCRIPTION/REVISIONS		City of Saskatoon Infrastructure Services Department	APPROVED	
4			CITY ENGINEER	P. ENG.
3		ENGINEER		
2		ENGINEER		
DRAWN BY: LMD		LOT GRADING TRANSITION LOT TYPE A/D & D/A		
DATE: 2010-SEP-14				
CHECKED BY:		SCALES: HOR. N.T.S. VERT. N.T.S.		
DATE:		PLAN NO. 102-0022-013r001		



# Lot Grade Details



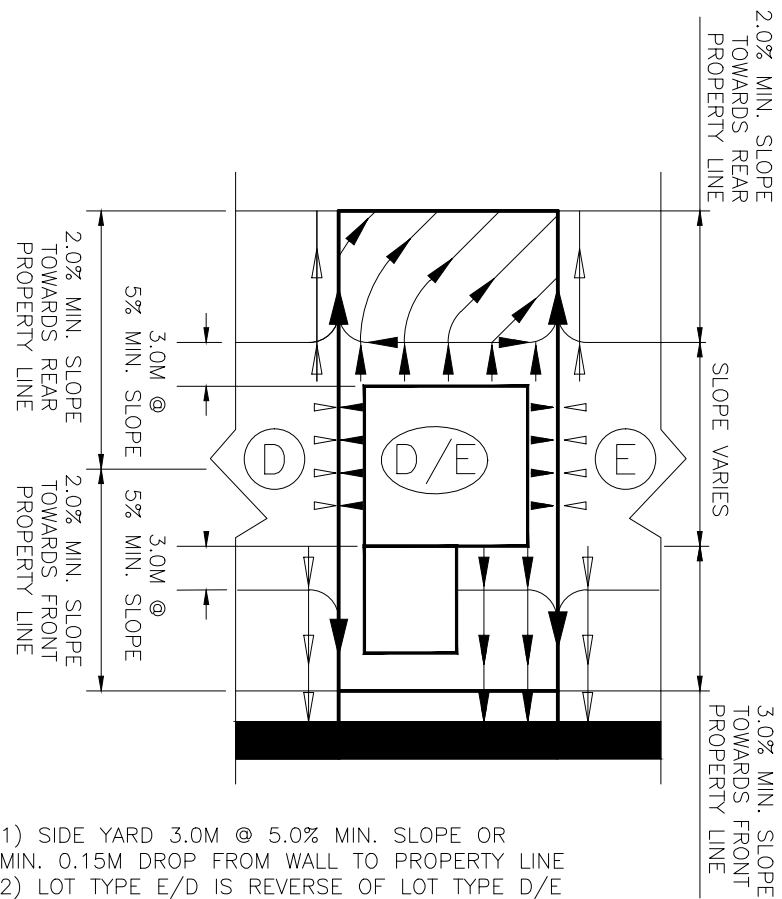
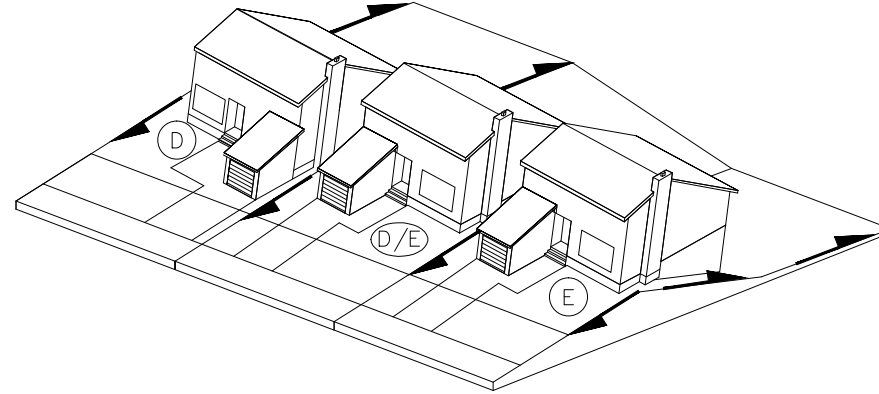
## Transition Lot Type D/C



NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE  
2) LOT TYPE C/D IS REVERSE OF LOT TYPE D/C

PLAN DESCRIPTION/REVISIONS	 <b>City of Saskatoon</b> Infrastructure Services Department	APPROVED
GENERAL MANAGER		ENGINEER
DRAWN BY: JLD	LOT GRADING TRANSITION LOT TYPE D/C & C/D	PLAN NO. 102-0022-014-001
DATE: 2012-07-15		SCALE: HOR. VERT.

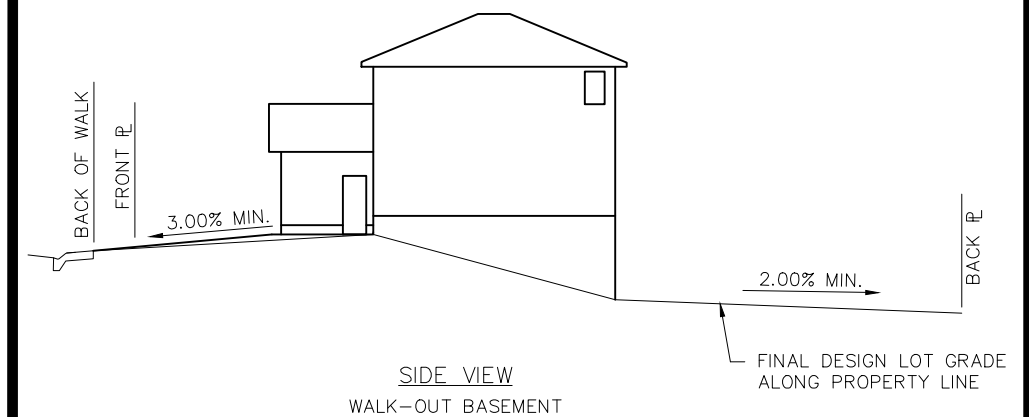
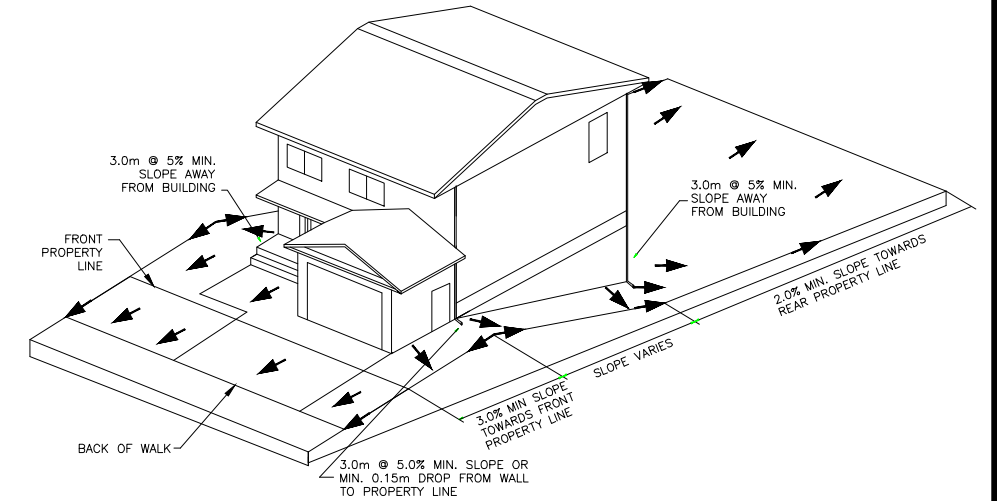
## Transition Lot Type D/E



NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE  
2) LOT TYPE E/D IS REVERSE OF LOT TYPE D/E

PLAN DESCRIPTION/REVISIONS	 <b>City of Saskatoon</b> Infrastructure Services Department	APPROVED
GENERAL MANAGER		ENGINEER
DRAWN BY: JLD	LOT GRADING TRANSITION LOT TYPE C/E & E/C	PLAN NO. 102-0022-021-001
DATE: 2012-08-20		SCALE: HOR. VERT.

## Lot Grade Type E

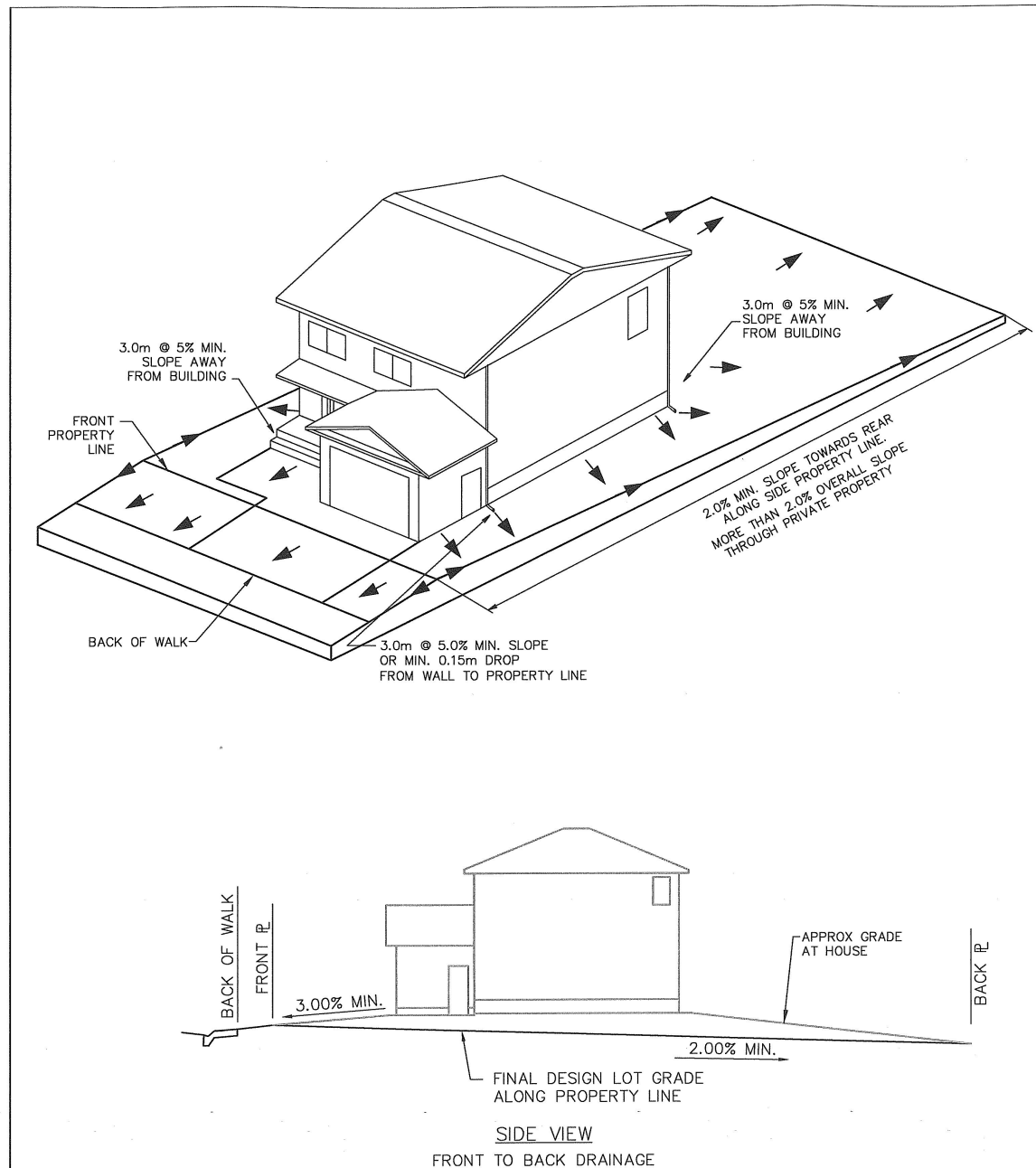


REVISIONS	CITY OF SASKATOON INFRASTRUCTURE SERVICES DEPARTMENT	APPROVED
1		CITY ENGINEER P. ENG.
2	LOT GRADING TYPE E	ENGINEER
3		SCALE: HOR. VERT. 1:12.5
DRAWN BY: JLD	PLAN NO. 102-0022-019-001	DATE: 10-22-2010
CHECKED BY:		DATE:

