

**Addendum 1
Kensington Grouped Lot – Open Market Sale**

NEIGHBOURHOOD: Kensington

Addendum No.: 1.

Page: 1 of 1.

Date: August 3, 2017

Earth Disposal

Kensington Grouped Lot Open Market Sale – Earth Disposal

Earth Disposal

Contractors and individuals will be responsible for disposing of their own excess earth material. The clean fill site located at the 33rd Street West/Kensington Boulevard intersection has been closed and will not be reopened.

The City of Saskatoon Landfill will accept clean fill during normal hours of operation, 7:30 a.m. – 5:30 p.m. daily.

If arrangements are made with another landowner to dispose of the material anywhere within the city limits, they are to contact Central Dispatch at 306-975-2491 and they will maintain a log of locations. If disposing of material outside the city limits within the RM of Corman Park, the RM must be notified of those arrangements. Please ensure basement excavations and all other construction waste materials are not deposited on adjacent properties or any other properties in this area without prior arrangements being made.

Regular inspections of the area will be done and any individual or company found illegally disposing of materials on properties without the owner's permission shall be liable of fines up to \$25,000 as outlined in City of Saskatoon Waste Bylaw No. 8310.



Kensington Group Lot - Open Market Sale Lot Information Package



- 85 single-family lots
- Traditional lots, with rear lane access
- Executive, linear park backing lots
- Lots to accommodate a wide range of house sizes and plans
- Eligible for Saskatoon Land's Payment Term, Driveway and Landscaping Rebate Incentive Program



For more information, contact Saskatoon Land at 306-975-3278.

saskatoonland.ca

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ATTACHMENTS

1	Purchaser Application Form
2	Architectural Review Guidelines
3	Architectural Review Application Form





Kensington

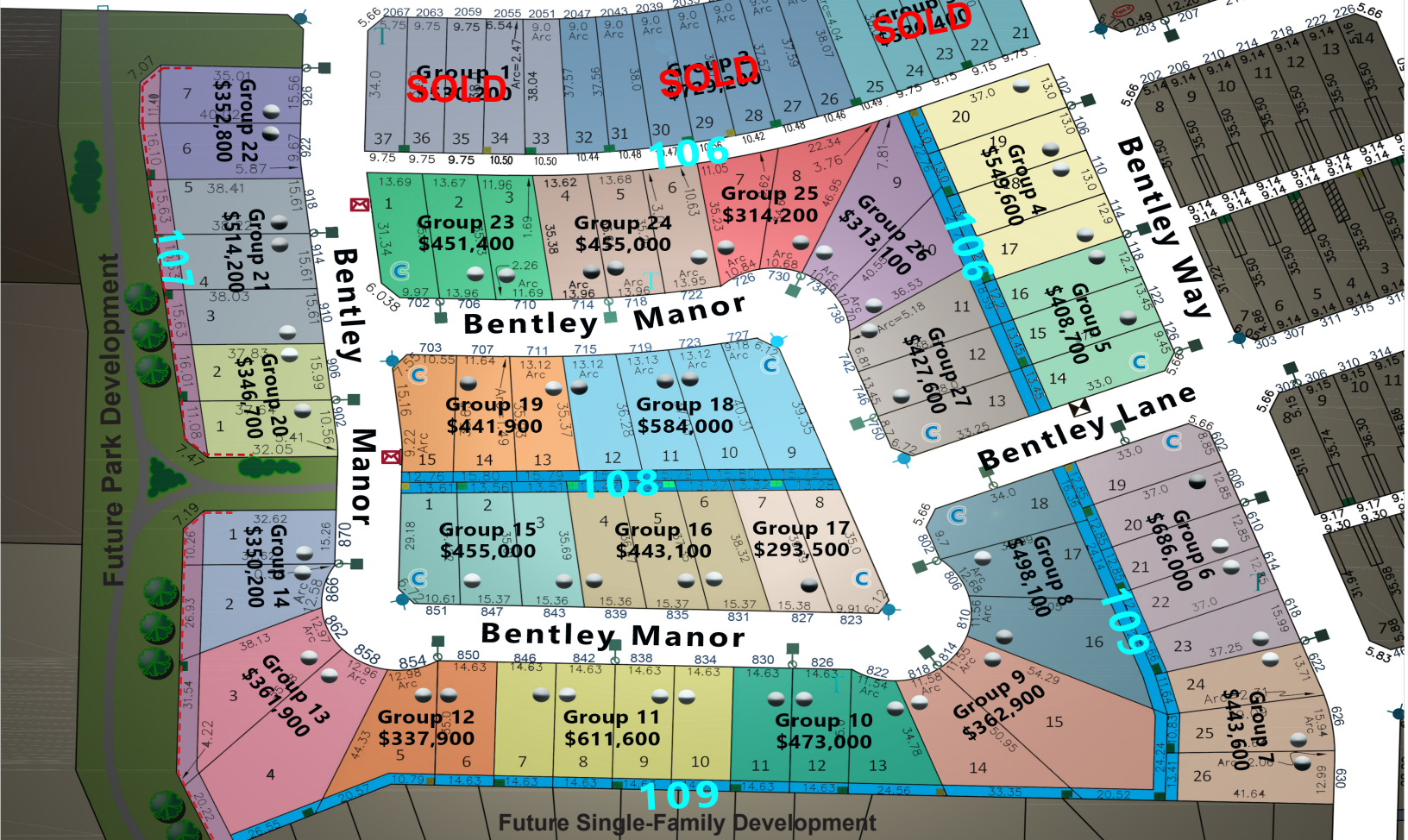
* The sale of individual lots may be considered at the discretion of Saskatoon Land. Prospective purchasers are advised to contact Saskatoon Land for individual lot prices.

Stromberg Crescent

Private Development (single-family)

Legend

- 5m easement
- 3m easement
- Garage side
- Corner Garage Placement
- Utility Pedestal
- Transformer
- Temporary Water Hut
- 107 Block #
- Street Light
- Transit Stop
- Mail Box
- Group 1 \$123 Grouping and Asking Price
- Decorative Aluminum Fencing



KENSINGTON SINGLE-FAMILY LOTS GROUPED LISTINGS*

Group	Lot	Block	Group Price
1	33	106	\$530,200
	34	106	
	35	106	
	36	106	
	37	106	
2	26	106	\$729,200
	27	106	
	28	106	
	29	106	
	30	106	
	31	106	
	32	106	
3	21	106	\$520,400
	22	106	
	23	106	
	24	106	
	25	106	
4	17	106	\$549,600
	18	106	
	19	106	
	20	106	
5	14	106	\$408,700
	15	106	
	16	106	
6	19	109	\$686,000
	20	109	
	21	109	
	22	109	
	23	109	
7	24	109	\$443,600
	25	109	
	26	109	
8	16	109	\$498,100
	17	109	
	18	109	
9	14	109	\$362,900
	15	109	

Group	Lot	Block	Group Price
10	11	109	\$473,000
	12	109	
	13	109	
11	7	109	\$611,600
	8	109	
	9	109	
12	5	109	\$337,900
	6	109	
13	3	109	\$361,900
	4	109	
14	1	109	\$350,200
	2	109	
15	1	108	\$455,000
	2	108	
	3	108	
16	4	108	\$443,100
	5	108	
	6	108	
17	7	108	\$293,500
	8	108	
18	9	108	\$584,000
	10	108	
	11	108	
	12	108	
19	13	108	\$441,900
	14	108	
	15	108	
20	1	107	\$346,700
	2	107	
21	3	107	\$514,200
	4	107	
	5	107	
22	6	107	\$352,800
	7	107	

* The sale of individual lots may be considered at the discretion of Saskatoon Land. Prospective purchasers are advised to contact Saskatoon Land for individual lot prices.



GROUPED LISTINGS

(CONTINUED)*

Group	Lot	Block	Group Price
23	1	106	\$451,400
	2	106	
	3	106	
24	4	106	\$455,000
	5	106	
	6	106	
25	7	106	\$314,200
	8	106	
26	9	106	\$313,100
	10	106	
27	11	106	\$427,600
	12	106	
	13	106	

GROUPED SINGLE-FAMILY LOTS FOR SALE - OPEN MARKET SALE (STANDARD TERMS)

Non-binding offers submitted to the Sales Section, Saskatoon Land, 201 3rd Avenue North, Saskatoon, SK S7K 2H7 and plainly marked on the envelope "Open Market Sale - Grouped Lots" will be accepted by Saskatoon Land. The subject sites are identified in Figure 1.

INSTRUCTIONS TO PARTIES

Interested parties are required to submit a completed Purchaser Application Form (Attachment 1) which indicates the desired lot groupings and offer prices for each grouping.

The submission of offers is non-binding and in no way obligates the applicant to purchase the property in question and is not in any way binding upon Saskatoon Land. It is for information purposes only. Saskatoon Land will review the form and contact interested parties to confirm whether or not Saskatoon Land will consider the application for further negotiation.

Saskatoon Land reserves the right to negotiate with only those parties it determines, at its sole discretion. Saskatoon Land also reserves the right to amend or abandon any property listing without accepting any Purchaser Application Form. Once Saskatoon Land has entered into negotiations with interested parties, offer acceptance will be subject to compliance with the terms and conditions listed on Page 8 of this document.

SASKATOON LAND INCENTIVE PROGRAM

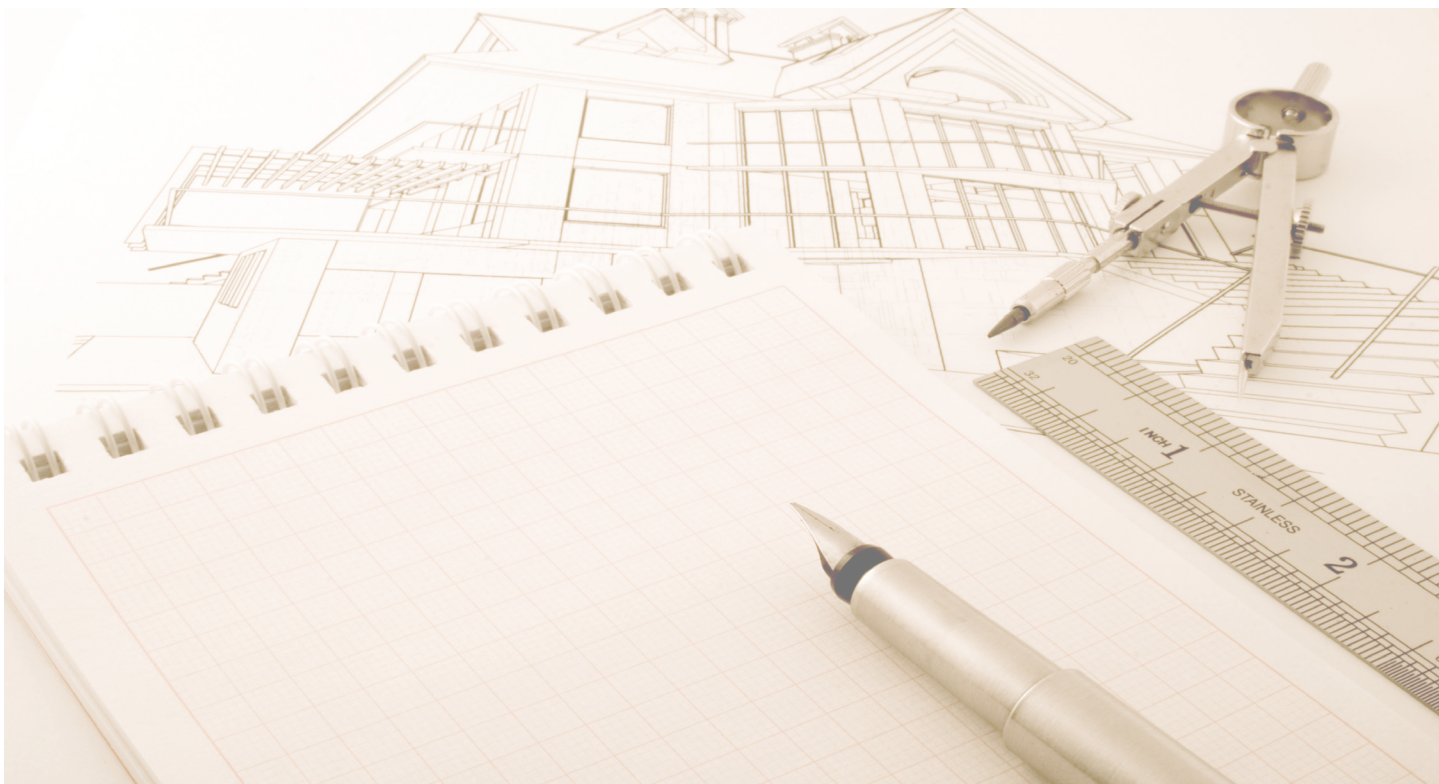
Lots purchased through this open market sale will be eligible for Saskatoon Land's Incentive Program which includes competitive financing options on lot sales and cash back rebates for the completion of front yard landscaping and front driveway surfacing within prescribed time frames.

For further details on Saskatoon Land's Incentive Program, please visit:

www.saskatoon.ca/business-development/land-development/residential-lots/incentive-program

* The sale of individual lots may be considered at the discretion of Saskatoon Land. Prospective purchasers are advised to contact Saskatoon Land for individual lot prices.





ARCHITECTURAL REVIEW PROCESS

For the lots being offered for sale in this development phase, Saskatoon Land has selected a Craftsman architectural theme. Successful proponents are required to have house plan designs reviewed by Saskatoon Land for consistency with Saskatoon Land's Craftsman Architectural Guidelines (Attachment 2).

Saskatoon Land's approval of building plans is required prior to the submission of a Building Permit Application. Builders are encouraged to meet with Saskatoon Land during the design stage to avoid potential delays.

The following information must be submitted to Saskatoon Land prior to the submission of a Building Permit Application:

- Completed application form (Attachment 3);
- One hard or digital copy of the working drawings, including site plan, floor plan, and building elevations. All exterior building materials must be identified on the plans.

To avoid delays, application forms and building plans should be submitted to Saskatoon Land well in advance of applying for a building permit. Incomplete submissions will be returned without review. Plans will be reviewed for adherence to the guidelines. Saskatoon Land may conduct meetings with applicants to discuss any significant revisions. Plans submitted will be reviewed by Saskatoon Land's Design Review Committee (DRC) to ensure that proposed plans meet the intent of these guidelines.

Upon approval of the drawing set, Saskatoon Land will issue an approval letter to the applicant. Following this, builders may apply for their respective building permit. At the building permit stage, Saskatoon Land will review the building permit drawings to ensure they are substantially consistent with the plans submitted during the review process.

Upon construction completion, Saskatoon Land will inspect the project to ensure it is in substantial accordance with the approved plans. Builders/homeowners will be responsible for correcting any deficiencies to building elevations which deviate from the approved building permit plans.



ATTACHED GARAGES AND PLACEMENT

In addition to the architectural review process, builders must construct a minimum double-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 5.4 metres wide and 6.0 metres long.

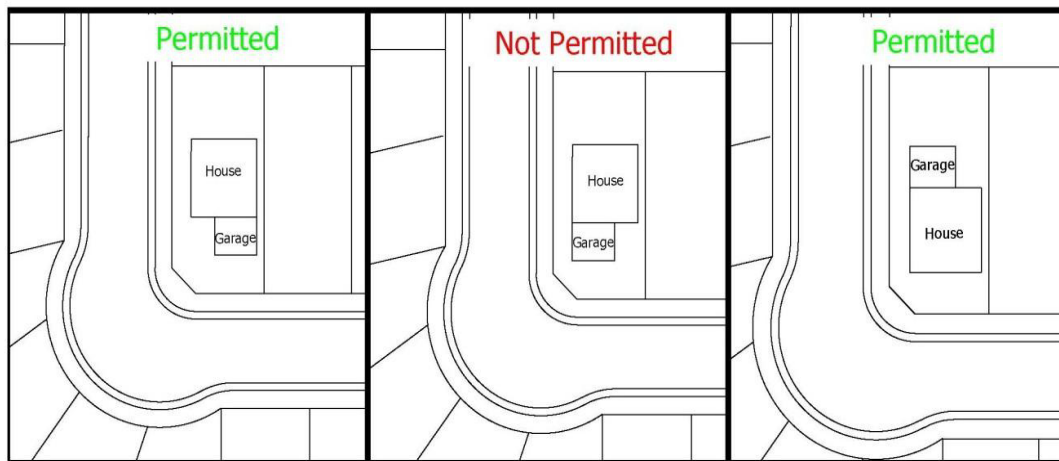
All lots within this development phase require an attached garage with the exception of Lot Groupings 1, 2, and 3.

Figure 1 specifies which side of the lot the garage must be located. Garage sides are generally paired together along a common property line to facilitate an enhanced streetscape and improved sight lines.

CORNER GARAGE PLACEMENT REQUIREMENTS

All corner lots that require an attached garage must locate the garage on the side of the property that is furthest from the intersection. Figure 2 demonstrates permitted options for attached garage placement on a corner lot.

Figure 2 - Corner Lot Attached Garage Placements



DETACHED GARAGE REQUIREMENTS

For Lot Groupings 1, 2, and 3, a concrete garage pad must be constructed with access from the rear lane only. The concrete garage pad must be constructed at the same time as the dwelling is built with a minimum dimension of 6 metres wide and 6 metres long. The concrete pad shall be located at a minimum of 1.2 metres from the rear property line, and include a paved apron that connects it to the property line.

ZONING INFORMATION

Lots within groupings 4 - 27 are zoned R1A District in City of Saskatoon Bylaw No. 8770 (Zoning Bylaw). Lots within groupings 1 - 3 are zoned R1B District in the Zoning Bylaw.

Bidders and interested parties are advised to consult with the Planning and Development Division at 306-975-2645 as to details regarding applicable zoning provisions.



TERMS & CONDITIONS

1. Deposit/Possession:
 - i) Deposit amount of 13% is due within five (5) business days of offer acceptance.
 - ii) 0% interest for the first twelve (12) months of the lots being under an Agreement for Sale.
 - iii) Full payment of the lot is due in twelve (12) months.
 - iv) After twelve (12) months, a further payment of 5% on the purchase price is required to extend an additional four (4) months.
 - v) The purchaser shall have the right of possession upon the effective date of the Agreement for Sale.
2. Conditions Precedent:
 - i) Approval of the sale by the CFO/General Manager, Asset and Financial Management Department.
3. Special Terms and Conditions:
 - i) The property is sold “as is” and the purchaser shall assume all responsibility and liability including any environmental matters existing as of the closing date.
 - ii) Development on these lots will be reviewed for consistency with Saskatoon Land’s Craftsman Architectural Guidelines and development controls.
 - iii) Upon entrance into the Agreement for Sale, lot purchases will be considered final sales. Return of any of the lots will not be permitted.
 - iv) Builders must be in good standing on Saskatoon Land’s Eligible Contractor List.
 - v) The purchaser covenants and agrees to construct a dwelling on each lot, with the dwellings being completed within three years of the effective date of the Agreement for Sale as evidenced by a substantial completion of the dwelling unit.
 - vi) The purchaser further agrees to grant the City of Saskatoon, Saskatchewan Telecommunications, Saskatchewan Power Corporation, SaskEnergy Incorporated, and any utility agency any easements, which may be required by any or all of the said agencies at no cost.



KENSINGTON ENVIRONMENTAL INCENTIVES

Saskatoon Land is offering the following incentives to home builders and individuals to promote environmentally sustainable building and household practices:

1



To promote more energy efficient homes, a \$500 administrative cost rebate will be offered to home builders and individuals for homes that are certified through the ENERGY STAR® Qualified program, the Energuide for New Homes 80 (EGNH80) program or the LEED Canada for homes program.



To promote sustainable organic waste practices one composter will be offered per lot.

2



Kensington

3

To promote reduced potable water use, one rainwater collection barrel will be offered per lot.



To promote and showcase more energy efficient homes, the Show Home Policy for home building contractors has been modified to include only those homes that are certified through the ENERGY STAR Qualified program, the Energuide for new Home 80 (EGNH80) program or the LEED Canada for Homes program.

At the time that the lot is paid in full and the Title is transferred, individuals may pick up the coupons allotted to their lot at the Saskatoon Land office. Eligible Contractors who purchased lots will identify to Saskatoon Land the name of the new home owner who will then be authorized to pick up the coupons allotted to their specific lot.

Images shown are for example only. Actual merchandise may differ from image above.

LOT GRADING

Lot grading is the sloping of the lot in order to provide good drainage away from building in such a way that surface runoff from rainstorms or snowmelt is directed toward storm sewers. Runoff is controlled through the use of side and back of lot swales to eliminate or minimize the impact on adjacent properties and to ensure proper overland drainage.

Complete development of all lots in an area may occur over a number of years and, unfortunately, some homeowners landscape their lot without proper consideration for the predesigned overland drainage pattern of the area. Early development does not preclude a homeowner's responsibility to maintain this drainage pattern. If the homeowner obstructs drainage in any way, thereby creating a flooding problem for neighbours upstream, that homeowner must correct the situation at their own expense. Similarly, a lot should not be landscaped below design grades otherwise flooding may occur.

LOT GRADE DETAILS

The following information has been prepared to assist the homeowner, builder and contractor in the setting the house elevations and final lot grades. Lot grade details are shown on the following sets of drawings in this package:

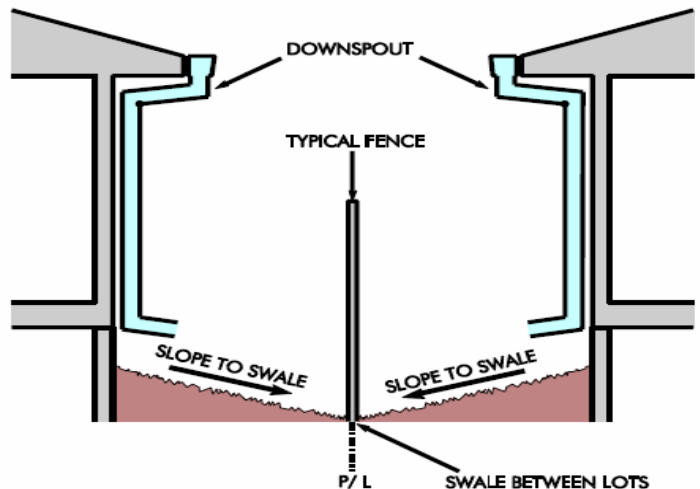
a) Lot grade drawings – show the final design elevations at property corners and at other points that are deemed critical elevation points. It is important that builders and homeowners match these grades with final landscaping elevations. Identification of these elevations is required for building plan approval.

b) Lot grading types A, D, A-D, D-A, C, C-D and D-C, including a three-dimensional view and side view of the grading type; and

c) A drawing showing a cross section of a typical side yard fence and side yard grading that will not impede side yard drainage.

During the initial stages of subdivision development, all streets, easements, lanes, and walkways are pre-graded to design elevations set to accommodate drainage throughout the area. In the case of the utility easements, the grade is constructed approximately 100mm (4") below the final design grade, which allows the homeowner to add topsoil without creating drainage problems for neighbouring yards.

Once house construction is complete lot grading is a two-step procedure. The first step is the rough grade stage, which includes backfilling the foundation walls and shaping the lot to conform to the pregrade drainage plan. When rough grading is complete the lot should be within 7 to 20cm below the final design grade to allow for the addition of topsoil. Once the lot is at the final design grade, sod, decorative rock, wood chips, or other surface treatments can be installed. It is strongly recommended that lot owners consult a legal surveyor or other qualified professional to set the final grade elevations before landscaping is started.



GRADING BETWEEN LOTS

A sloped surface is required to effectively drain water away from the foundation walls, including under steps and decks in order to reduce the risk of water entering the basement during rainfalls or snowmelt. Drainage swales are shallow sloped channels intended to move surface runoff away from lots toward the storm sewers. Drainage swales are located on common property lines and graded in accordance with the drainage plan for the affected lots as shown on the lot type drawings included in this package.

If decorative rock or wood chips are to be used in the swale the grade below this treatment must be at the final grade elevation to facilitate proper runoff to the storm sewer.

LOT GRADING DO'S AND DON'TS

DO'S

1. Do require construction plans to include finished grade elevations around the house foundation and along property lines. Do not leave your house and site grading to chance. Building Standards requires the submission of the lot corner elevations on the site plan submitted for building permit approval. It is strongly recommended that the plans also include finished elevations along the foundation and garage grade beam, garage slab, foundation windows, side property lines, edge of driveways and sidewalks (particularly along the side of the house), and the top and bottom of any retaining feature.
2. Do use a level to set the finished grades along the property line, particularly before installing sidewalks and fencing.
3. Do discuss with adjacent property owner's final drainage grades along the property line. Proper lot drainage requires cooperation of adjacent homeowners.
4. Do undertake a final site inspection of easements, side yard and sidewalks with each sub-trade prior to releasing final payment.
5. Please disregard any grade information displayed on electrical pedestals and transformer boxes.

DON'TS

1. Don't excavate into the easement or berm. These contain critical utilities vital to the neighbourhood.
2. Don't fill the rear easement, as this will block the intended drainage.
3. Don't build raised flowerbeds against the fence/property lines without making provisions for drainage (see attached plans).
4. Don't try to build higher than both adjacent neighbours. This leads to expensive provisions for retaining walls, and frequent flooding of neighbouring properties.



STARTING CONSTRUCTION

Possession of the site is granted for construction purposes when the down payment has been received and the Agreement for Sale is finalized. In order to assist the utility companies, please post your civic address at the front of the property when construction begins.