# Lot Grade Details



# EVERGREEN



REVISIONS	
1	
2	
3	
DRAWN BY <u>LMD</u>	
DATE <u>04-OCT-2010</u>	
CHECKED BY _____	
DATE _____	

CITY OF SASKATOON  
INFRASTRUCTURE SERVICES DEPARTMENT

LOT GRADING  
TYPE C

APPROVED

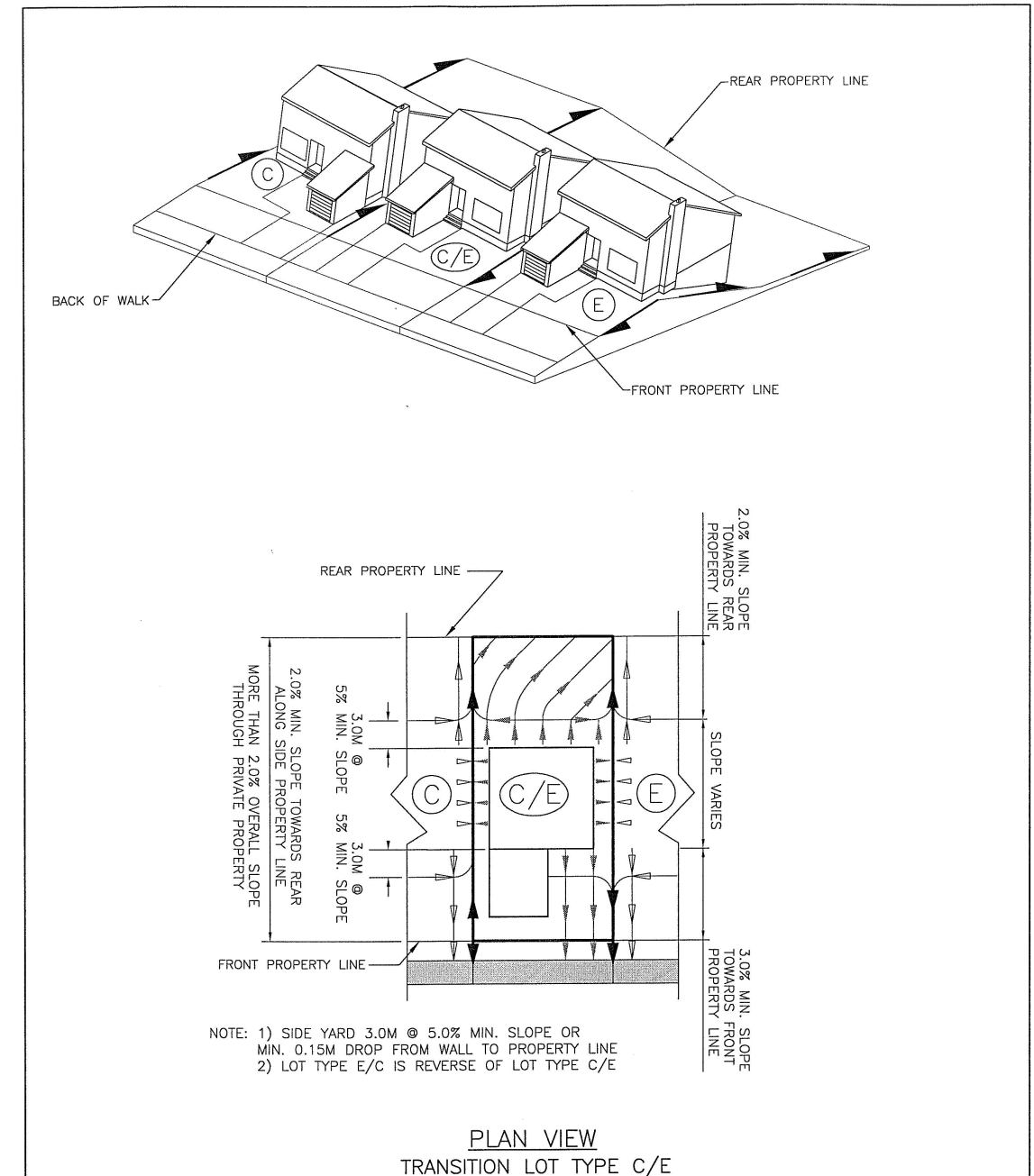
*[Signature]* 10/3/10  
CITY ENGINEER P. ENG.

ENGINEER

ENGINEER

SCALES :  
HOR. N.T.S. VERT. N.T.S.

PLAN NO. 102-0022-018r001



PLAN DESCRIPTION/REVISIONS	
4	
3	
2	
1	
DRAWN BY <u>HLO</u>	
DATE <u>2011-MAR-23</u>	
SCALE : HOR. _____ VERT. _____	

**City of Saskatoon**  
Infrastructure Services Department

LOT GRADING  
TRANSITION LOT TYPE C/E & E/C

APPROVED

*[Signature]* 10/23/11  
GENERAL MANAGER

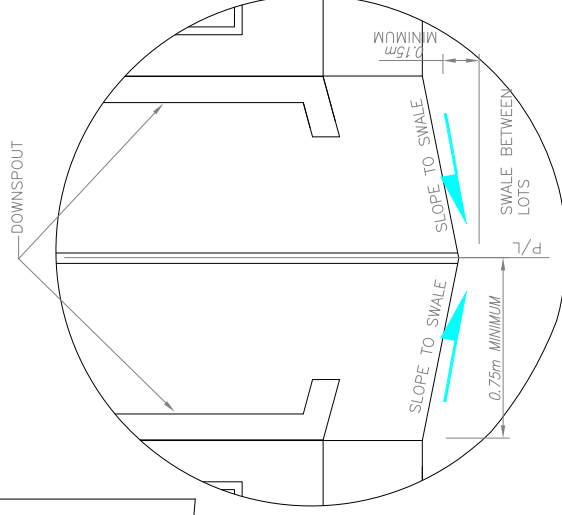
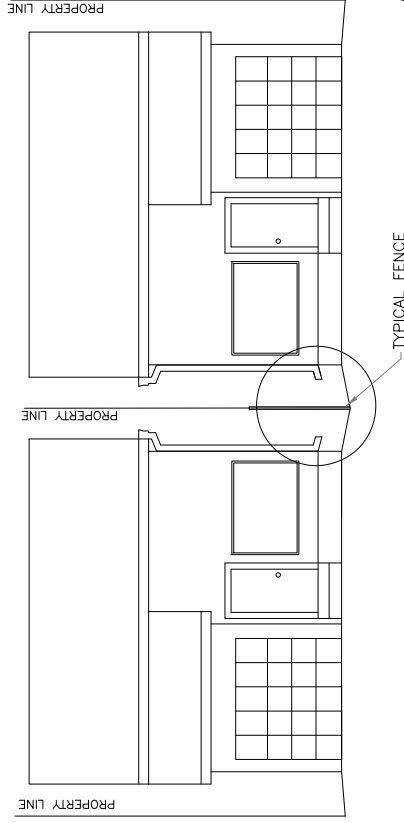
ENGINEER

PLAN NO. 102-0022-021r001

# Lot Grade Details: Side Yard Drainage Swale



**EVERGREEN**



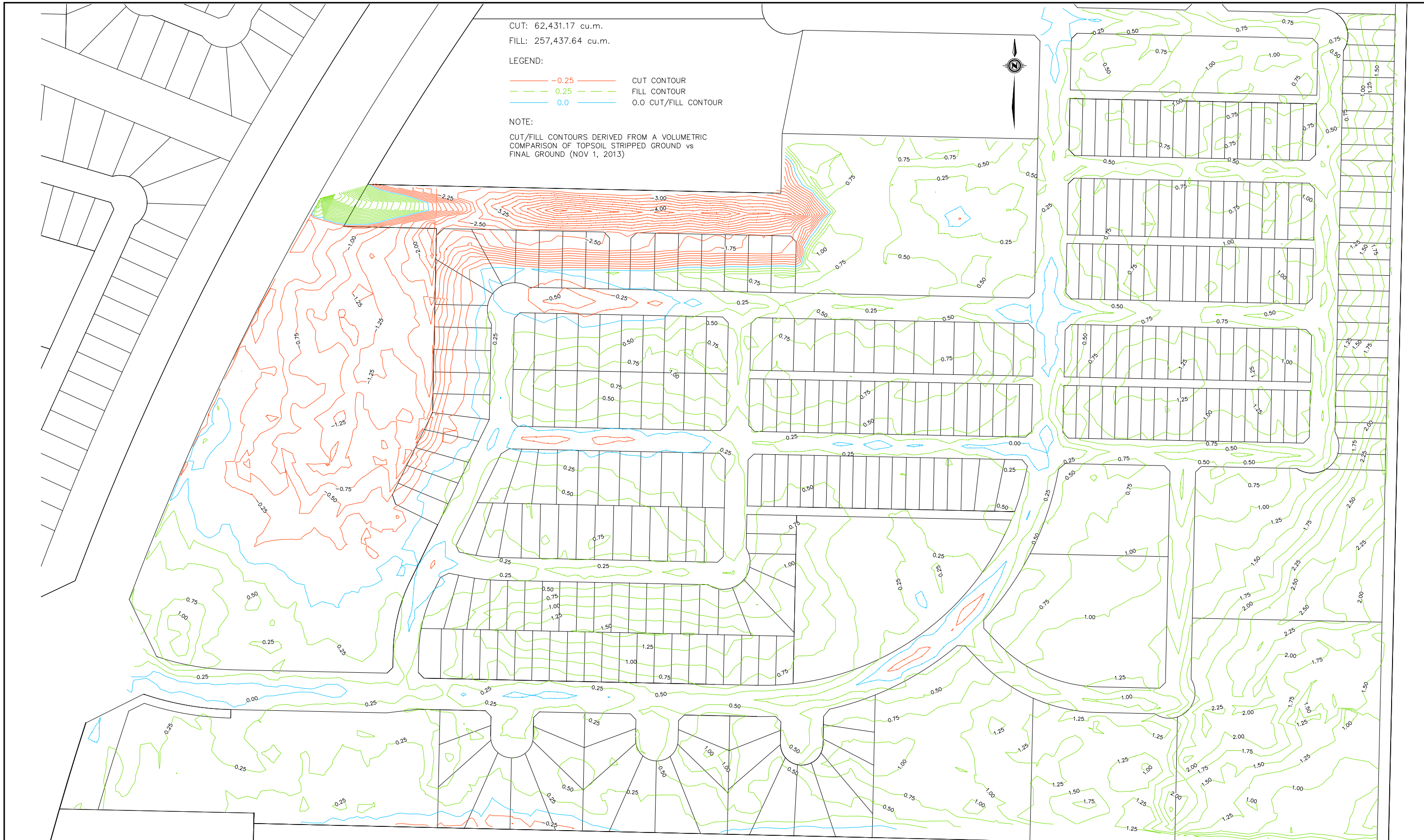
PLAN DESCRIPTION/REVISIONS	
4	
3	
2	
1	


**City of Saskatoon**  
 Infrastructure Services Department

**SIDE YARD DRAINAGE SWALE**

APPROVED	
GENERAL MANAGER	
ENGINEER	
PLAN NO.	102-0022-012r001

DRAWN BY LMD  
 DATE 2010-AUG-18  
 SCALE : HOR. N.T.S. VERT. N.T.S.



CUT: 62,431.17 cu.m.  
 FILL: 257,437.64 cu.m.

LEGEND:  
 -0.25 CUT CONTOUR  
 0.25 FILL CONTOUR  
 0.0 0.0 CUT/FILL CONTOUR

NOTE:  
 CUT/FILL CONTOURS DERIVED FROM A VOLUMETRIC COMPARISON OF TOPSOIL STRIPPED GROUND vs FINAL GROUND (NOV 1, 2013)

11			
10			
9			
8			
7			
6			
5			
4			
3			
2			
1	CUT & FILL CONTOURS OF STRIPPED GROUND VS FINAL EMBANKMENT	2014-JAN-29	STT
PLAN DESCRIPTION/REVISION		DATE	BY

DATE	DATE
DRAWN BY	DATE

CHECKED BY:	CHECKED BY:
DATE	DATE
DRAWN BY	DATE

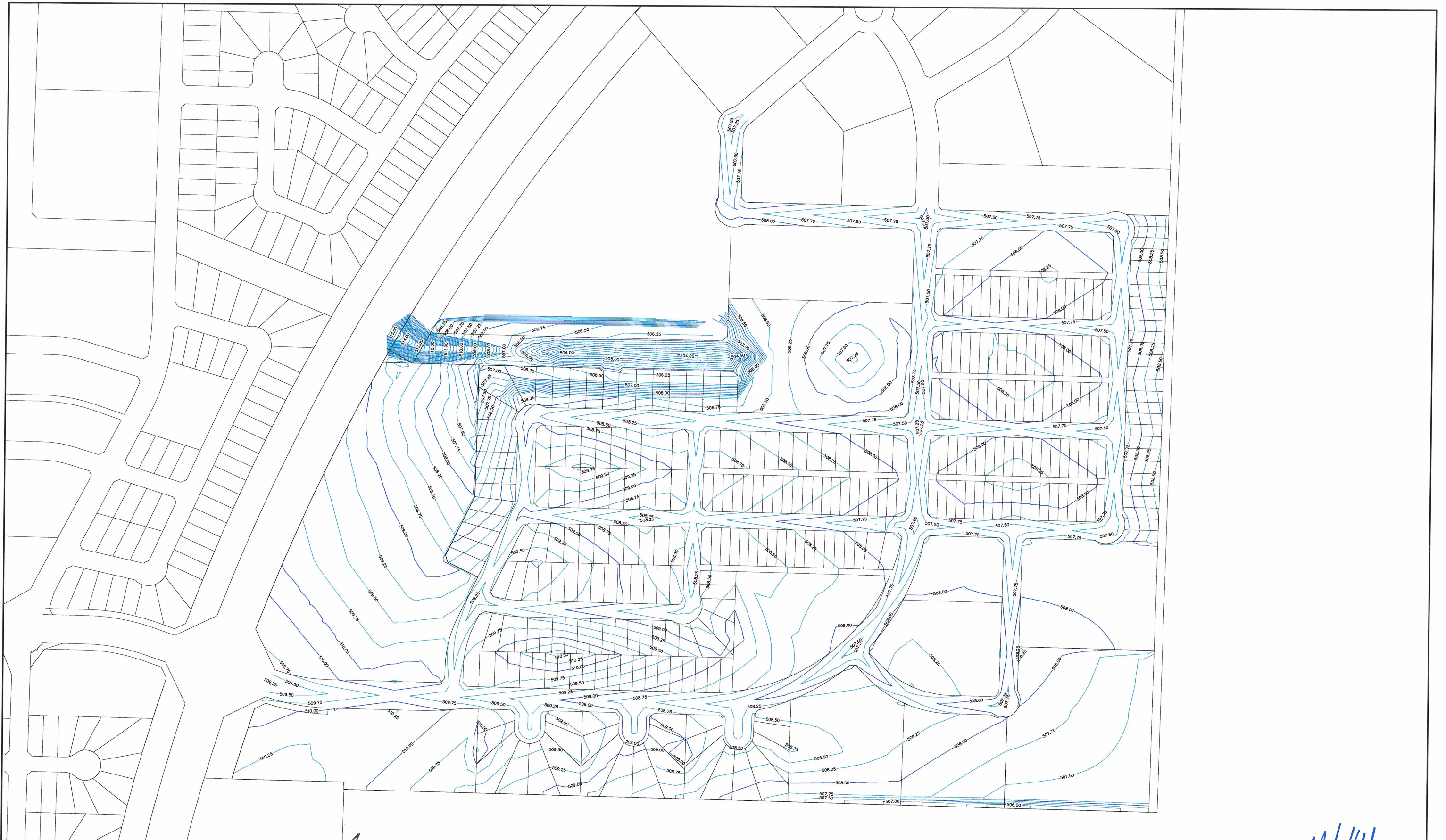
DATE	DATE
DRAWN BY	DATE



EVERGREEN D1 - D2 LAND DEVELOPMENT

CUT & FILL CONTOURS  
 VOLUMETRIC COMPARISON OF  
 STRIPPED GROUND vs FINAL EMBANKMENT

CHIEF ENGINEER	DATE
SCALES:	
HOR. 1:2500	
VERT.	
SHEET NO.	PLAN NO.