LANDSCAPING OF CITY BOULEVARDS

It is the builder/homeowner's responsibility to landscape and maintain the boulevard along both the front of their property and along the side of corner lots. Boulevards are defined as the landscaping space between the edge of the roadway and the property lines. Where the sidewalk is attached to the curb, the boulevard is the space between the edge of the sidewalk and the property line. Where the sidewalk is not attached to the curb, the boulevard also includes the space between the curb and the sidewalk. Keeping these areas well maintained improves the marketability of the house and the image of the overall development.

BOULEVARD TREE PLANTING

The Community Tree Planting Program was established in 1991 through the use of pre-paid levies from the sale of lots. This program plants 30mm (1.2") caliper trees on boulevards in recently developed neighbourhoods. Streets are selected for this Program based on a review of newly developed areas.

The City's Parks Division considers the number of lots that are developed and are up to a grade. This review is completed the season prior to planting. The Plant by Request Program is also available to residents to request to have a tree planted in an available planting site on the boulevard. This program plants 30mm (1.2") caliper trees. For the Plant by Request Program, please contact Urban Forestry, Community Services at 306-975-2890.

DISCLOSURE OF ADJACENT PROPERTY OWNERS

Please note in order to facilitate discussions between property owners respecting lot grading, fencing issues and property maintenance issues, Saskatoon Land will, upon request, disclose the names of purchasers to adjacent property owners.

CONSTRUCTION WASTE

As per City of Saskatoon Bylaw No. 8310, The Waste Bylaw 2004, any owner or contractor carrying out the construction of a building on any property shall:

- (a) place all waste into a waste container or enclosure;
- (b) in a timely manner, dispose of all waste resulting from the construction, alteration or demolition so as to ensure there is no unreasonable accumulation of waste on the property during the construction, alteration or demolition;
- (c) take all reasonable steps as may be necessary to prevent the waste from being dispersed, by wind or in any other manner, on or around the property or surrounding properties during the construction, alteration or demolition; and
- (d) upon completion of the construction, alteration or demolition, clear the property of all waste and litter.

If the waste is not removed, the City may remove the waste and the costs of doing so will be charged to the property owner or contractor.



FOUNDATION DRAINAGE

a) Foundation Drainage (Weeping Tile) Requirements

- i. The bottom of every exterior foundation wall shall be drained as per the National Building Code.
- ii. Connection of foundation drains of all buildings to the sanitary sewer collection system will not be permitted.

b) Discharge of Foundation Drainage Water

- i. All buildings are required to drain foundation water into a sump, which in turn discharges the water to the surface or to a storm sewer.

c) Surface Discharge

- i. Sump pumps discharging to surface may not discharge directly onto a pervious ground surface within one metre of any building that has a basement or a level below the finished ground surface.
- ii. The location of the point of discharge shall be directed away from adjacent properties.
- iii. If the lot drains from the front and to the back (Type D), surface discharge may be either the front or back yard. If the lot drains from the back to the front (Type A), surface discharge must be to front yard.
- iv. The discharge may not be into the area of the required side yard setback unless the side yard is adjacent to a street, park or buffer strip.

d) Discharge to Storm Sewer

- i. Sumps discharging to storm sewers shall be pumped to the main by a pressure service connection as per detailed drawings Sump with Pumped Discharge to Storm Sewer, Detail Drawing 102-0025-002-r004.

e) Sump Design Criteria – Sump Pit Details

- i. As per National Building Code 9.14.5.2, sump pits are to be a minimum of 750mm deep and 0.25 square metres in area.
- ii. Sump pit is to be fitted with a tight fitting removable cover.
- iii. Sump pit will be constructed of concrete, plastic, or non-corrosive metal.
- iv. Sump pit is to be fitted with an opening to accept a 100mm drain with the invert of the pipe located above centre of the sump pit height.
- v. Sump pit is to be placed on an even, well compacted surface.

f) Foundation Drainage (Weeping Tile) to Sump Pit

- i. A weeping tile collection system shall be provided around the building perimeter and tied to a sump pit using a positively graded, non-perforated, 100mm pipe which discharges into the side of the pit.
- ii. Provision shall be made to ensure soil gas is prevented from entering the dwelling unit through the weeping tile and through the sump pit.

g) Sump Pump

- i. Provide a sump pump (column of submersible type) capable of pumping 50 L/m at three metres of head.
- ii. The pump shall be fitted with an automatic on/off level control.
- iii. The pump discharge must have a minimum pipe diameter of 32 mm. The pipe must be adequately secured.
- iv. Sump pumps connected directly to a storm sewer must be equipped with a spring check valve and a shut-off valve located downstream of the check valve, so that the connection to the main can be isolated from maintenance.



EARTH DISPOSAL

Contractors and individuals will be responsible for disposing of their own excess earth material. The clean/fill site is located northwest of the 33rd Street West/Kensington Boulevard intersection. Access to the fill site will be available in August 2017 dependent on weather conditions. If arrangements are made with another landowner to dispose of the material anywhere within the city limits, they are to contact Central Dispatch at 306-975-2491 and they will maintain a log of locations. If disposing of material outside the city limits within the RM of Corman Park, the RM must be notified of those arrangements.

Please ensure basement excavations and all other construction waste materials are not deposited on adjacent properties or any other properties in this area without prior arrangements being made.

The fill site location is shown on the following map:

Figure 3 - Clean Basement Fill Site Location



Regular inspections of the area will be done and any individual or company found illegally disposing of materials on properties without the owner's permission shall be liable of fines up to \$25,000 as outlined in City of Saskatoon Waste Bylaw No. 8310.

TEMPORARY WATER CIRCULATION BOXES

To ensure water quality is maintained through the initial stages of development in this phase; temporary water circulation boxes are installed. The locations of these temporary water circulation boxes are identified on the attached map. These temporary water circulation boxes are removed during the installation of the water and sewer connection to the house.



DECORATIVE ALUMINUM FENCING

Decorative aluminum fencing has been installed in the rear yards of the following lots:

Groups 13 & 14 (Lots 1 - 4, Block 109)

Groups 20 - 22 (Lots 1 - 7, Block 107)

Decorative aluminum fencing has been installed in the side yards of the following lots:

Groups 20 & 22 (Lots 1 & 7, Block 107)

Group 14 (Lot 1, Block 109)

These lots are adjacent to future park space. The purchaser will be responsible for all future maintenance of the fence. The location of the fence should be taken into consideration when siting your house on the lot, and specifically with a side yard fence, when planning your basement excavation.

Pay special attention that your basement excavation and other construction activities do not disturb the structural pilings or other components of the fence.

Figure 4 - Decorative Aluminum Fencing Typical Fence Panel & Gate

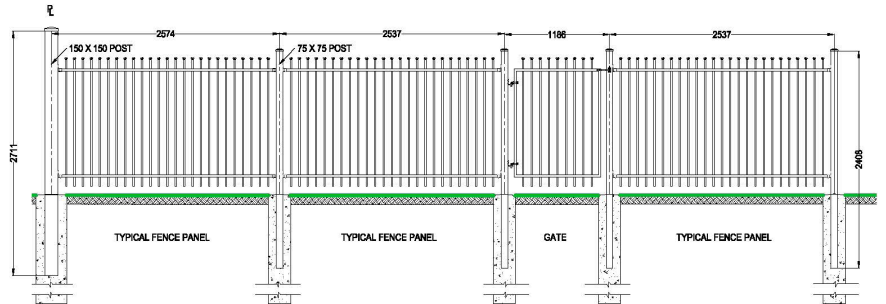
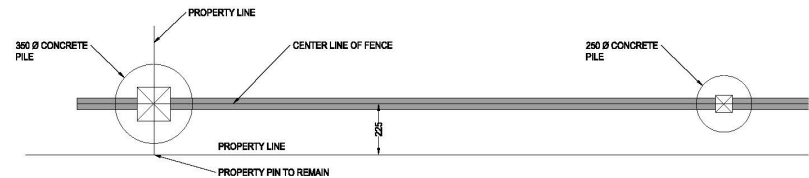


Figure 5 - Fence Pile Property Line Detail



UNDERGROUND ELECTRICAL SERVICE REQUIREMENT

a) The minimum size of meter socket shall be 455mm x 300mm x 125mm for all single phase residential services up to and including 200 amp. The meter socket shall have ½ inch stud line side and neutral terminals arranged to permit straight in conductor connections and suitable for securing compression lugs rated for #6 to 4/0. A single meter socket with dual lugs on the load side will be allowed in certain circumstances. Total load on the socket must not exceed that allowed by the Canadian Electrical Code. The meter socket is to be mounted on an adequately secured fixed wood backing at least the same size as the socket. The use of a 400 amp self-contained meter socket is NOT allowed.

b) The electrical meter stack shall be located on the house within one metre of the corner closest to the service pedestal.

c) If the homeowner wants the electrical meter mounted on the side of the house, he/she must provide a minimum 2 metres between the house and the property line for construction access. If the electrical meter is mounted on the side of the house, the gas metre shall not be mounted on the same side of the house, and shall be at least 1.0 metre away from the electrical meter and servicing cable.

d) If the homeowner wants the electrical meter and gas meter mounted on the same side of the house, he/she must provide a minimum 3 metres between the house and the property line for construction access. There shall be at least 1.0 metre separation between the gas meter and the electrical meter and lines.

e) If there are any questions as to which distribution pedestal will service the lot, please contact SaskPower.



SASKENERGY

a) Applying for Service

- i. Make the application for your natural gas service when the property is backfilled and framing is started. You can make this application by calling SaskEnergy at 306-975-8505.
- ii. At this time, a staking appointment will be given to meet on site to determine the route of the gas service and to hang the bracket.
- iii. Construction of your gas service should take place within 2 to 3 weeks during summer construction (allow an extra week during winter construction period). *Note: When running a new service, take into consideration any future developments to avoid encroachments to the gas service and having to reroute the service. (E.g. Decks, garages, sheds, pools).*
- iv. When your mechanical contractor has completed all the piping for your natural gas appliances, he has to call SaskEnergy to have your natural gas meter installed. The number to call is 306-975-8500.

b) Building a Garage, Fence, or Deck

Call SaskEnergy at 306-975-8515 at least 2 working days prior to starting construction and we will send someone out to locate your natural gas service at no charge. *Remember – if you don't call and there is damage to the gas service, you will be charged the cost to repair it.*

c) Natural Gas for Your Home

Whether you're looking for an efficient way to heat your home, a better way to barbecue or something to add fun and warmth to the great outdoors, natural gas is the choice for you. Your options are endless with SaskEnergy Network Financing. Look around your home and you'll see that there are plenty of reasons to consider the natural gas alternative. Natural gas is convenient, safe, efficient, reliable and a friendly option for the environment. When you think about it...the choice should come naturally. Consider these natural gas options ... home, garage and shop heating, water heater, fireplace, range, clothes dryer, barbecue, yard lights, campfire, pool and patio heaters. Visit a SaskEnergy Network Member and ask to see their selection of natural gas appliances, heating systems and outdoor items. For a list of SaskEnergy Network Members throughout the province. Visit www.saskenergy.com or call 1-800-567-8899.

d) Convenient Payment Options

SaskEnergy offers convenient bill payment options to make payments a breeze.

Equalized Payment Plan

With SaskEnergy's Equalized Payment Plan you can average your bills over the year and avoid peak winter heating bills. You pay the same amount each month until your annual settle-up, when a new monthly payment is calculated for the next year. It's an easy way to budget and take a bite out of winter bills. Call us for full details.

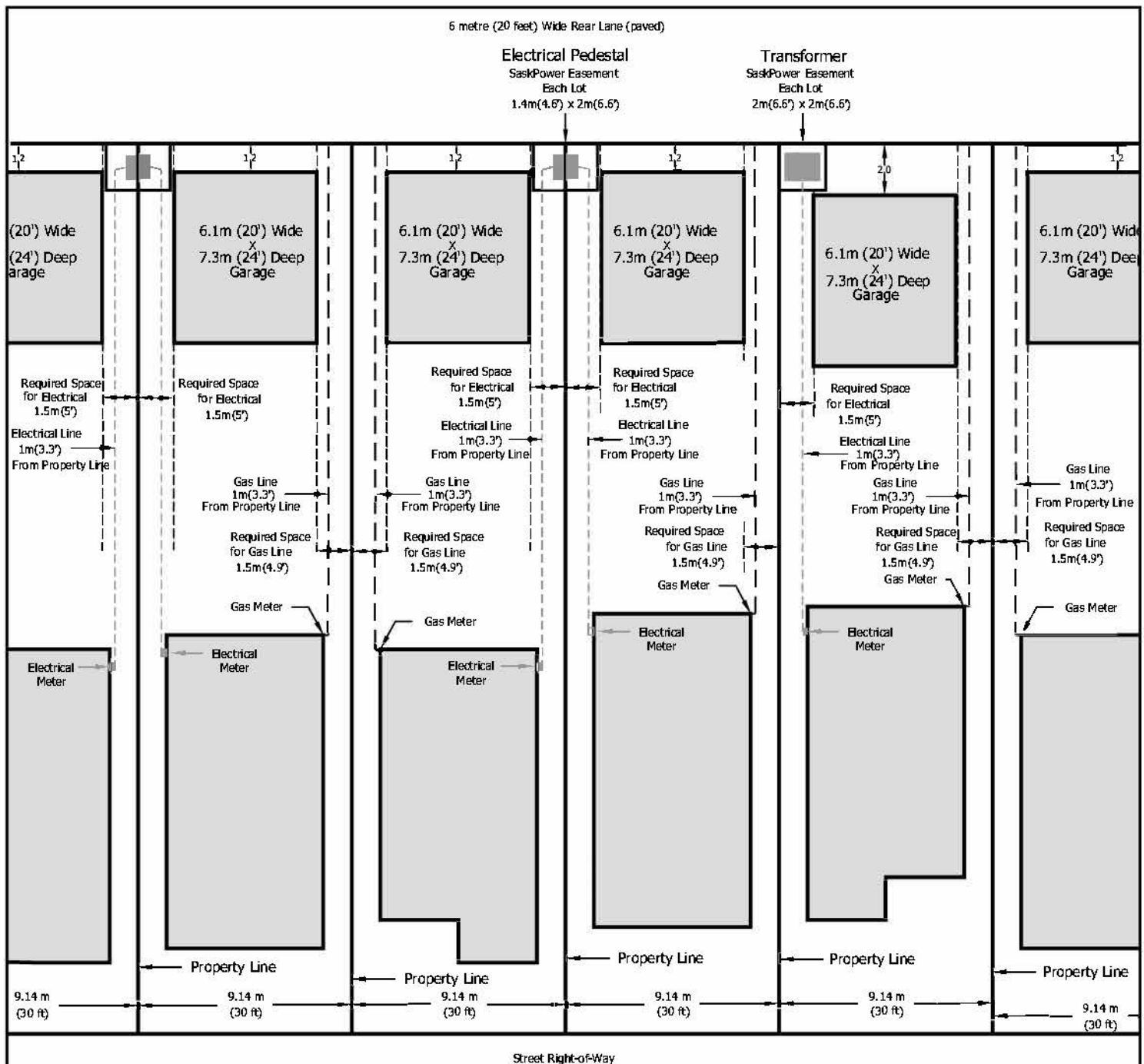
Pre-authorized Payment Plan

No more monthly cheques to write, no line-ups, no postage and the peace of mind knowing that your payment is on time, every time. The full amount of your monthly bill will be debited from your bank account each month automatically. SaskEnergy's Pre-authorized Payment Plan is available to all SaskEnergy customers and is accepted on any chequing account from recognized financial institutions in the province. business.



Typical Servicing From Lane

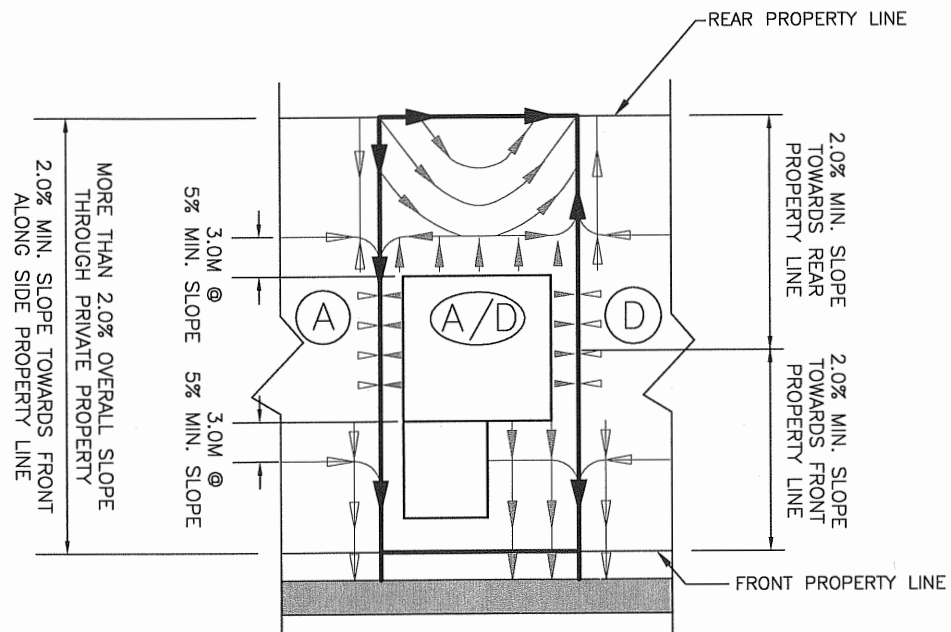
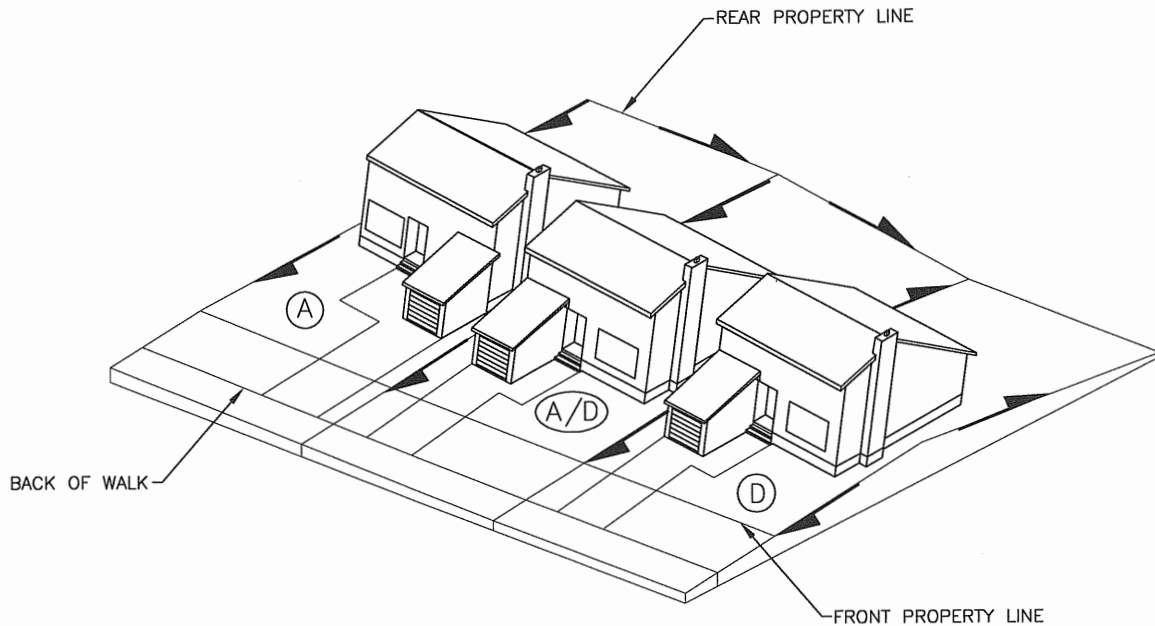
SaskPower and SaskEnergy Underground Lines



Please note:


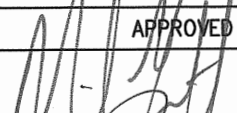
- This drawing is intended as a guide only. For more accurate and detailed information, specific to your property, please contact the respective utilities and the City of Saskatoon's Building Standards Division.
- For the purpose of this illustration, each lot is shown as 9.14m (30 ft) wide and 38m (125 ft) deep.
- A garage, or other accessory building may not be built over the natural gas line or electrical service.
- Saskatoon Land takes no responsibility regarding the legality of the building layout on your lot.

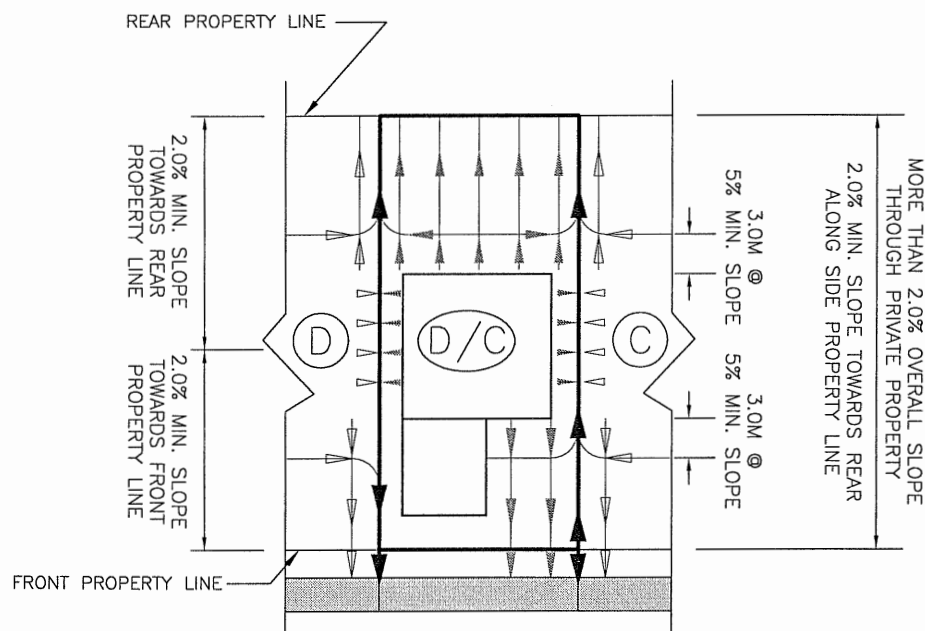
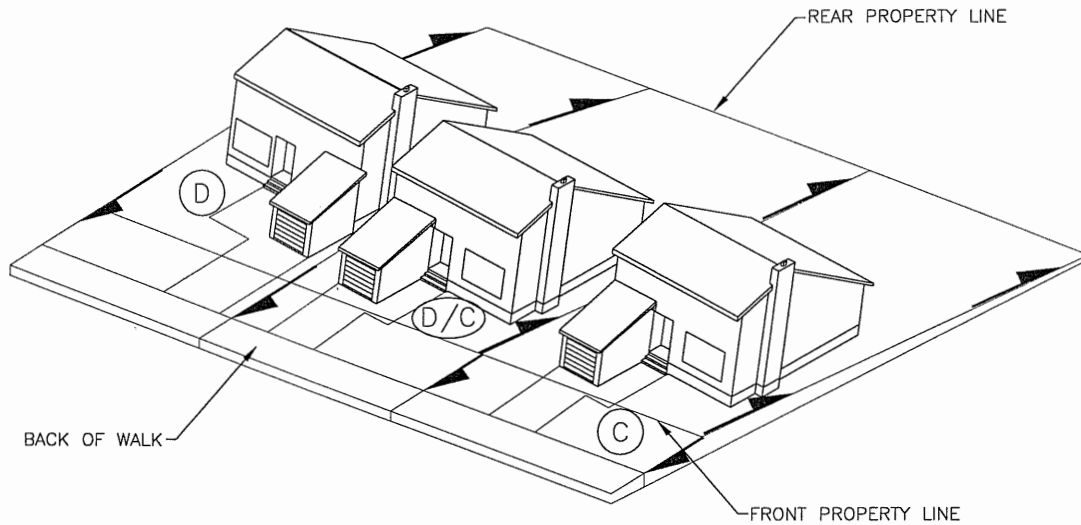
Figure 7 - Lot Grading Types



- NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE D/A IS REVERSE OF LOT TYPE A/D