11			
10			
9			
8			
7			
6			
5			
4			
3			
2			
1	FOR CONSTRUCTION	2012-AUG-29	RWD
	PLAN DESCRIPTION/REVISION	DATE	BY



CONSTRUCTION & DESIGN	TRANSPORTATION	PUBLIC WORKS	STRATEGIC SERVICES
<i>C. Dull</i> ENGINEER DATE <u>May 21, 2013</u>	<i>Chhabra</i> ENGINEER DATE <u>May 29/13</u>	<i>J. Rogers</i> ENGINEER DATE <u>June 7, 2013</u>	<i>P. K.</i> ENGINEER DATE <u>June 10, 2013</u>
DRAWN BY _____	DATE _____	CHECKED BY _____	DATE _____



EVERGREEN PHASE D-1 LAND DEVELOPMENT

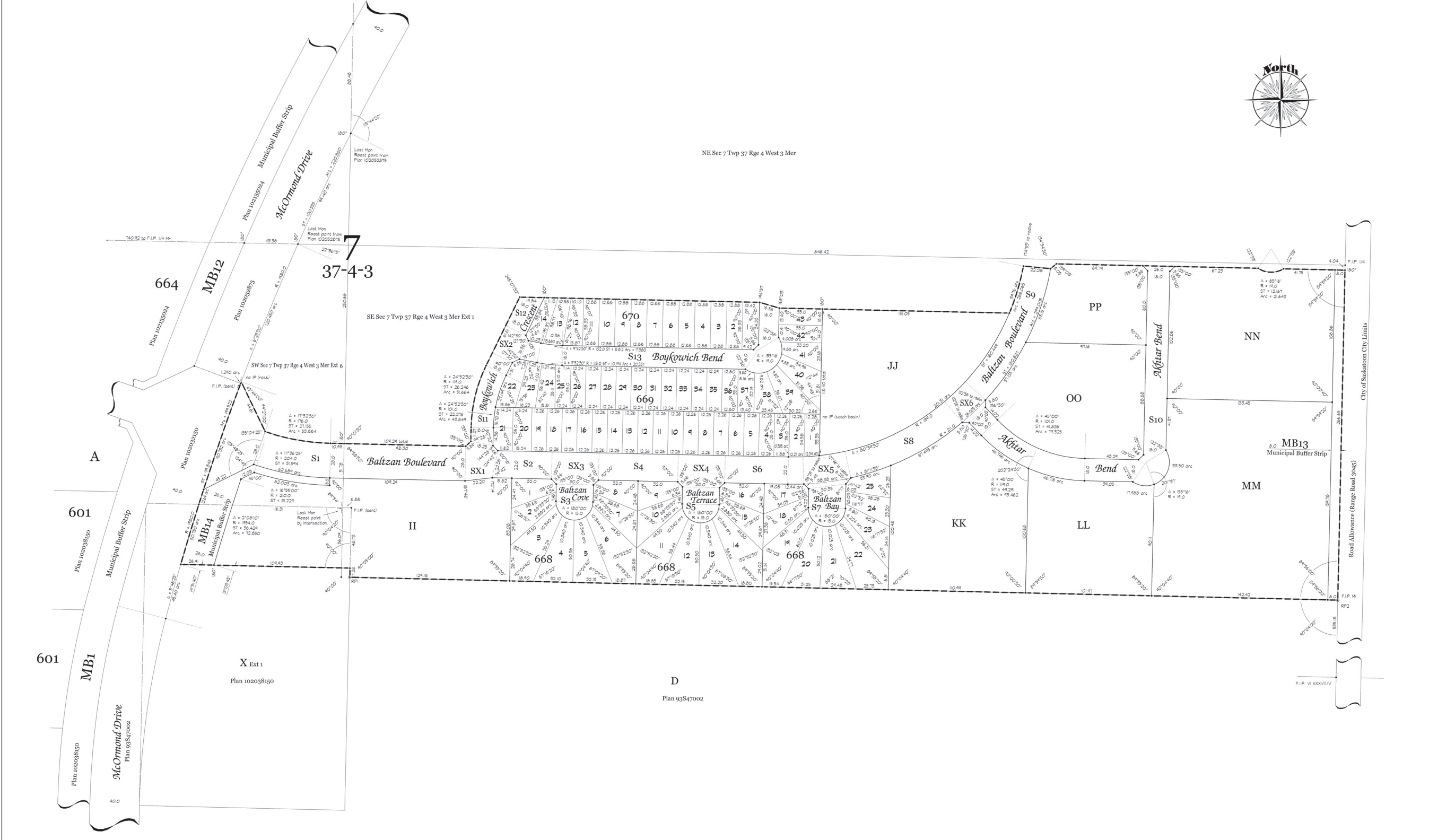
AREA GRADING  
DESIGN CONTOURS

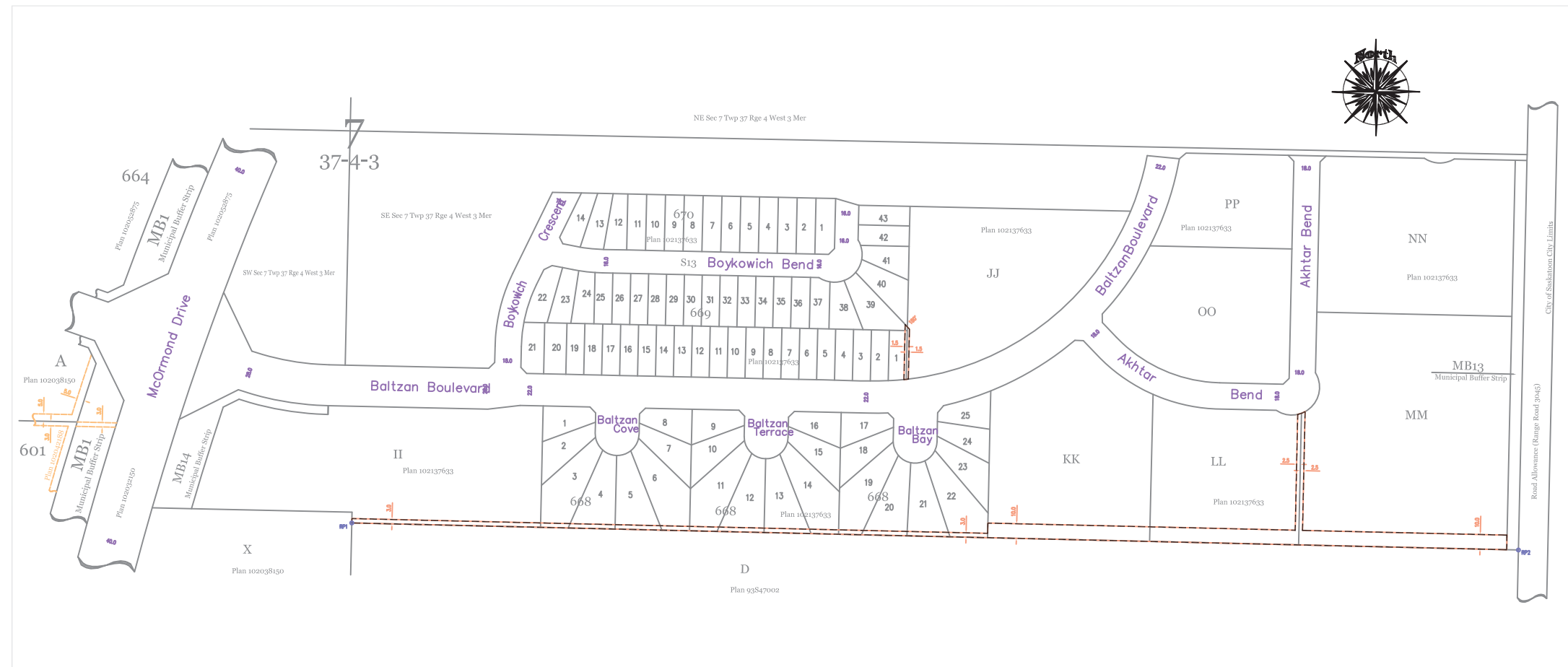
<i>M. J. H.</i> GENERAL MANAGER	
SCALES:	DATE <u>June 13, 2013</u>
HOR. 1:3500	
VERT. 1:3500	
SHEET NO. _____	PLAN NO. _____
113-0083-328r001	

*Evergreen District Village*  
*Plan of Survey Showing*  
*Surface Subdivision*  
of part of Parcel X - Plan 102038150  
in S 1/2 of Sec 07 Twp 37 Rge 4 West 3 Mer  
and part of SW 1/4 Sec 07 Twp 37 Rge 4 West 3 Mer  
and part of SE 1/4 Sec 07 Twp 37 Rge 4 West 3 Mer  
**Saskatoon, Saskatchewan**  
**Survey by M.A. Marien S.L.S.**  
Date: June - August 2013 AD Scale: 1:1000



- Notes:**
- Measurements are in metres and three decimals of a metre.
  - Road allowances on this plan are Third System.
  - Monuments found are shown thus: ●
  - Standard iron posts planted are marked S004 and shown thus: ○
  - Reference points are shown thus: ○
  - Lot corners not marked with standard iron posts are marked with 0.038 x 0.46 metre iron pins
  - Area to be approved is outlined by a heavy dashed line.
  - All parcels within the red of approval have an extension of mass otherwise shown.
  - The Datum used: NAD83 (2011)
  - The Projection used: UTM Zone 18N standard
  - RPN: Northing 5180345.270m, Easting 945089.860m
  - RPN2: Northing 5180324.160m, Easting 945089.860m
  - RPN coordinates are derived from Q109 on of June 8, 2015 AD





**Evergreen District Village**  
**Descriptive Plan – Type II Showing**  
**Feature Utility Right of Way**

in Parcels II, JJ, KK, LL and MM - Plan 102137633  
 and in Lots 3-6, 11-14 and 19-22 - Block 668 - Plan 102137633  
 and in Lot 1 - Block 669 - Plan 102137633  
 all in S 1/2 of Sec 07 Twp 37 Rge 4 West 3 Mer

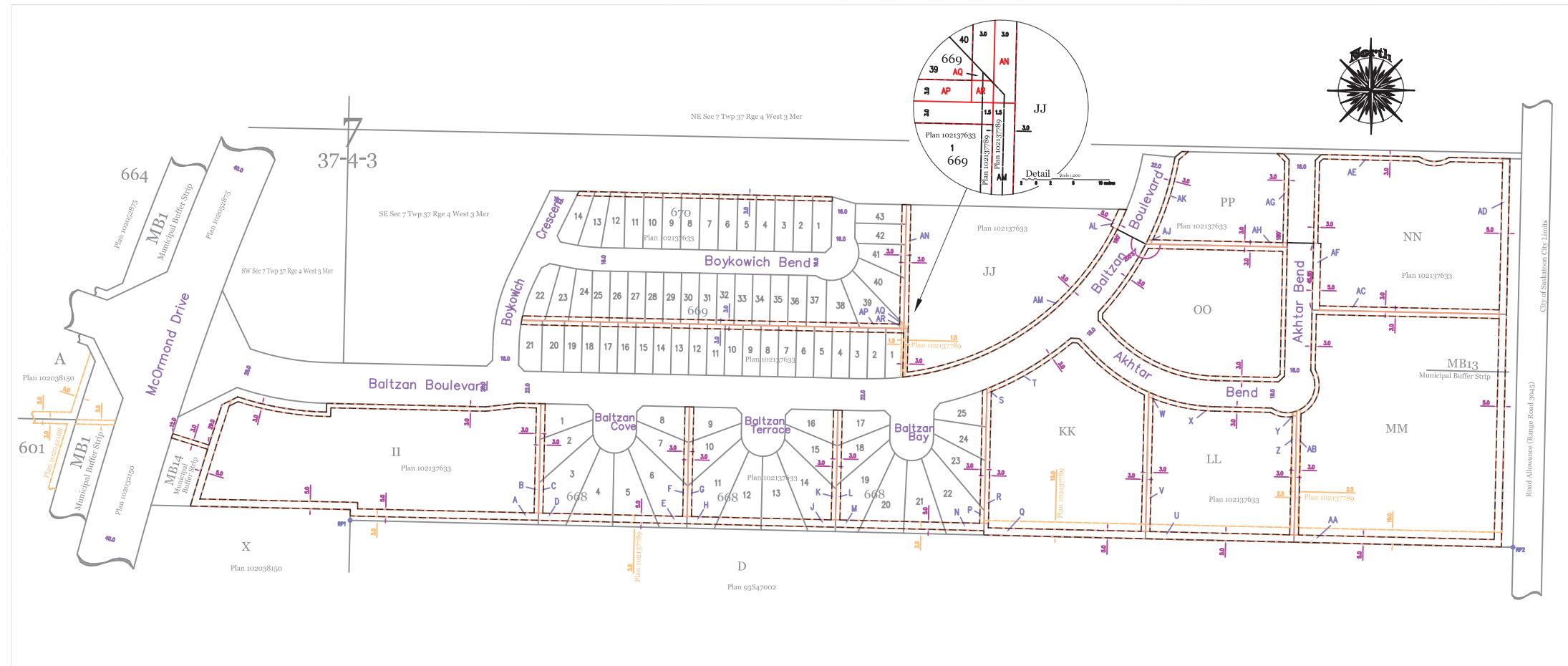
**Saskatoon, Saskatchewan**  
 Prepared by **M.A. Marien S.L.S.**

Date: August 2013 A.D. Scale 1:1000



**Notes:**

- Measurements are in metres and three decimals of a metre.
- Standard road allowances on this plan are Third System.
- Standard line styles found are shown here.
- Reference points are shown here.
- Area to be approved is outlined by a heavy dashed line.
- Width of right of way is 3.0 metres unless otherwise shown.
- All parcels outlined by this feature have an extension area unless otherwise shown.
- The datum used is 1983 (CGRS83).
- The projection used is UTM Zone 18N.
- UTM: Northing 5780343.770m, Easting 302051.500m
- UTM: Northing 5780343.770m, Easting 302051.500m
- IP coordinates are derived from GNSS as of June 6, 2013 AD



**Evergreen District Village**  
**Descriptive Plan – Type II Showing**  
**Feature Utility Right of Way**

in Parcels II, JJ, KK, LL, MM, NN, OO, PP - Plan 102137633  
 and in MB1 - Municipal Buffer Strip - Plan 102137633  
 and in Lots 1 to 25 - Block 668 - Plan 102137633  
 and in Lots 1 to 43 - Block 669 - Plan 102137633  
 and in Lots 1 to 14 - Block 670 - Plan 102137633  
 all in S 1/2 of Sec 07 Twp 27 Rge 4 West 3 Mer

**Saskatoon, Saskatchewan**  
 Prepared by M.A. Marien S.L.S.

Date: August 2013 1:1 Scale 1:1000

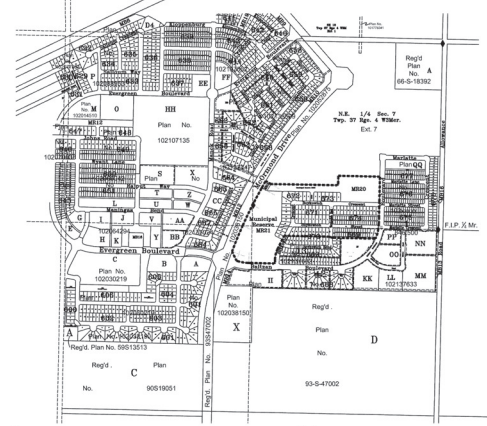


- Notes:**
- Measurements are in meters and three decimals of a meter.
  - Standard road dimensions on this plan are 30m Right of Way.
  - Standard bus route lanes are shown with a dashed line.
  - Subsequent utility easements are shown with a dashed line.
  - All areas affected by this feature have an extension zero unless otherwise shown.
  - The Projection used is UTM Zone 18N.
  - The Datum used is WGS 84 (GRS 80).
  - The Horizontal Control is UTM Zone 18N.
  - The Vertical Control is WGS 84 (GRS 80).
  - All coordinates are derived from GNSS as of June 6, 2013 AD.





**Key Plan 1:10000**



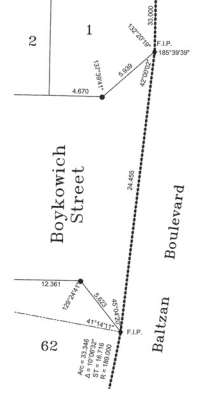
Road Allowance

**Evergreen District Village-Area 2  
Plan of Survey Showing  
Surface Subdivision  
of Part of  
N.E. 1/4, S.E. 1/4, S.W. 1/4, N.W. 1/4 of  
Sec. 7 Twp. 37 Rge. 4 W3Mer.  
Saskatoon, Saskatchewan  
By: D.V. Franko S.L.S.  
October 2012 - October 2013 Scale 1:1000**

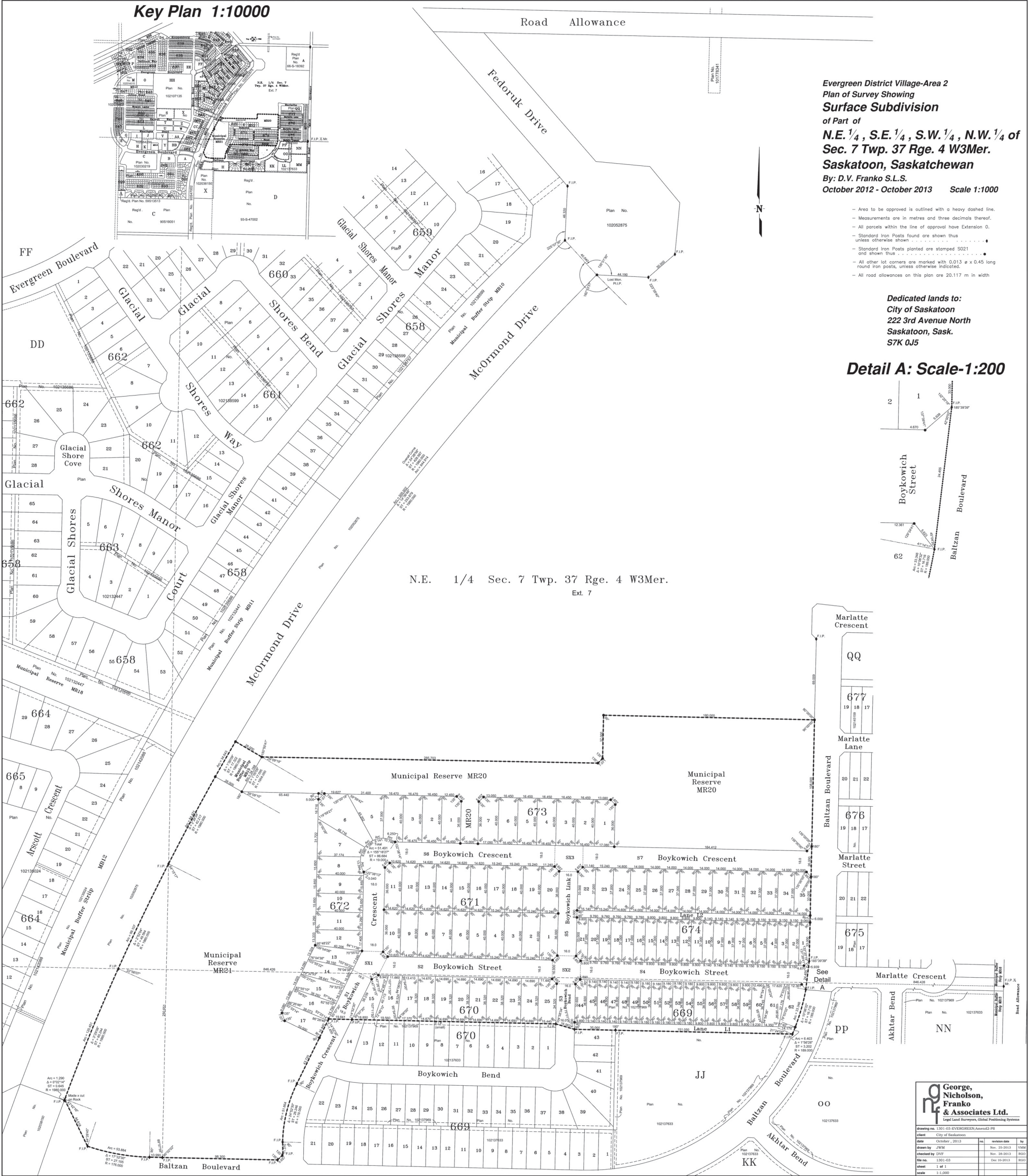
- Area to be approved is outlined with a heavy dashed line.
- Measurements are in metres and three decimals thereof.
- All parcels within the line of approval have Extension 0.
- Standard Iron Posts found are shown thus: unless otherwise shown.
- Standard Iron Posts planted are stamped S021 and shown thus: .
- All other lot corners are marked with 0.013 x 0.45 long iron round posts, unless otherwise indicated.
- All road allowances on this plan are 20.117 m in width.

**Dedicated lands to:  
City of Saskatoon  
222 3rd Avenue North  
Saskatoon, Sask.  
S7K 0J5**

**Detail A: Scale-1:200**



N.E. 1/4 Sec. 7 Twp. 37 Rge. 4 W3Mer.  
Ext. 7



**George, Nicholson, Franko & Associates Ltd.**  
Legal Land Surveyors, Global Positioning Systems

drawing no. 1301-03-EVERGREEN-Area2 PS	client	City of Saskatoon	
date	October, 2013	revision date	by
drawn by	JWM	rev. 25-2013	VSM
checked by	DVF	rev. 28-2013	RSC
file no.	1301-03	rev. 30-2013	BRM
sheet	1 of 1		
scale	1:1,000		

**Evergreen District Village-Area 2**  
**Descriptive Plan Type II Showing**  
**Feature Utility Right of Way**  
affecting

**Municipal Reserve, MR20;Municipal Reserve MR21**  
**Lots 45, 46, 49, 50, 53, 54, 55, 56, 57, 58, and 61, Block 669;**  
**Lots 15 to 25, Block 670; Lots 1 to 11, Block 671;**  
**Lots 1 to 17, Block 672; Lots 1 to 7, Block 673;**  
**Lots 22, 24, 25, 26, 28, 30, 31, 32, and 34, Block 674**  
**Plan No. 102146891**

in N.E. 1/4, S.E. 1/4, S.W. 1/4, of  
Sec. 7 Twp. 37 Rge. 4 W3Mer.  
Saskatoon, Saskatchewan

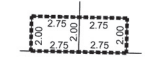
By: D.V. Franko S.L.S.  
December 17th, 2013