PLAN VIEW
TRANSITION LOT TYPE A/D

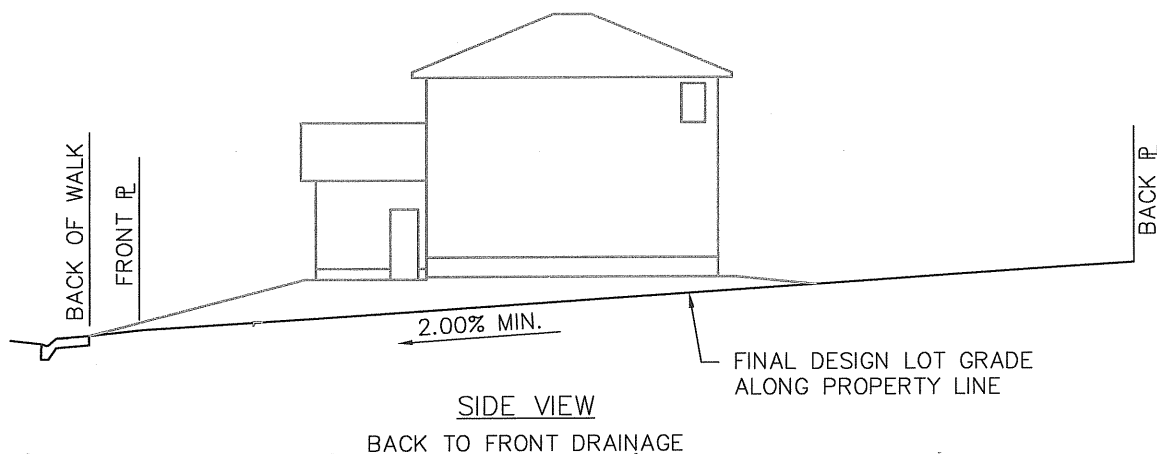
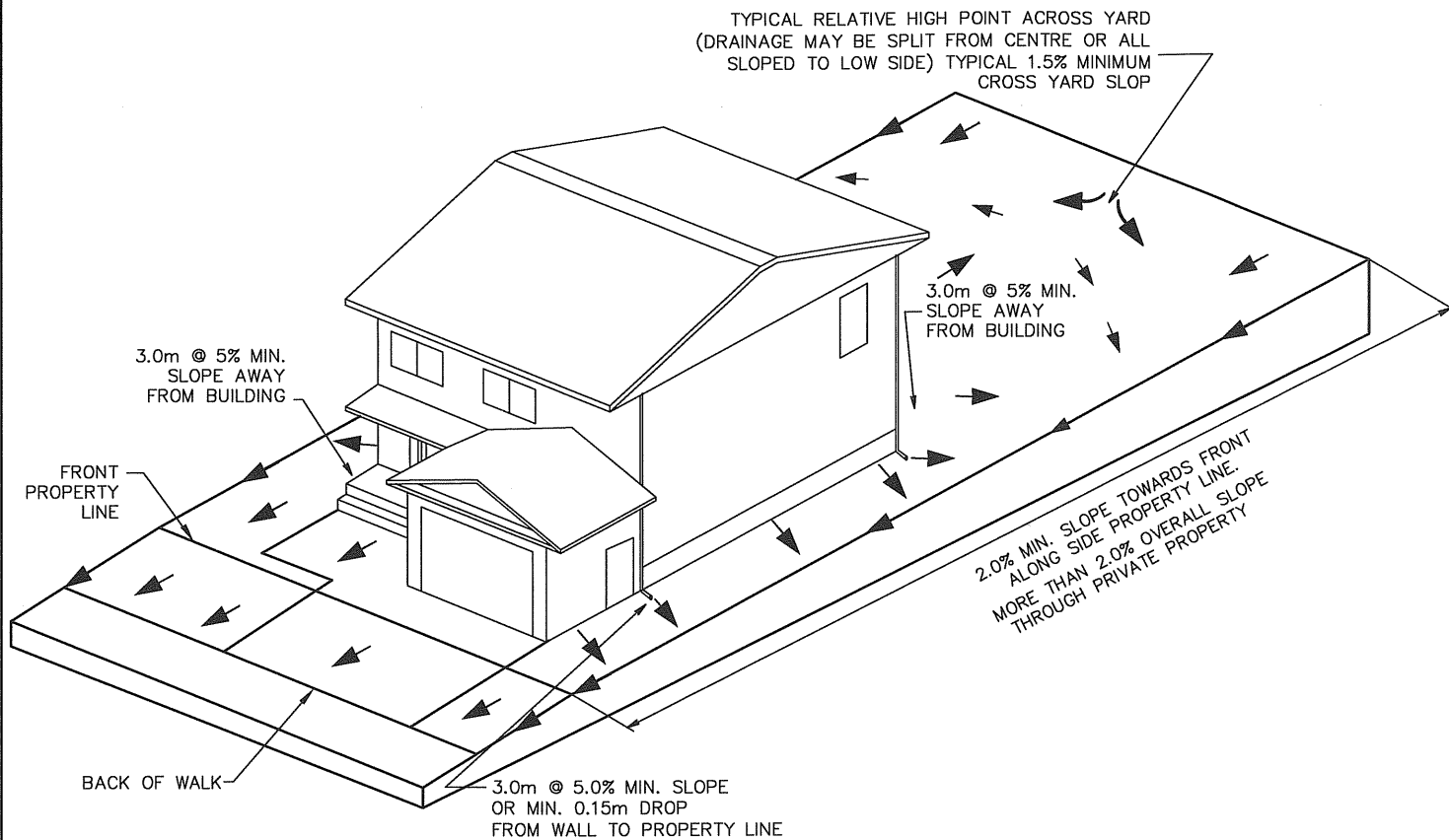
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4										
3										
2										
1										



NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE C/D IS REVERSE OF LOT TYPE D/C

PLAN VIEW
TRANSITION LOT TYPE D/C

PLAN DESCRIPTION/REVISIONS 4 3 2 1	 City of Saskatoon Infrastructure Services Department	APPROVED  MAR 28/11 GENERAL MANAGER
DRAWN BY <u>LMD</u> DATE <u>2010-SEP-14</u> SCALE : HOR. _____ VERT. _____		LOT GRADING TRANSITION LOT TYPE D/C & C/D

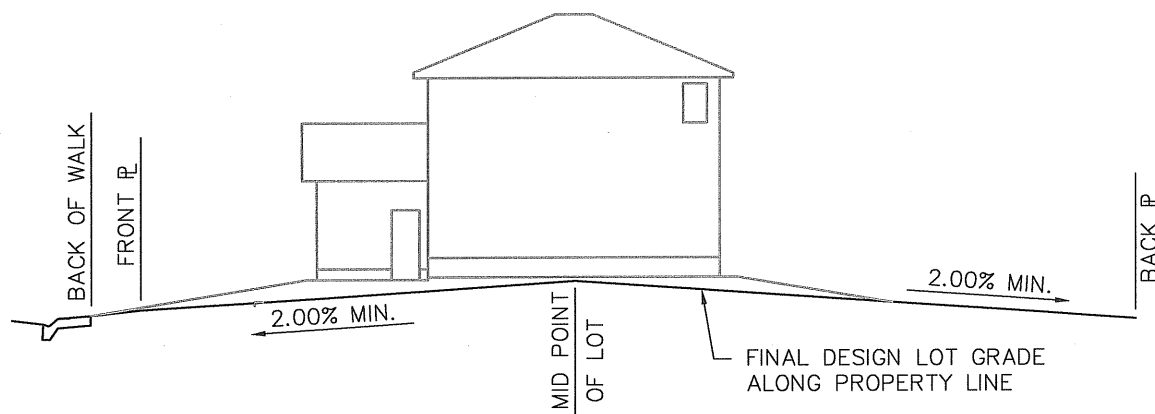
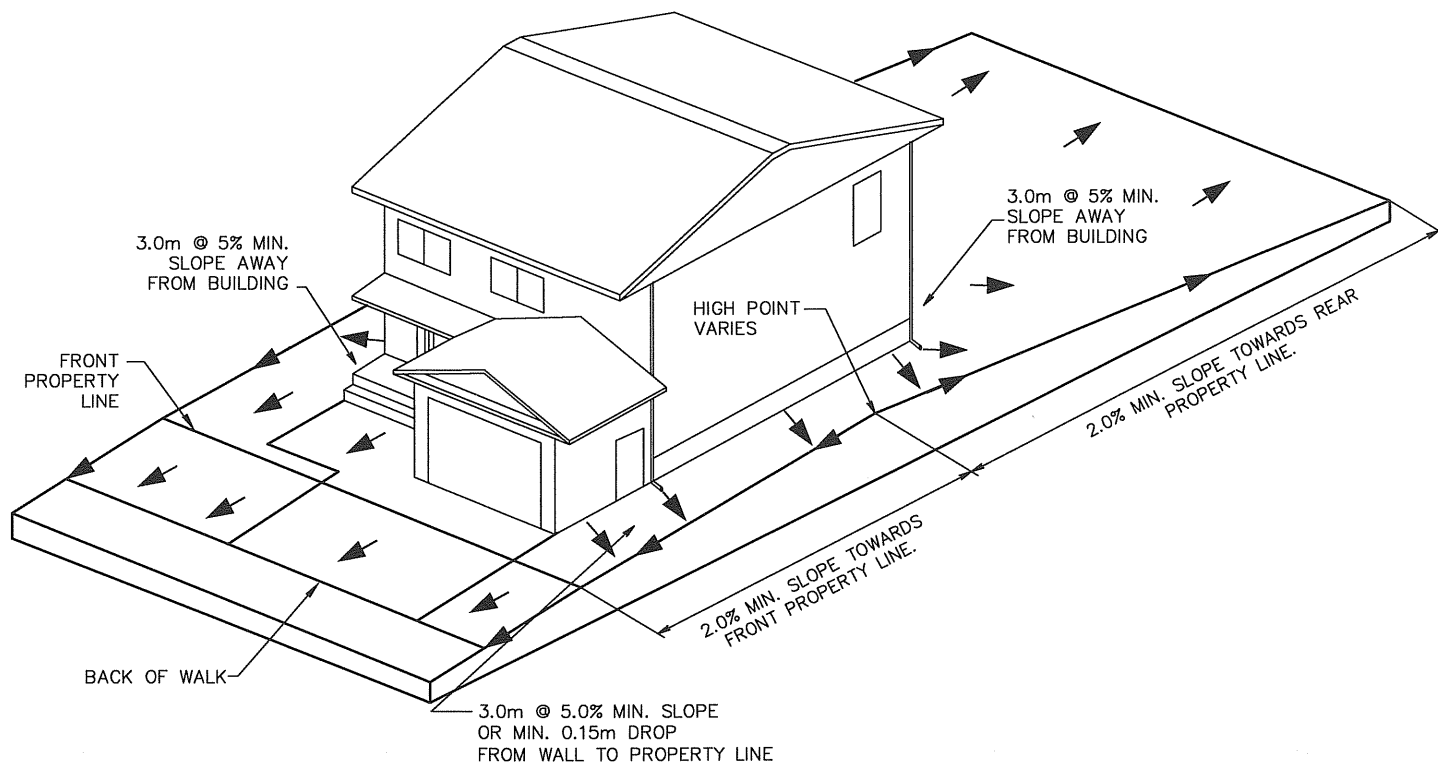


REVISIONS	
1	
2	
3	
DRAWN BY <u>LMD</u>	
DATE <u>04-OCT-2010</u>	
CHECKED BY _____	
DATE _____	

CITY OF SASKATOON
INFRASTRUCTURE SERVICES DEPARTMENT

LOT GRADING
TYPE A

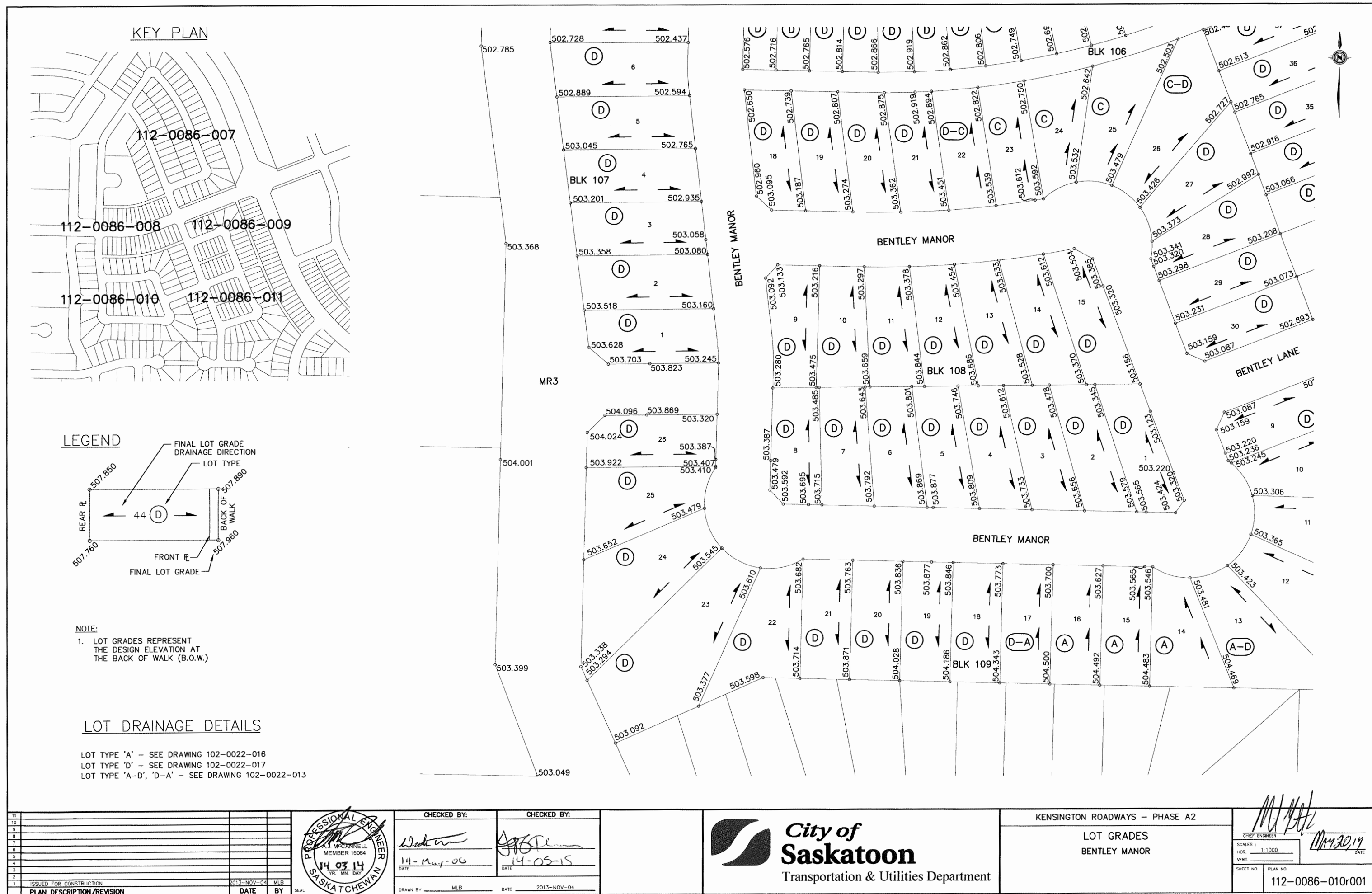
APPROVED	
 CITY ENGINEER	 P. ENG.
ENGINEER	
SCALES : HOR. <u>N.T.S.</u> VERT. <u>N.T.S.</u>	
PLAN NO. 102-0022-016r001	