Scale 1:1000

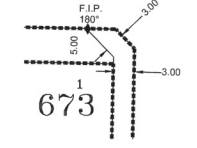
Detail A: Scale-1:200



Detail B: Scale-1:200



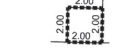
Detail F: Scale-1:500



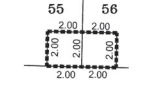
Detail C: Scale-1:200



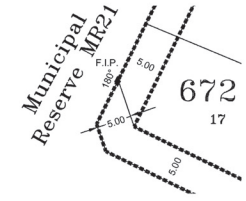
Detail D: Scale-1:200



Detail E: Scale-1:200



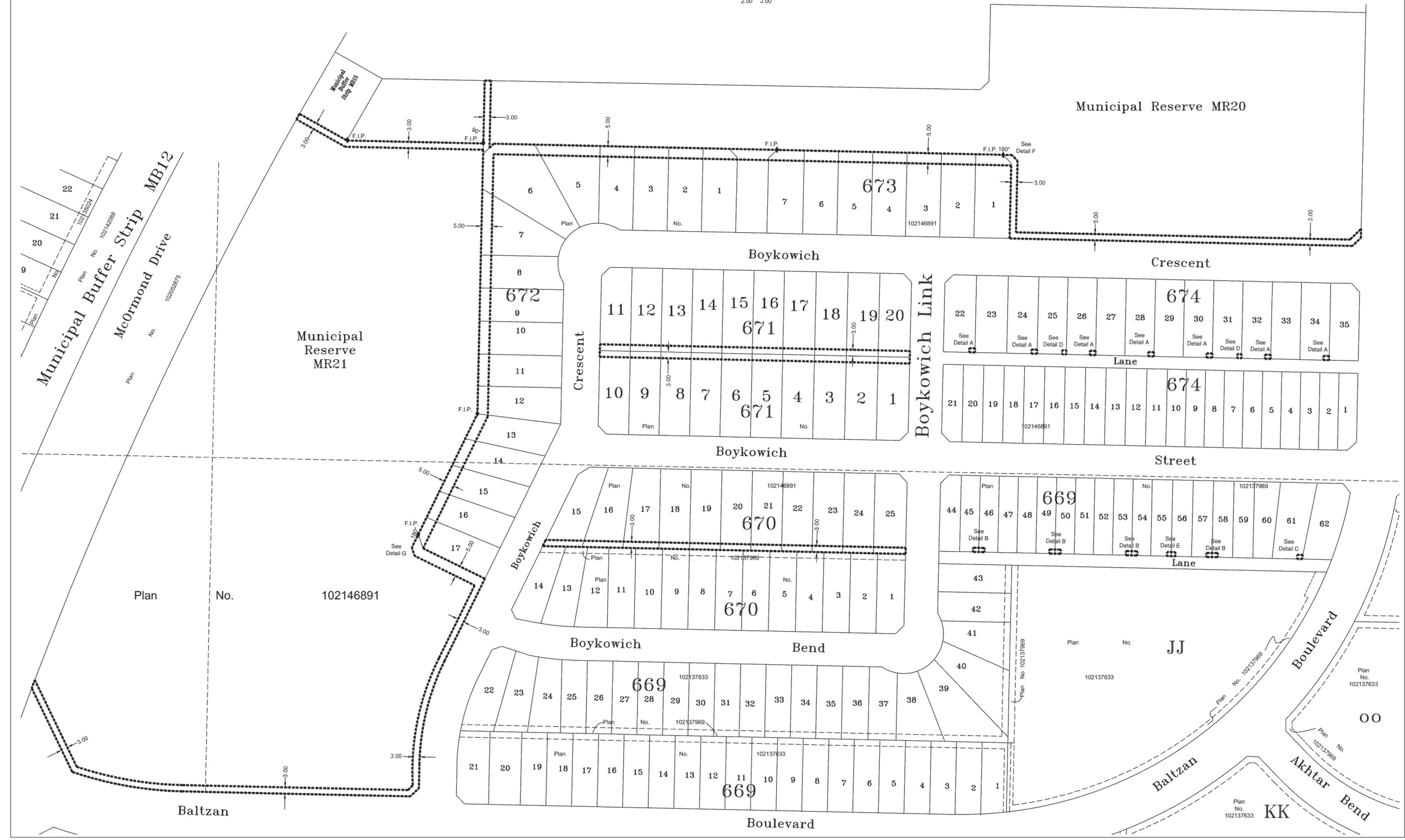
Detail G: Scale-1:500



- Measurements are in metres and three decimals thereof.
- All parcels affected by this feature have Extension O.
- Standard Iron Posts found are shown thus unless otherwise shown . . . . .
- Area to be approved is outlined with a bold dashed line

**George, Nicholson, Franko & Associates Ltd.**  
Legal Land Surveyors, Global Positioning Systems

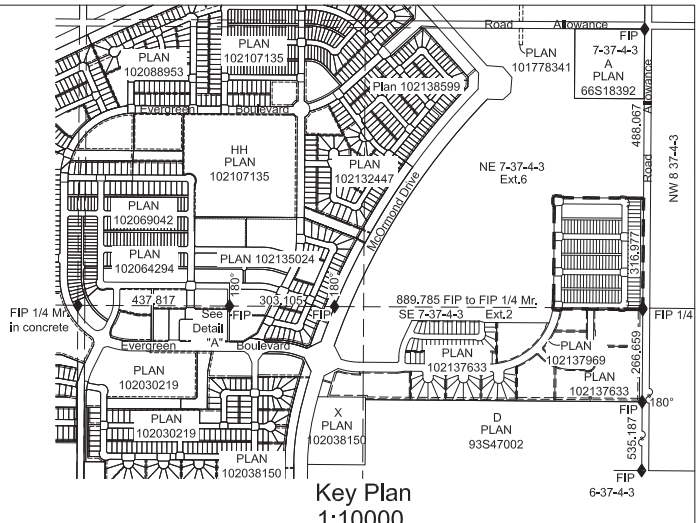
drawing no.	1301-03-EVERGREENA2-DP		
client	City of Saskatoon		
date	Dec, 16, 2013	no.	revision date
drawn by	VMM		Jan-2-2014
checked by	DVF		
file no.	1303-03		
sheet	1 of 1		
scale	1:2000		



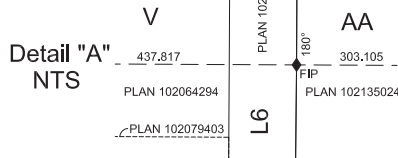
# Plan of Survey

Showing Surface Subdivision of part of the  
 NE 1/4 Sec. 7, Twp. 37, Rge. 4, W3Mer.  
 and part of the  
 SE 1/4 Sec. 7, Twp. 37, Rge. 4, W3Mer.  
 City of Saskatoon  
**Saskatchewan**  
 By: Peter F. Unger S.L.S.  
 August 2013 - September 2013  
 Scale 1:500

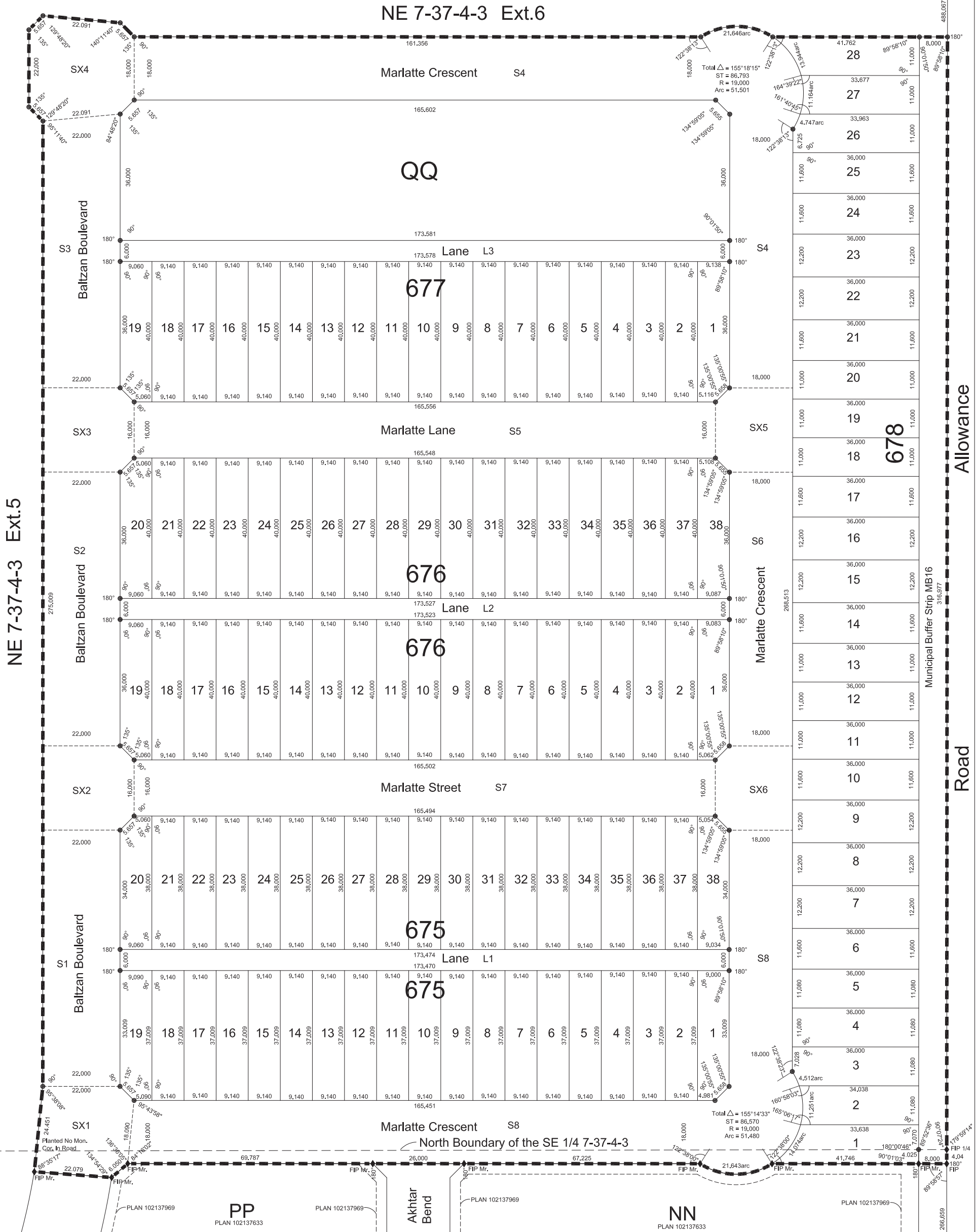
Standard Road Allowances are 20.117m in width.  
 Measurements are in metres and decimals thereof.  
 The Unique Identifier S003 has been stamped  
 on all established standard iron posts.  
 Area to be approved is outlined by a heavy dashed line.  
 All parcels within the line of approval have an  
 Extension of 0 unless otherwise shown.  
 Standard Iron Posts planted are shown thus . . . . . ●  
 Standard Iron Posts found are shown thus . . . . . ◆  
 All lot corners, not marked by a standard post, are marked by 0.013 X 0.450  
 small iron posts.



Digital Planimetrics Inc.



## NE 7-37-4-3 Ext.6



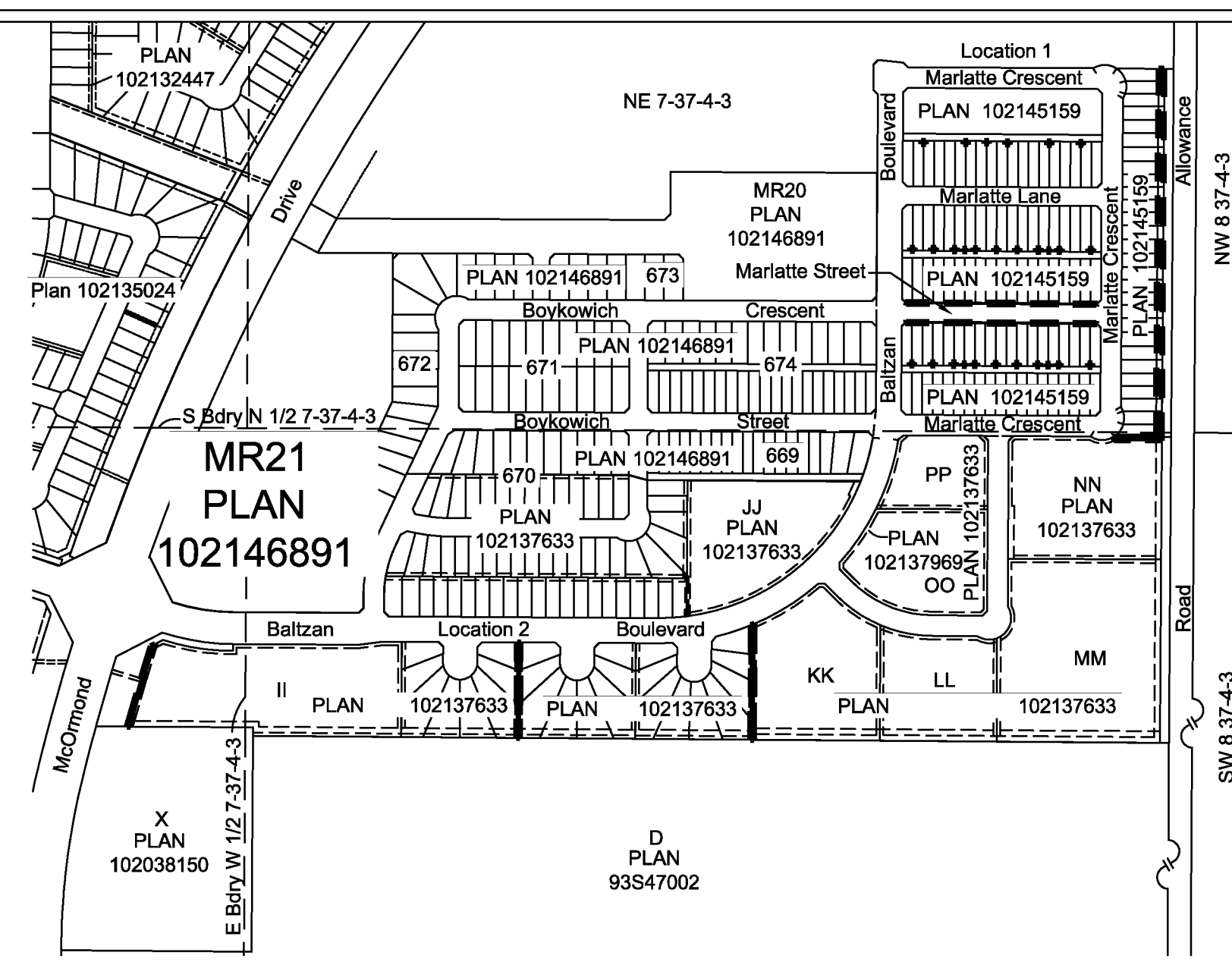
NE 7-37-4-3 Ext.5

Allowance  
 Road  
 Municipal Buffer Strip MB16

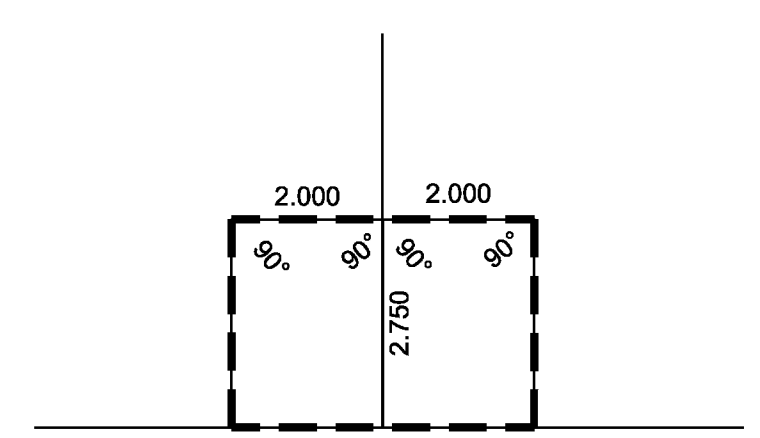
# Descriptive Plan - Type II

Showing Feature Utility Rights of Way in  
 Lots 20 to 38 Block 675,  
 Lots 1 to 35, 37 & 38 Block 676  
 Lots 2 & 3, 5 & 6, 9 to 14, 17 & 18 Block 677  
 Lots 2 to 28 Block 678 Plan 102145159  
 In the NE 1/4 Sec. 7, Twp. 37, Rge. 4, W3Mer.,  
 Lot 1 Block 678 Plan 102145159  
 In the E 1/2 Sec. 7, Twp. 37, Rge. 4, W3Mer.,  
 Parcels NN & KK,  
 Lots 6 to 11 & 22 to 25 Block 668 Plan 102137633  
 In the SE 1/4 Sec.7, Twp. 37, Rge. 4, W3Mer.  
 Parcel II Plan 102137633  
 In the SW 1/4 Sec.7, Twp. 37, Rge. 4, W3Mer.  
 City of Saskatoon  
**Saskatchewan**  
 By: Peter F. Unger S.L.S.  
 November 6, 2013  
 Scale 1:1000

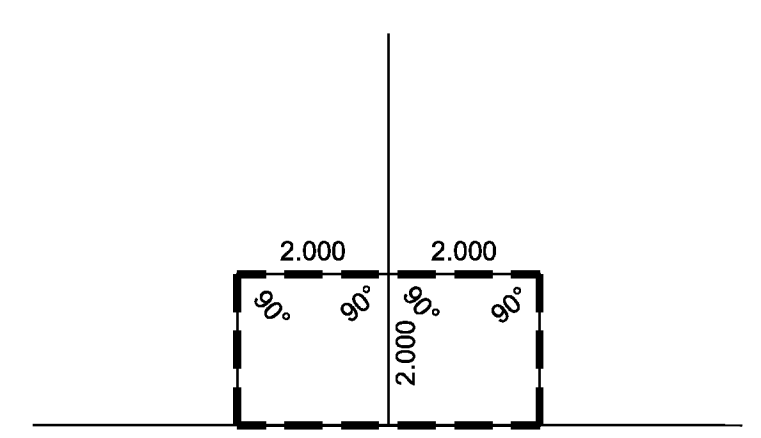
Measurements are in metres and decimals thereof.  
 Standard Iron Posts found are shown thus  $\phi$   
 Area to be approved is outlined by a heavy dashed line.  
 All parcels affected by this plan have Extension 0  
 unless otherwise shown.  
 Width of right of way is 5.0m unless otherwise shown.  
 New Right of Way limits are straight lines unless otherwise shown.



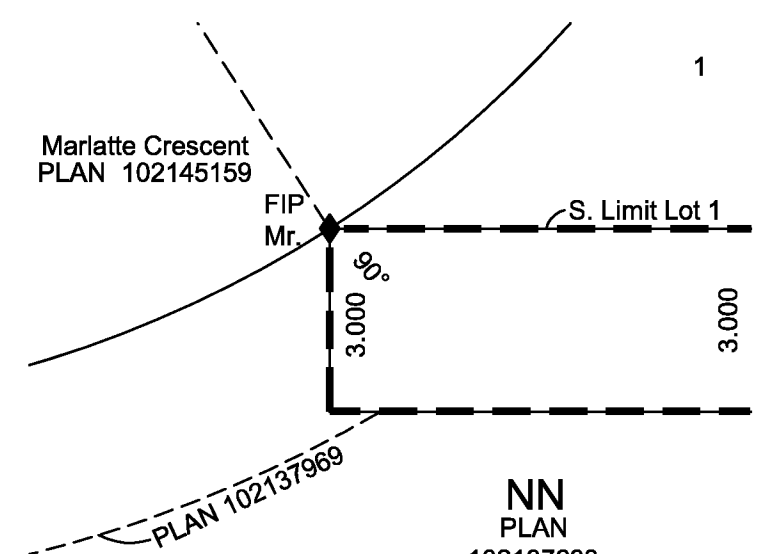
Key Plan  
1:5000



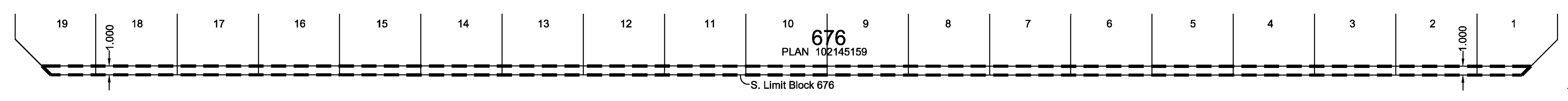
Typical Detail 'A'  
Scale 1:100



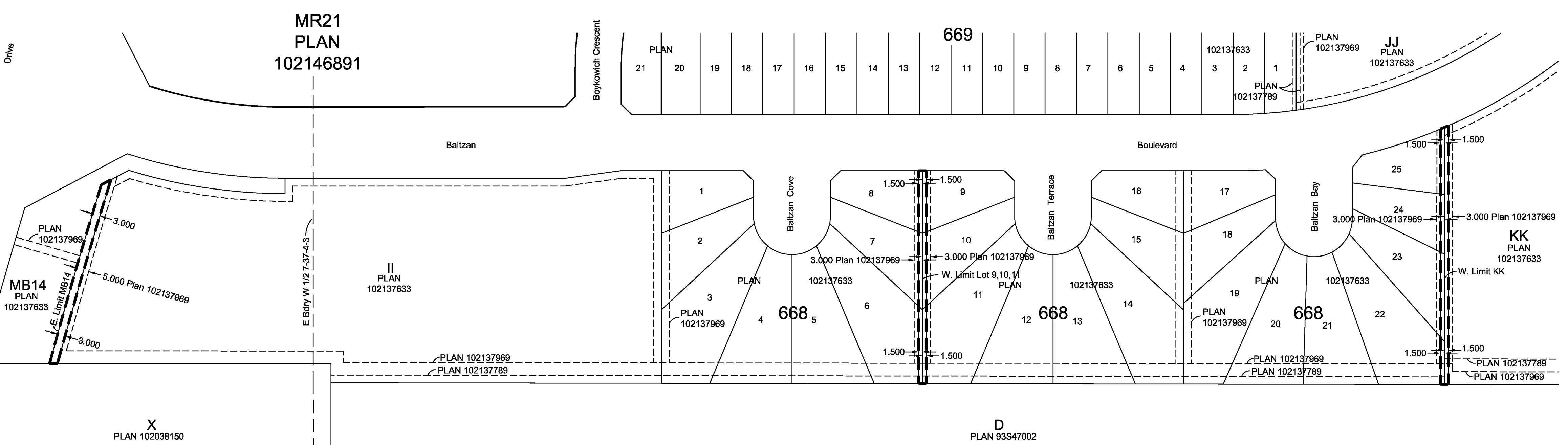
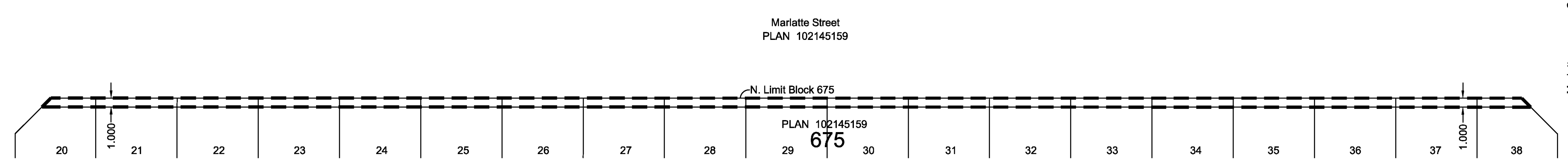
Typical Detail 'B'  
Scale 1:100