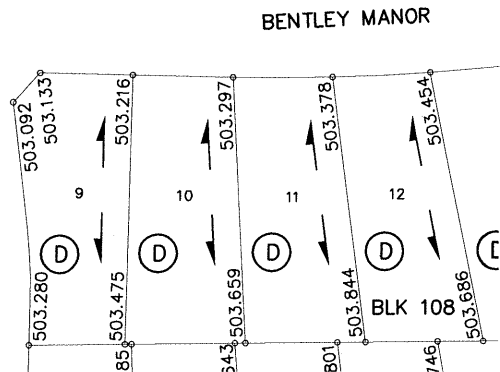
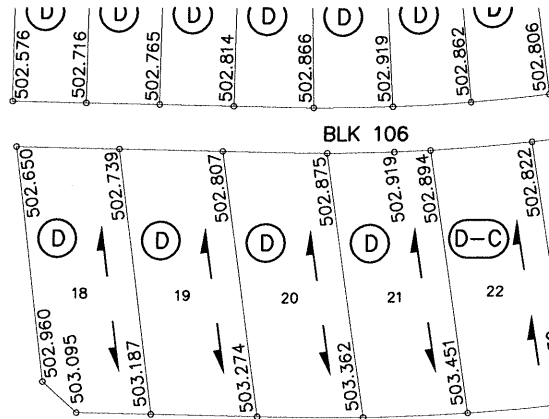
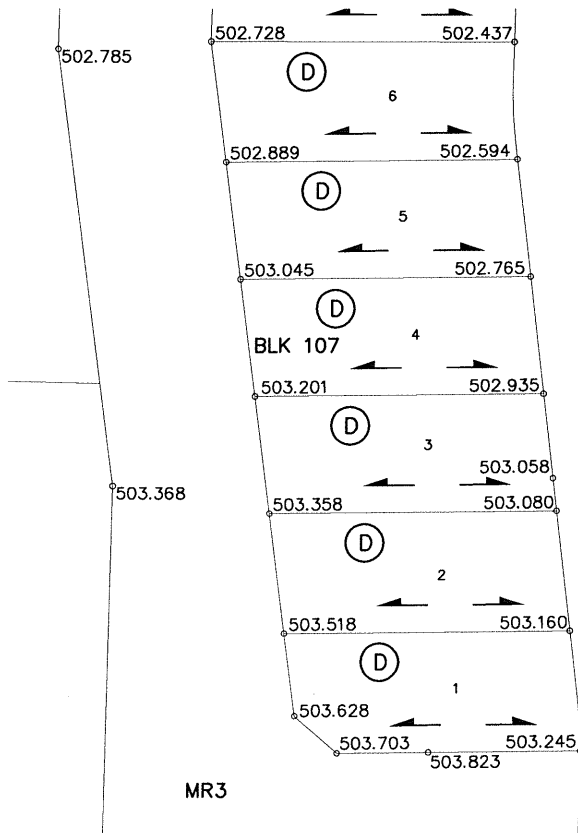


SIDE VIEW
SPLIT DRAINAGE

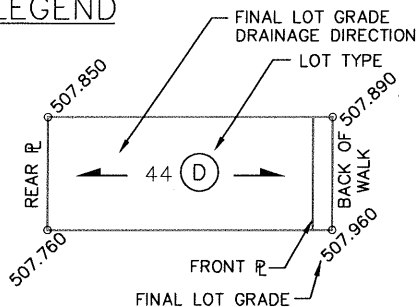
<p>REVISIONS</p> <table border="1"> <tr> <td>1</td> <td></td> </tr> <tr> <td>2</td> <td></td> </tr> <tr> <td>3</td> <td></td> </tr> </table>		1		2		3		<p>CITY OF SASKATOON INFRASTRUCTURE SERVICES DEPARTMENT</p>	<p>APPROVED</p> <p><i>[Signature]</i> NOV 3 10 CITY ENGINEER P. ENG.</p>
1									
2									
3									
<p>DRAWN BY <u>LMD</u> DATE <u>04-OCT-2010</u></p> <p>CHECKED BY _____ DATE _____</p>		<p>ENGINEER</p> <p>SCALES : HOR. <u>N.T.S.</u> VERT. <u>N.T.S.</u></p> <p>PLAN NO. 102-0022-017r001</p>							
<p>LOT GRADING TYPE D</p>									

Figure 8 - Lot Grades





LEGEND



NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

BENTLEY MANOR

DRAWN BY MLB
DATE 2014-FEB-25

SCALE : HOR. 1:1000 VERT.



**City of
Saskatoon**

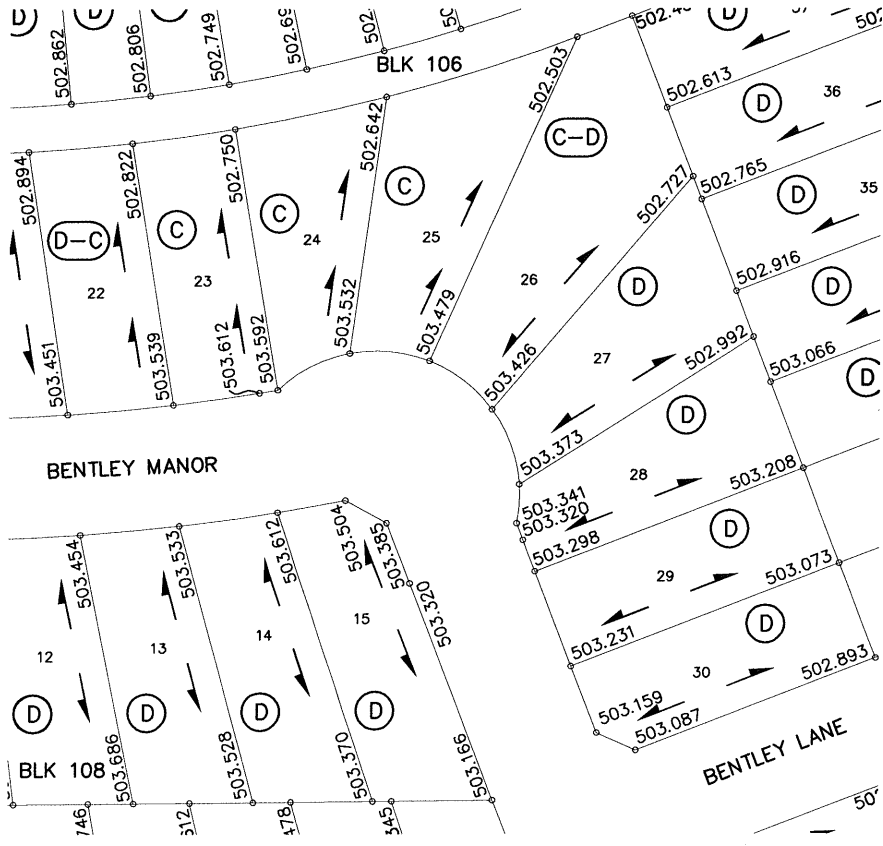
Transportation & Utilities Department

SOURCE DOCUMENT

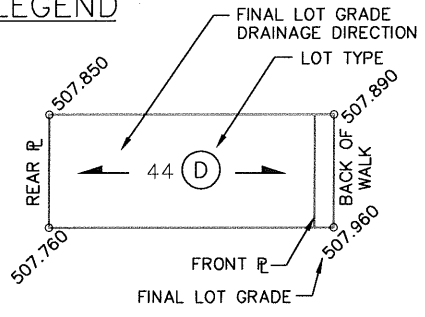
PLAN NO: 112-0086-010

APPROVAL DATE: 2014-FEB-25

REVISION DATE:



LEGEND

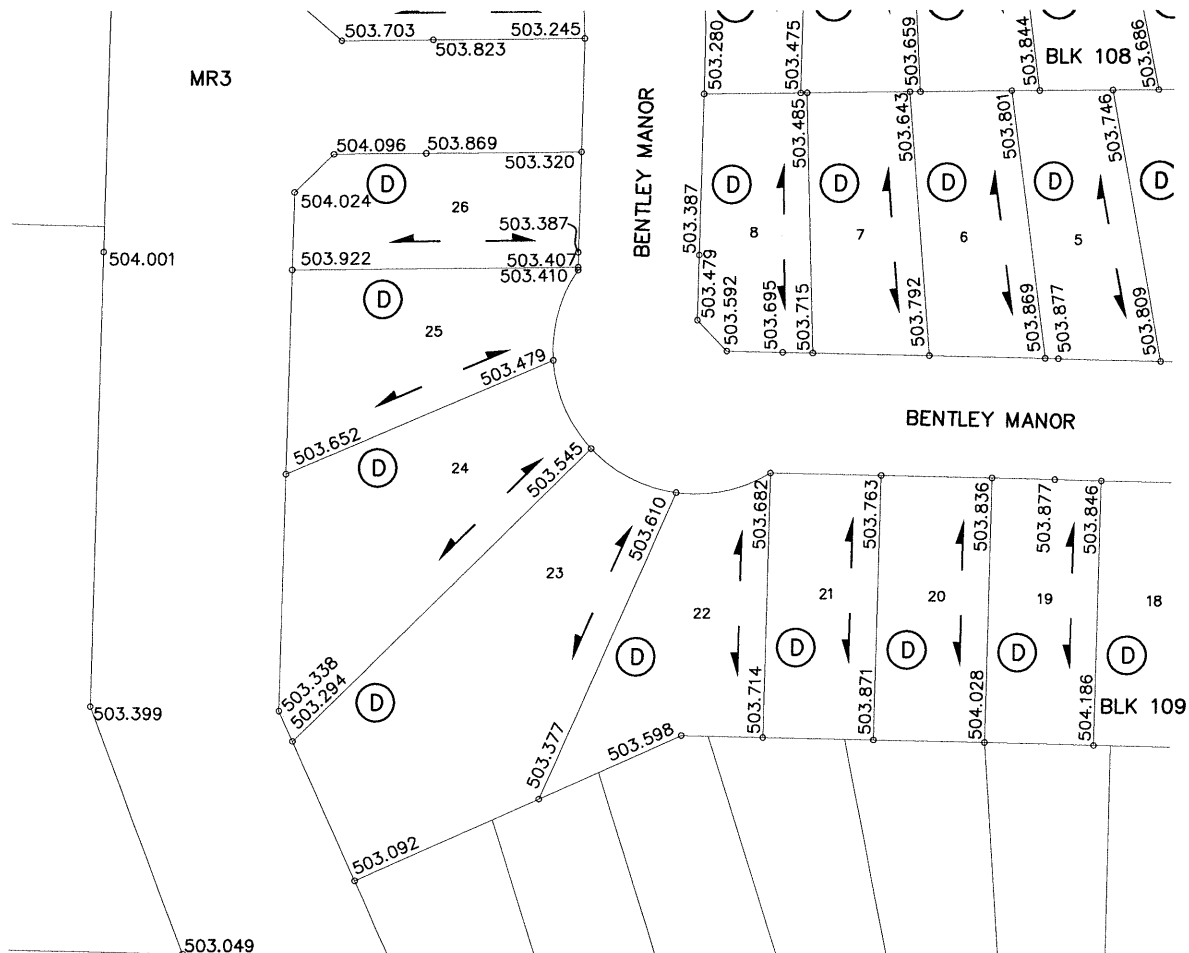


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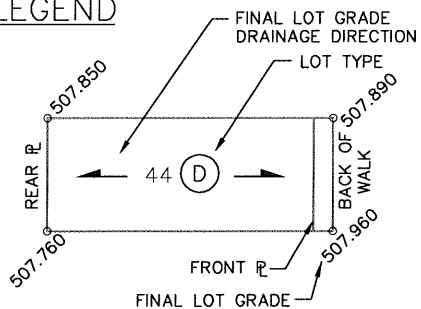
1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

BENTLEY MANOR & LANE

<div>City of Saskatoon Transportation & Utilities Department</div>		SOURCE DOCUMENT	
		PLAN NO:	112-0086-010
		APPROVAL DATE:	2014-FEB-25
		REVISION DATE:	
DRAWN BY <u>MLB</u>			
DATE <u>2014-FEB-25</u>			
SCALE : HOR. <u>1:1000</u> VERT. <u></u>			



LEGEND



NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

BENTLEY MANOR

DRAWN BY MLB
DATE 2014-FEB-25

SCALE : HOR. 1:1000 VERT.