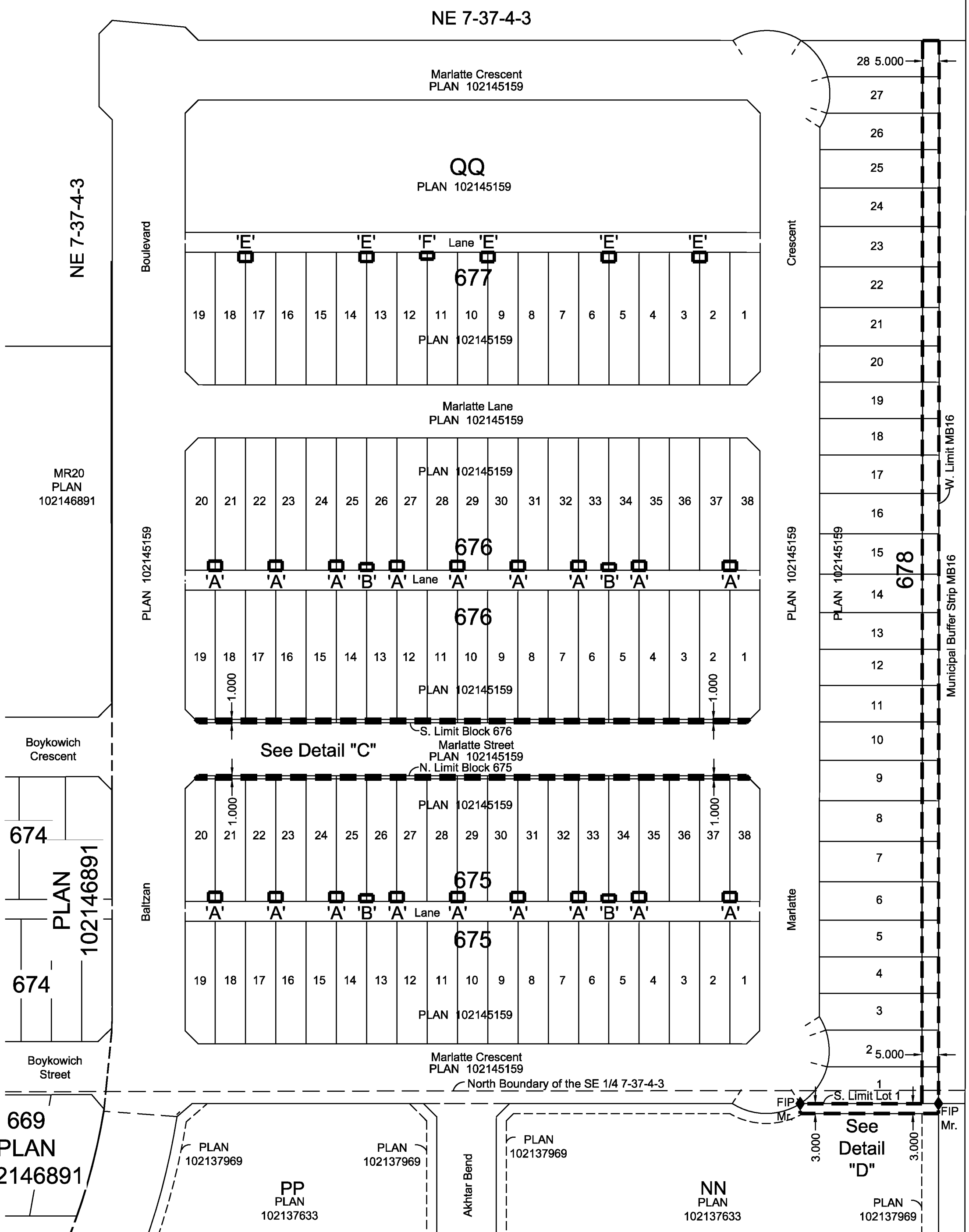
Detail 'D'  
NTS



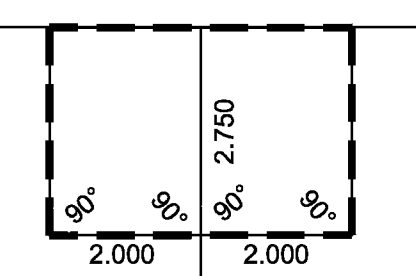
Detail 'C'  
NTS



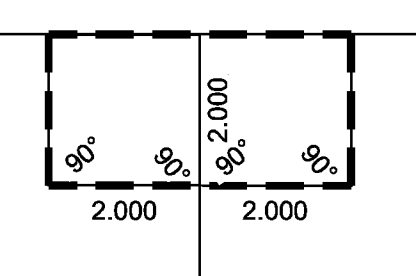
Location 2  
Scale 1:1000



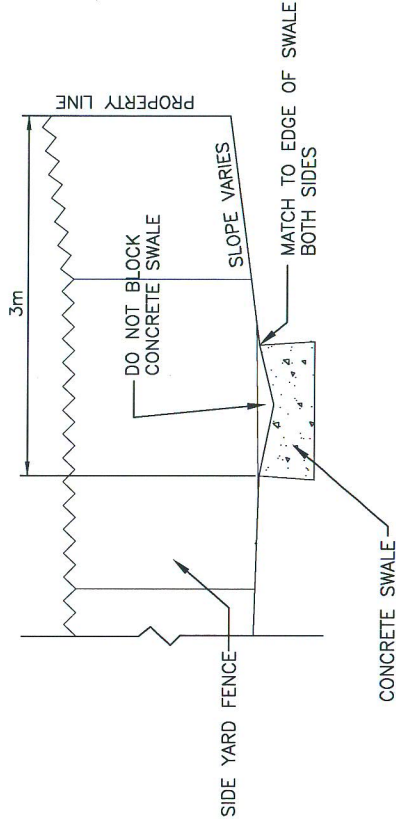
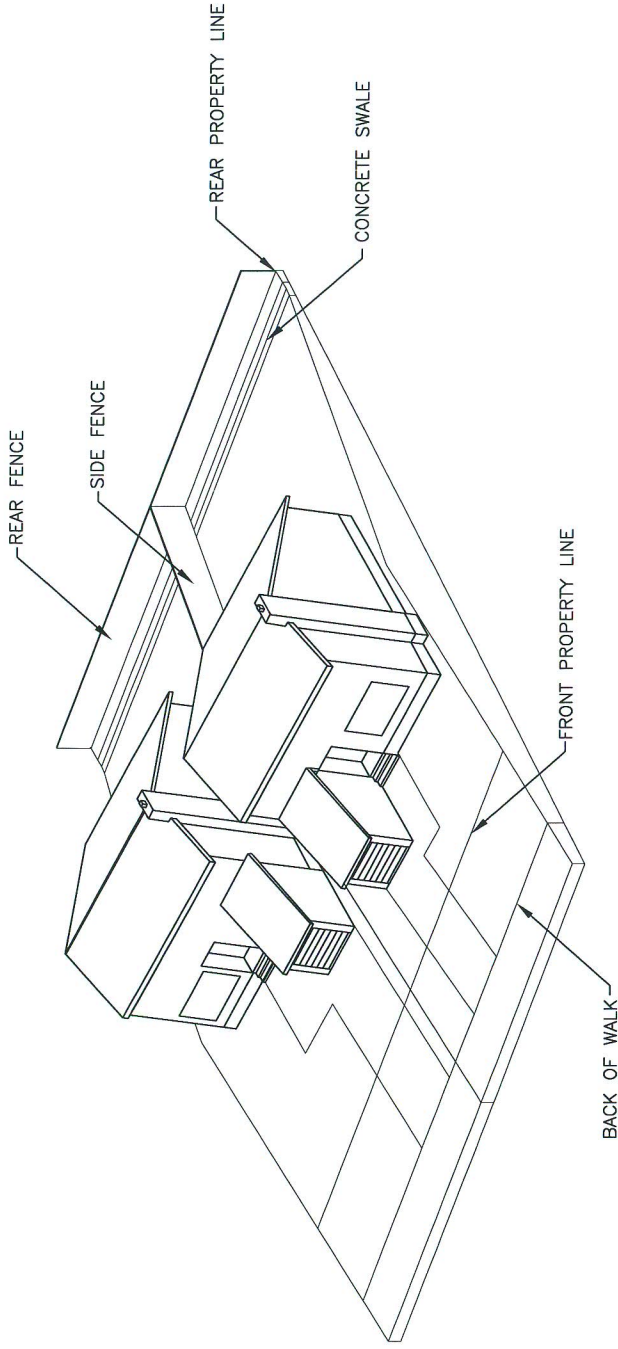
Location 1  
Scale 1:1000



Typical Detail 'E'  
Scale 1:100



Typical Detail 'F'  
Scale 1:100



SIDE YARD FENCE  
N.T.S.

PLAN DESCRIPTION/REVISIONS	
4	
3	
2	CHANGED TITLE BY RWDT
1	CREATED BASE PLAN
DRAWN BY LMD	
DATE 2010-SEP-20	
SCALE : HOR. N.T.S.	VERT. N.T.S.

**City of Saskatoon**  
Infrastructure Services Department

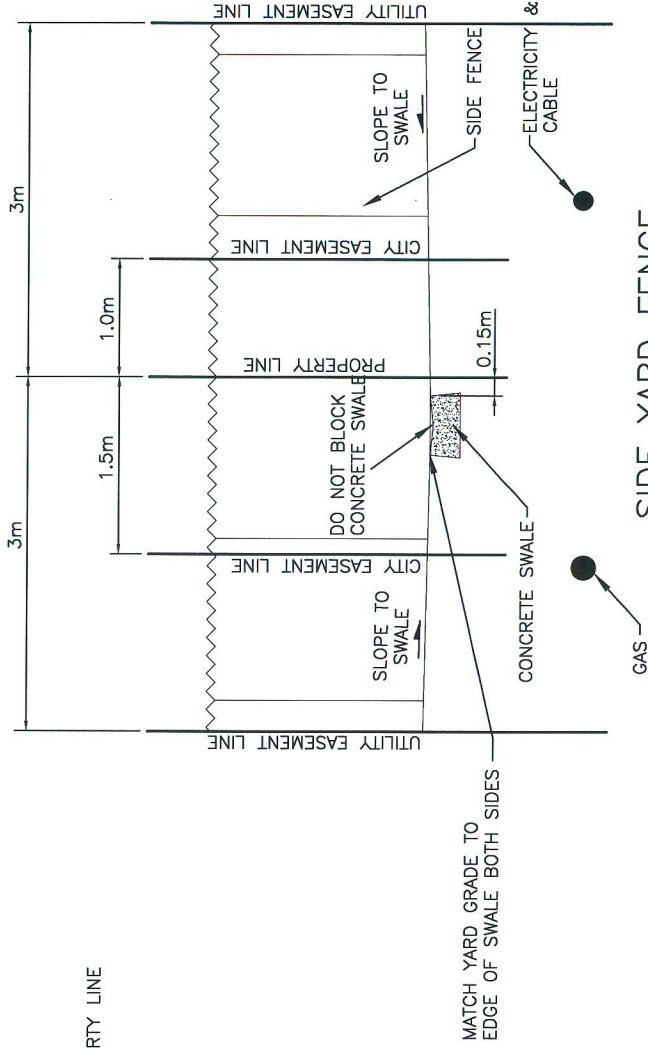
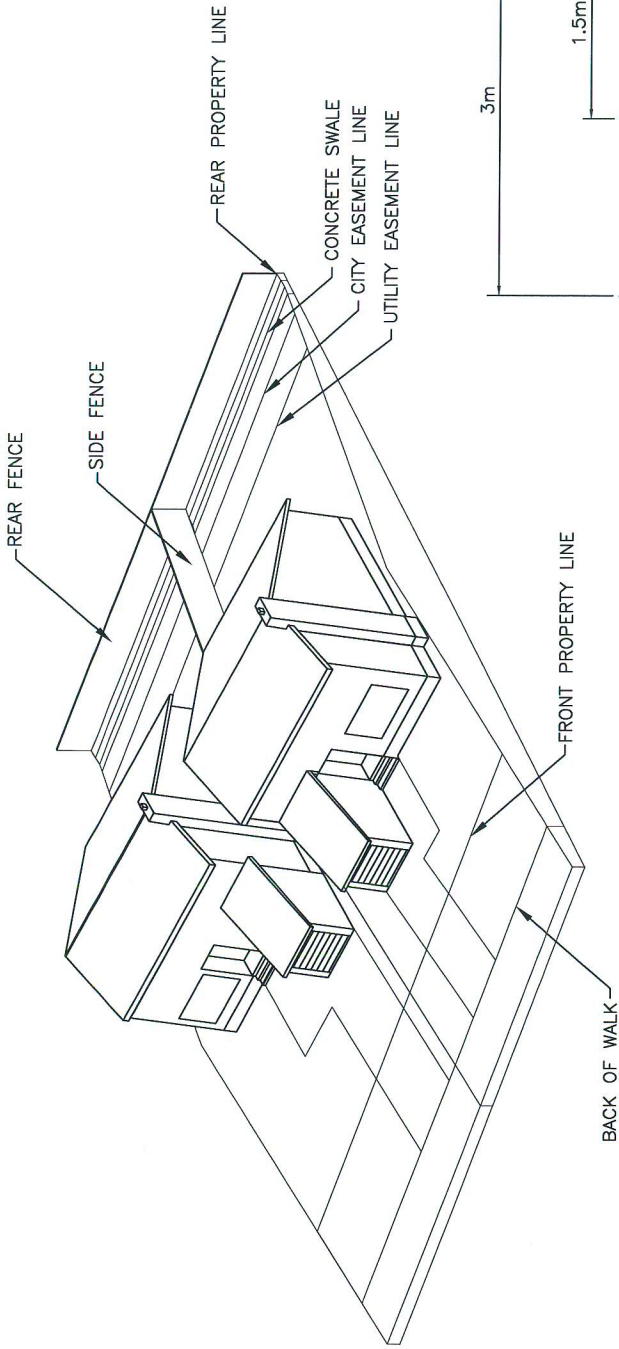
BACK YARD  
CONCRETE DRAINAGE SWALE ALONG  
AG CANADA LAND IN EVERGREEN

APPROVED

GENERAL MANAGER

ENGINEER

PLAN NO. 102-0022-020r002



**NOTES:**

1. UTILITIES SHALL BE PLACED WITHIN THE UTILITY EASEMENT, BUT NOT WITHIN THE CITY EASEMENT.
2. THE CONCRETE SWALE SHALL BE BUILT 0.15m FROM THE REAR PROPERTY LINE WITHIN THE 1.5m CITY EASEMENT.
3. UTILITY LOCATIONS MAY VARY

**SIDE YARD FENCE**  
N.T.S.

PLAN DESCRIPTION/REVISIONS	
4	
3	
2	
1	



**City of Saskatoon**  
Infrastructure Services Department

BACK YARD  
TYP. CONCRETE DRAINAGE SWALE

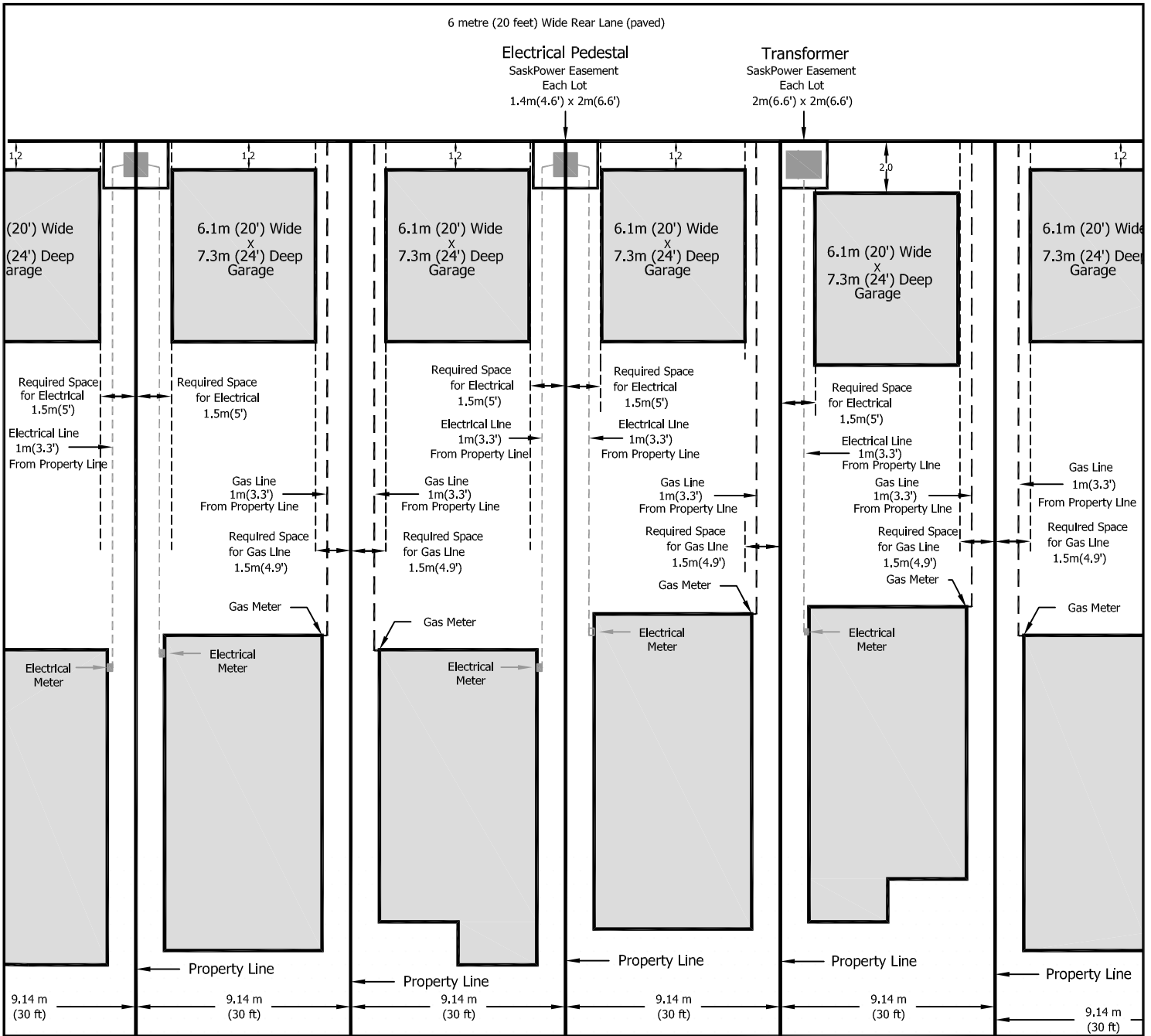
APPROVED  
*[Signature]*  
GENERAL MANAGER

ENGINEER  
*[Signature]*

SCALE : HOR. N.T.S. VERT. N.T.S.
PLAN NO. 102-0022-023r001

# Typical Servicing From Lane

## SaskPower and SaskEnergy Underground Lines



Street Right-of-Way

**Please note:**

- This drawing is intended as a guide only. For more accurate and detailed information, specific to your property, please contact the respective utilities and the City of Saskatoon's Building Standards Branch.
- For the purpose of this illustration, each lot is shown as 9.14m (30 ft) wide and 38m (125 ft) deep.
- A garage, or other accessory building may not be built over the natural gas line or electrical service.
- The Land Branch takes no responsibility regarding the legality of the building layout on your lot.



Customer Service  
408-36<sup>th</sup> Street East  
Saskatoon, SK S7K 6K8

2011 November

Our File: 156127

**Attention: Evergreen Property Owners**

To Whom It May Concern:

**RE: Residential Lots with Alleys - Stubbed Lots**

Under the servicing requirements set forth by the City of Saskatoon Land Branch, SaskEnergy has installed a partial natural gas service (service stub) into your lot for future home servicing.

At the time of installation, SaskEnergy crews marked the end of this service stub with a 75 mm (3") diameter post in order that the future property owner would have a visual indication as to its approximate location. There is no guarantee that this post has remained nor, through acts of others, been relocated or tampered with. Therefore a line locate is required to determine its actual position.

**Please note:**

- 1) **No** permanent structures including, but not limited to, buildings, foundations, fences, decks, etc. are permitted within 500 mm (20") of the service/stub per Article 36 of the SaskEnergy Act;
- 2) Where the above noted conditions cannot be satisfied, the Property Owner will be responsible for the costs to relocate the existing SaskEnergy facilities such that these conditions can be satisfied or rendered moot;
- 3) The SaskEnergy Act requires that its facilities be located and marked prior to commencing any excavation activities. **Please contact Sask 1<sup>st</sup> Call at 1-866-828-4888 a minimum of five (5) working days prior to work commencing.**

It is strongly recommended that prior to finalizing plans, locates are completed and the necessary steps are taken to avoid encroaching on SaskEnergy facilities. As stated above in paragraph 3, please call Sask 1<sup>st</sup> Call at 1-866-828-4888 for locating of SaskEnergy facilities.

Regards,

**SASKENERGY INCORPORATED  
SASKATOON AREA OFFICE**





# Science and Innovation



## Saskatoon Research Centre

### Saskatoon, Saskatchewan

The Saskatoon Research Centre (SRC) is one of Agriculture and Agri-Food Canada's network of 19 research centres. The Centre, located in the heart of the Prairie Region in Saskatoon, Saskatchewan, conducts research on Prairie crops to support the agri-food industry in western Canada. In addition, it is a major location for research and development in agricultural biotechnology. The Centre is also home to the Plant Gene Resources of Canada and the Canadian Animal Genetic Resources Program, which have national mandates to protect and conserve Canada's national germplasm collections.

The SRC has a principal location on the campus of the University of Saskatchewan and also operates research farms at Scott and Melfort, Saskatchewan. The Melfort Research Farm develops sustainable crop production systems for the black and grey soil zones of the northern prairies. The Scott Research Farm focuses on developing environmental and economic sustainability systems for oilseeds, cereals, pulses and forage crops.

### Areas of Research

The SRC conducts major research and development in agricultural biotechnology, value-added crop processing, crop breeding and ecological crop protection, and the control of insect and weed pests in major crops. SRC's research activities and investments are planned and developed so new discoveries and knowledge can form the basis for sector innovation.

### Crop Production and Integrated Management Practices for the Canadian Prairies

- Studying land resources, such as soil fertility, and reducing the impact of herbicides on the environment
- Conserving, documenting and distributing plant and animal germplasm
- Managing weeds, insects and plant diseases through innovative technologies
- Achieving sustainable production for the Canadian Prairies through better cropping practices

### Developing and Transferring New Technologies

- Improving oilseed and forage crops by developing new germplasm
- Discovering new processes and products to expand the use of crops grown on the Prairies
- Encouraging a greater use of Brassica oilseeds as industrial crops through appropriate technology transfer
- Improving Brassica oilseeds by increasing tolerance to cold, drought and salt stress, and increasing resistance to diseases and pests

## Facts, Figures and Facilities

- 52 scientists and a total staff of more than 350
- Located on the campus of the University of Saskatchewan, in the city of Saskatoon, Saskatchewan
- Research farms at Scott (340 hectares) and Melfort (370 hectares) with an additional field site at Saskatoon (265 hectares)
- Location for the Plant Gene Resources of Canada and the Canadian Animal Genetic Resources Program repositories of plant and animal genetic materials
  - 110,000 specimens including the world base collections of barley and oat
- Plant herbarium and insect reference collection

## Good Neighbour Policy

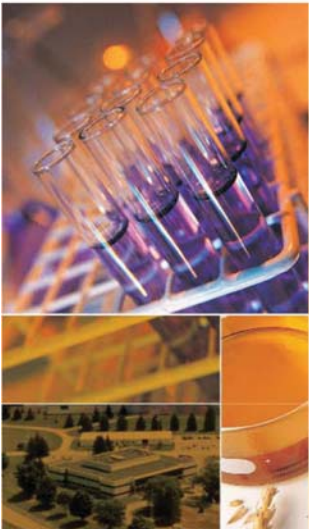
The SRC wishes to maintain good relations with the owners of residential properties that abut AAFC farmland. The SRC will preserve from failure or decline the existing tree line and chain-link fencing between it and Evergreen. SRC activities on land surrounding this neighbourhood are consistent with normal farm operations.

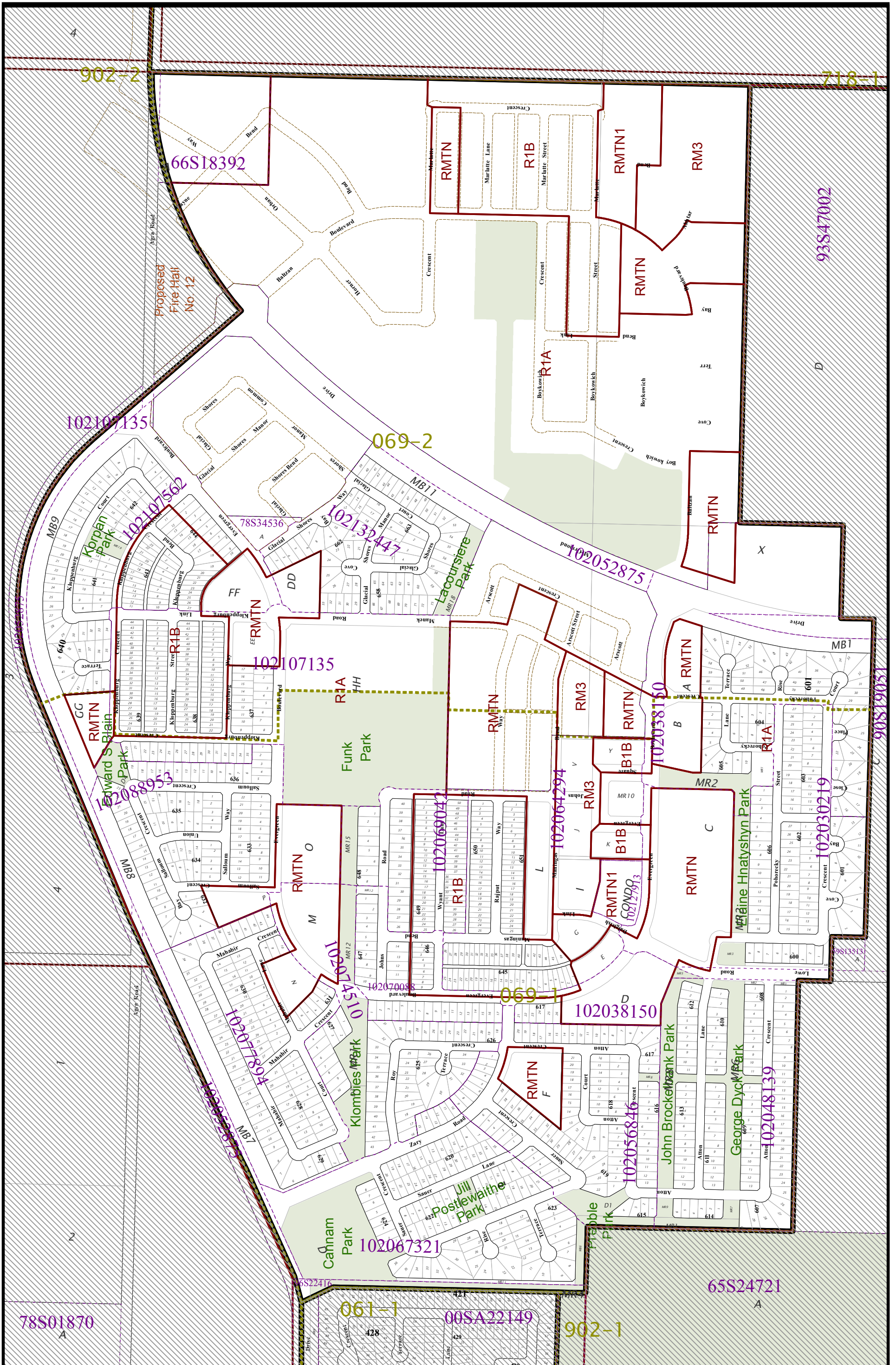
These operations include the composting of common field crop materials, with their subsequent integration into the soil, and the spraying of pesticides on crops at various stages of plant development. The spreading of compost materials usually occurs in the late spring. The spraying of pesticides is carried out in accordance with standard industry and safety protocols, which take into account spray concentration and wind velocity. Both compost and pesticide application may emit odors, which may be offensive. The creation of dust is normal throughout the season and particularly at harvest, when chaff may also be present.

## Contact us

107 Science Place  
Saskatoon, Saskatchewan  
S7N 0X2  
Tel.: 306-956-7200  
Fax: 306-956-7248

[www.agr.gc.ca/scienceandinnovation](http://www.agr.gc.ca/scienceandinnovation)



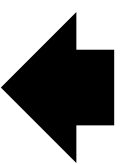


# Zoning map of Evergreen

Scale 1:6,400

069-0

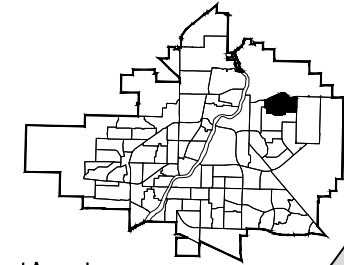
Sep 30, 2013





# EVERGREEN

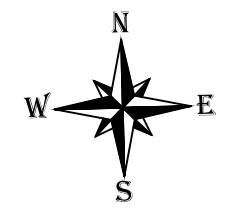
Northeast Swale  
Preserved Natural Lands



Proposed Access to  
Future Neighbourhood  
Aspen Ridge



- Single Family
- Low/Medium Density Multiple-Unit Dwelling  
D = Dwelling Group Townhouse  
ST = Street Townhouse
- Medium/High Density Multiple-Unit Dwelling
- Residential Type II Care Home
- Mixed Use
- Commercial
- Institutional
- Future Development
- Community Centre & Possible Schools
- Core Parks, Drainage Areas and Linear Parks
- Buffers and Open Space



Note: The Land Branch does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Plan of Survey. This plan is not to scale. Distances are in metres unless shown otherwise. This is not a legal plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. For verification please check with the appropriate authority. Do not scale.

University of Saskatchewan Kernan Farms



# EVERGREEN Phase 8 Lot Information Map

281 Lots - Boykowich Crescent, Street, & Bend; Baltzan Boulevard, Cove, Terrace, & Bay; Marlatte Crescent, Lane & Street



- Legend:**
- Civic Addresses 1234
  - Previous Development
  - Residential Care Home Type II
  - Multi-Family Parcels (Medium/High Density)
  - Multi-Family Parcels (Low/Medium Density)
  - Lots with no roof slope req.
  - Easement 1.5m
  - Easement 3m
  - Easement 5m
  - City Water & Sewer
  - Concrete Swale
  - Proposed Bus Stop
  - Mail Boxes
  - Existing Chain Link Fence
  - Decorative Fence
  - Corner Garage Location
  - Garage Location
  - Walk-out Units
  - Transitional Units
  - Concrete Pad
  - Fire Hydrant
  - Temporary Water Circulator
  - Transformer(2.0m x 2.0m)
  - Utility Pedestal (2.75m x 2.0m)
  - Light Standard
  - Utility Corridor
  - 138KV Overhead Power Line



City of Saskatoon  
AF - Saskatoon Land - May 2014

Note: The Land Branch does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Plan of Survey. This plan is not to scale. Distances are in metres unless shown otherwise. This is not a legal plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. For verification please check with the appropriate authority. Do not scale.

Pricing subject to City Council Approval