**City of
Saskatoon**

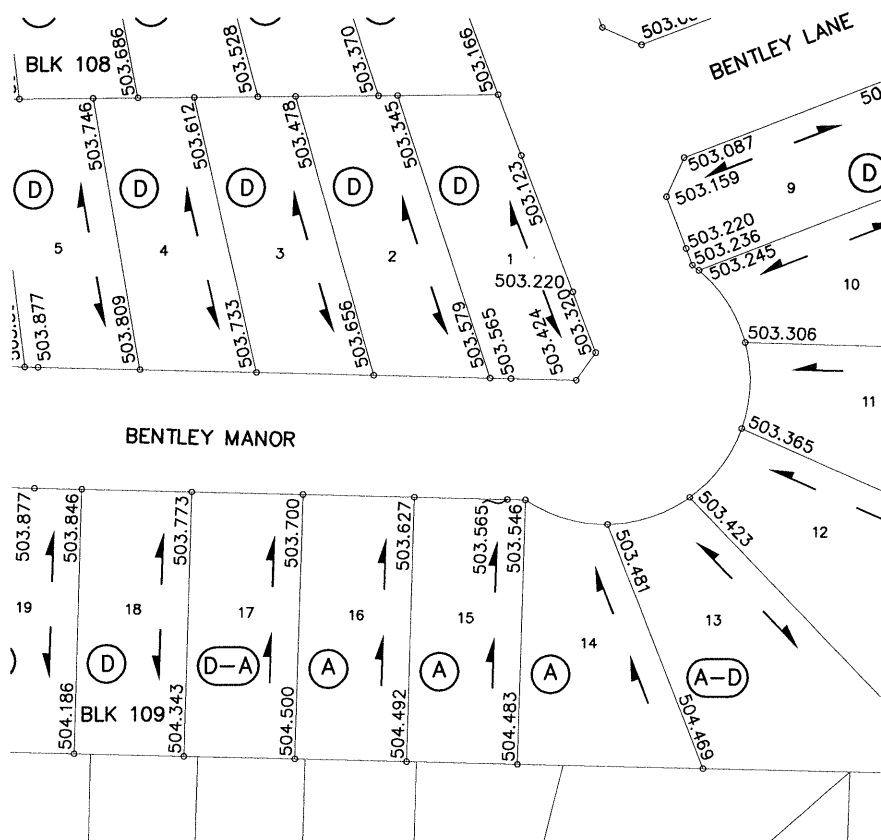
Transportation & Utilities Department

SOURCE DOCUMENT

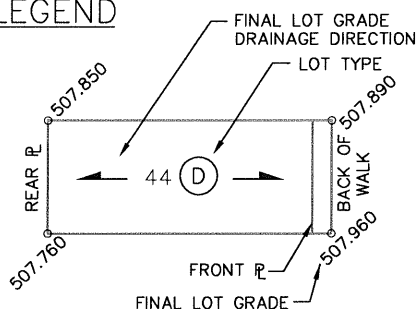
PLAN NO: 112-0086-010

APPROVAL DATE: 2014-FEB-25

REVISION DATE:



LEGEND



NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

BENTLEY MANOR & LANE

DRAWN BY MLB
DATE 2014-FEB-25

SCALE : HOR. 1:1000 VERT.



**City of
Saskatoon**

Transportation & Utilities Department

SOURCE DOCUMENT

PLAN NO: 112-0086-010

APPROVAL DATE: 2014-FEB-25

REVISION DATE:

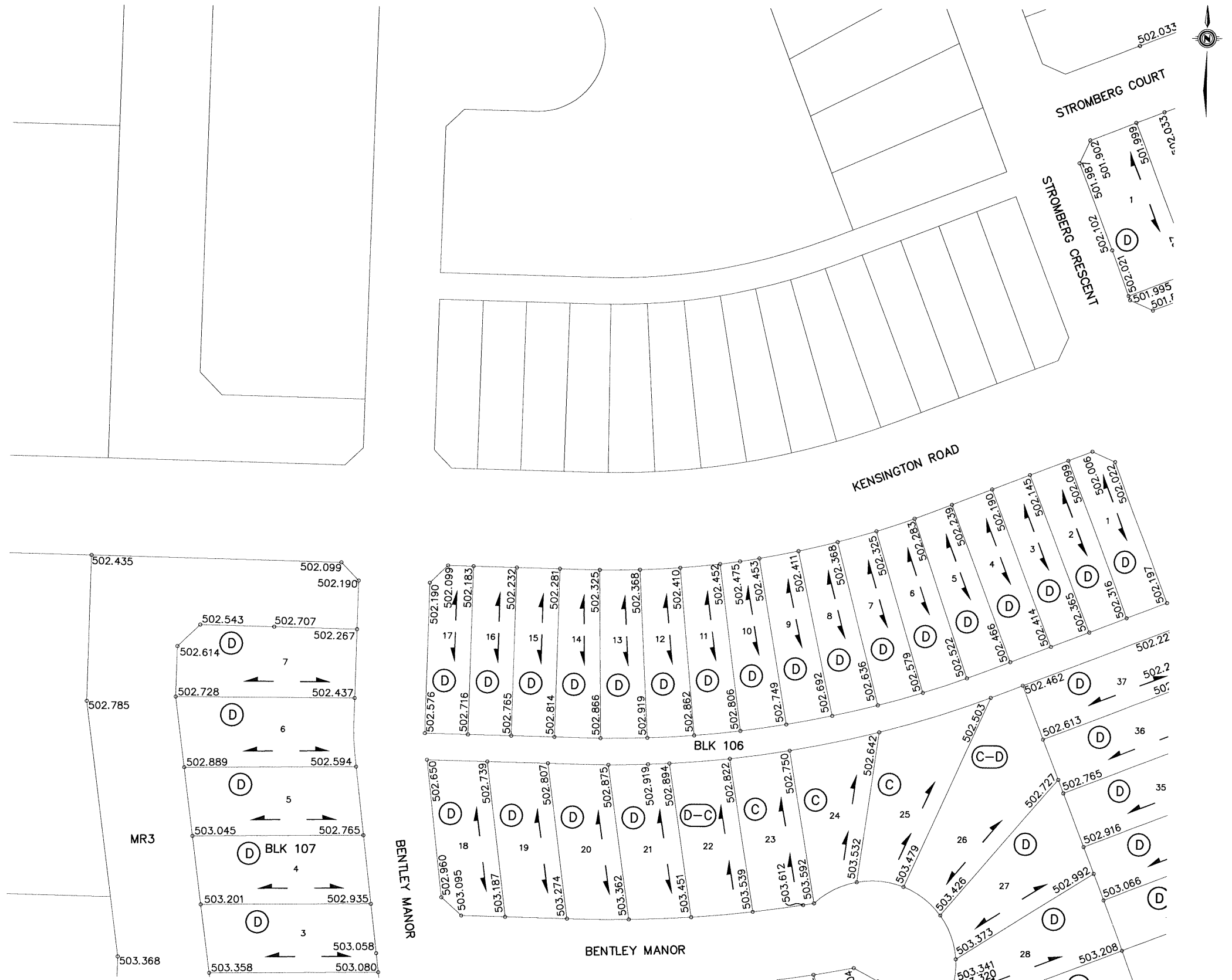
An aerial photograph of a residential neighborhood with several lots highlighted in yellow. The lots are arranged in a grid-like pattern with some irregular shapes. The highlighted lots are labeled with their respective parcel numbers: 112-0086-007, 112-0086-008, 112-0086-009, 112-0086-010, and 112-0086-011. The surrounding area shows other residential lots, streets, and some greenery.

Diagram of a rectangular lot with the following labels and dimensions:

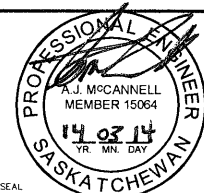
- REAR R**: Label for the rear boundary.
- 507.850**: Dimension for the top-left corner.
- 507.760**: Dimension for the bottom-left corner.
- 44**: Dimension for the width of the lot.
- (D)**: Circle containing the letter D, representing the lot type.
- FINAL LOT GRADE**: Label for the top and bottom boundaries.
- DRAINAGE DIRECTION**: Label for the arrows indicating the direction of water flow.
- LOT TYPE**: Label for the circle containing the letter D.
- BACK OF WALK**: Label for the right boundary.
- 507.890**: Dimension for the top-right corner.
- 507.960**: Dimension for the bottom-right corner.
- FRONT R**: Label for the front boundary.

1. LOT GRADES REPRESENT
THE DESIGN ELEVATION AT
THE BACK OF WALK (B.O.W.)

LOT TYPE 'A' - SEE DRAWING 102-0022-016
 LOT TYPE 'D' - SEE DRAWING 102-0022-017
 LOT TYPE 'A-D', 'D-A' - SEE DRAWING 102-0022-013



11			
10			
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1	ISSUED FOR CONSTRUCTION	2013-NOV-04	MLB
	PLAN DESCRIPTION/REVISION	DATE	BY



CHECKED BY:	CHECKED BY:
<i>[Signature]</i>	<i>[Signature]</i>
14-May-06	14-05-15
DATE	DATE
DRAWN BY: MLB	DATE 2013-NOV-04



City of
Saskatoon

Transportation & Utilities Department

LOT GRADES
STROMBERG CRESCENT, KENSINGTON ROAD,
& BENTLEY MANOR

CHIEF ENGINEER

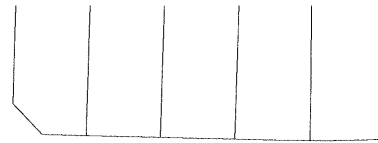
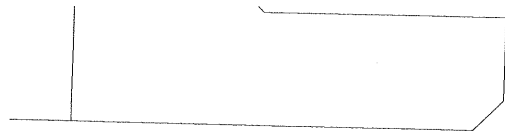
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HOR. 1:1000
VERT.

MAY 20, 19

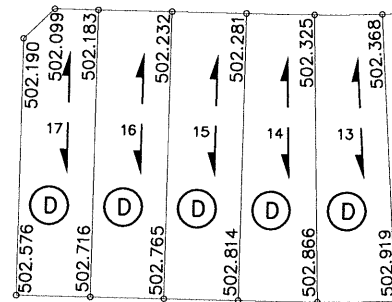
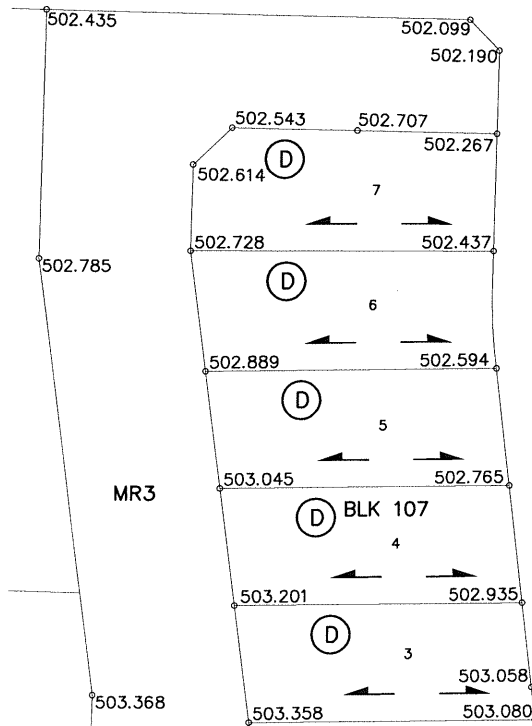
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SHEET NO. PLAN NO.

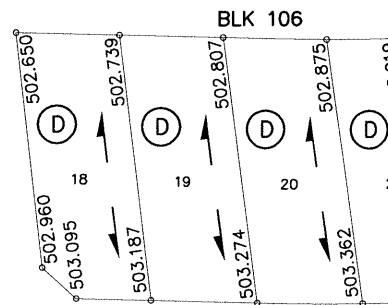
112-0086-008r001



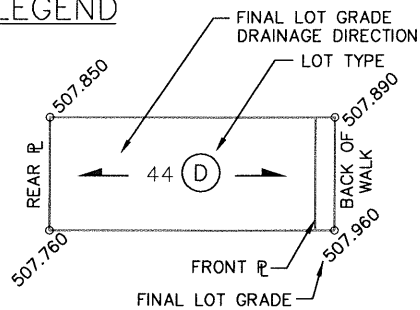
KENSINGTON ROAD



BENTLEY MANOR



LEGEND



NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

KENSINGTON ROAD & BENTLEY MANOR

DRAWN BY MLB
DATE 2014-FEB-25

SCALE : HOR. 1:1000 VERT.



**City of
Saskatoon**

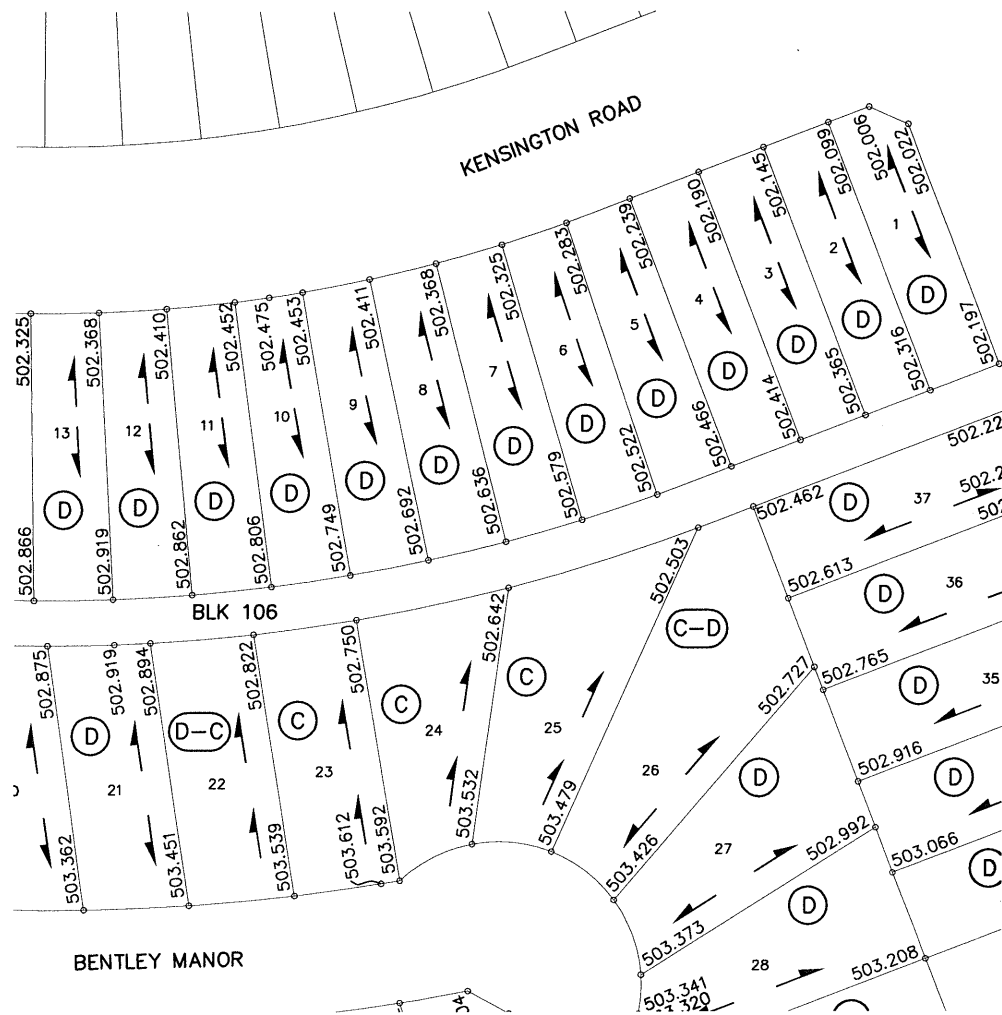
Transportation & Utilities Department

SOURCE DOCUMENT

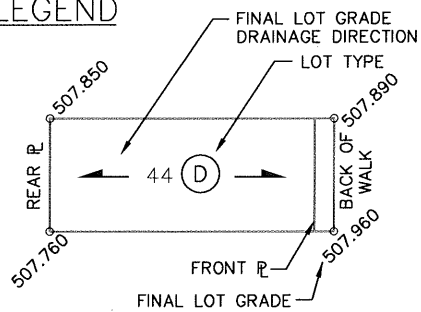
PLAN NO: 112-0086-008

APPROVAL DATE: 2014-FEB-25

REVISION DATE:



LEGEND



NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

KENSINGTON ROAD & BENTLEY MANOR

DRAWN BY MLB
DATE 2014-FEB-25

SCALE : HOR. 1:1000 VERT. _____



**City of
Saskatoon**

Transportation & Utilities Department

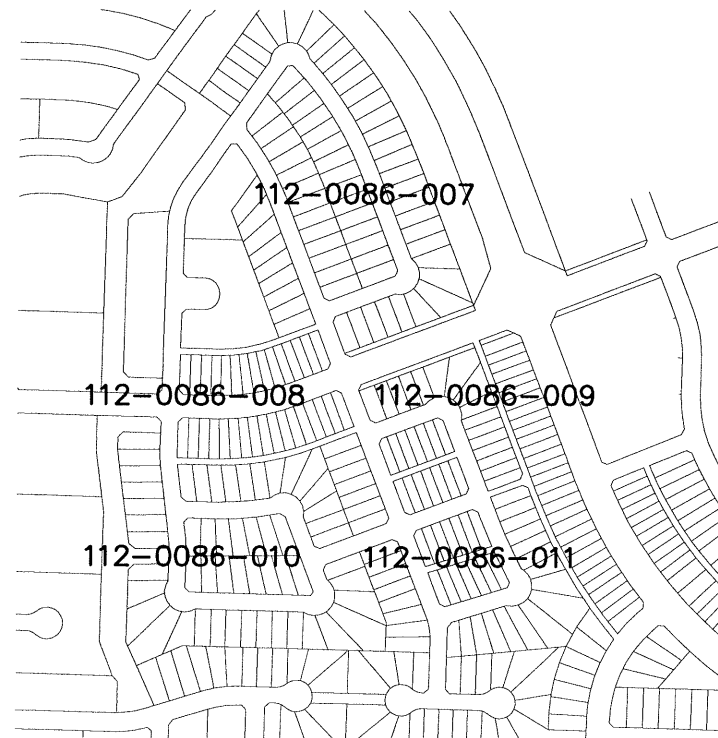
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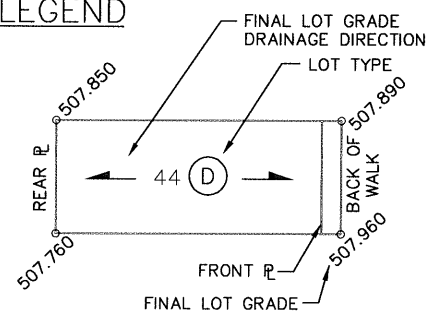
APPROVAL DATE: 2014-FEB-25

REVISION DATE:

KEY PLAN



LEGEND



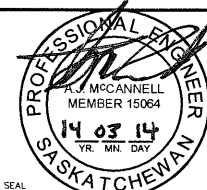
NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

LOT DRAINAGE DETAILS

LOT TYPE 'A' - SEE DRAWING 102-0022-016
 LOT TYPE 'D' - SEE DRAWING 102-0022-017
 LOT TYPE 'A-D', 'D-A' - SEE DRAWING 102-0022-013

11					
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	PLAN DESCRIPTION/REVISION	DATE	BY	SEAL	



CHECKED BY:	CHECKED BY:
<i>[Signature]</i>	<i>[Signature]</i>
DATE: 14-May-06	DATE: 14-05-15
DRAWN BY: _____	DATE: 2013-NOV-04



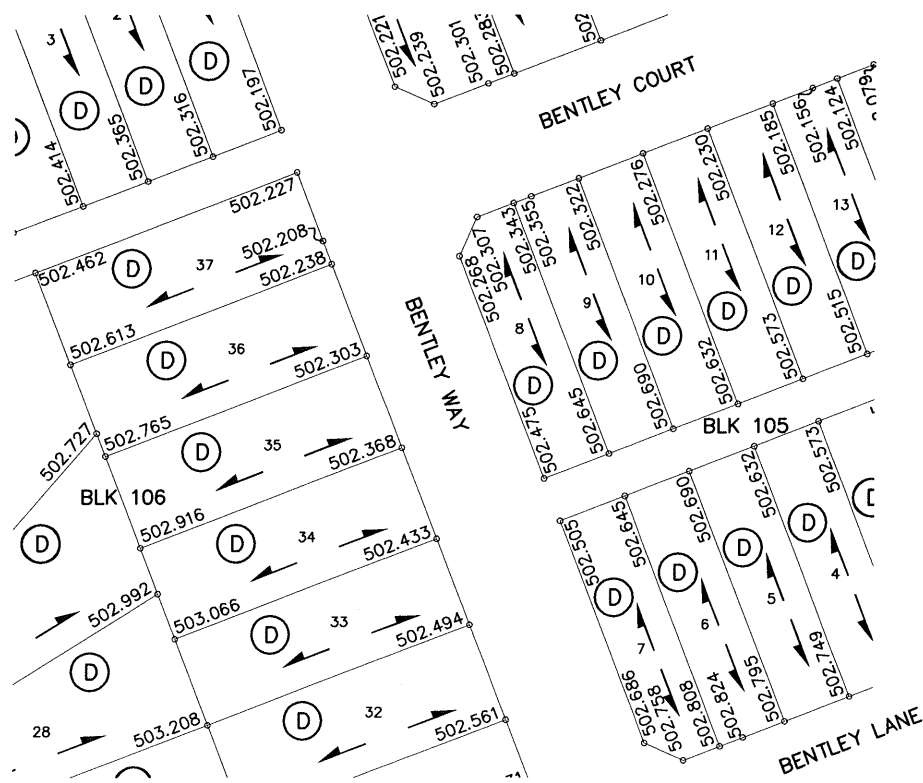
**City of
Saskatoon**

Transportation & Utilities Department

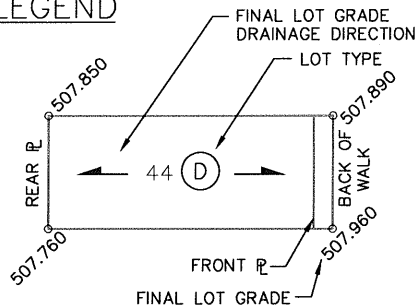
KENSINGTON ROADWAYS - PHASE A2

LOT GRADES
 STROMBERG CRESCENT, COURT,
 KENSINGTON ROAD,
 BENTLEY COURT, WAY, & LANE

CHIEF ENGINEER	<i>[Signature]</i>
SCALES:	
HOR. 1:1000	DATE: May 20, 14
VERT. _____	
SHEET NO. _____	PLAN NO. _____
	112-0086-009r001



LEGEND

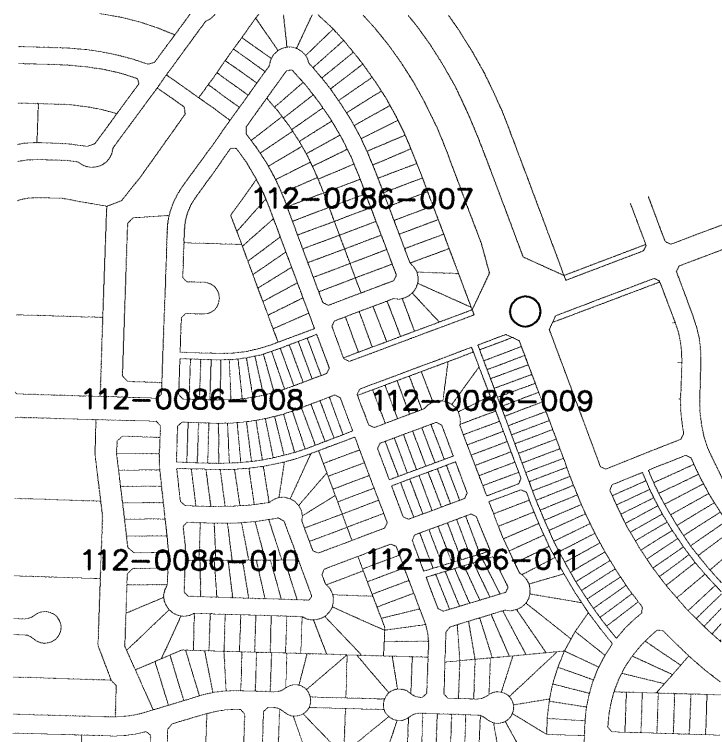


NOTE:
1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

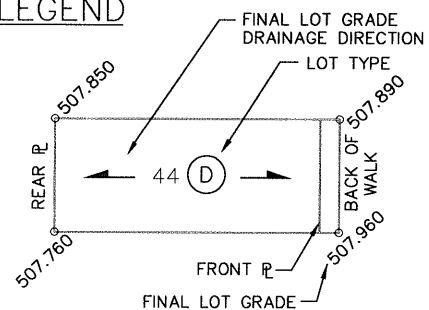
BENTLEY WAY, COURT, & LANE

<div>DRAWN BY <u>MLB</u></div> <div>DATE <u>2014-FEB-25</u></div> <div>SCALE : HOR. <u>1:1000</u> VERT. <u></u></div>	<div><div>City of Saskatoon</div><div>Transportation & Utilities Department</div></div>	<div>SOURCE DOCUMENT</div> <div>PLAN NO: <u>112-0086-009</u></div> <div>APPROVAL DATE: <u>2014-FEB-25</u></div> <div>REVISION DATE: <u></u></div>
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KEY PLAN



LEGEND

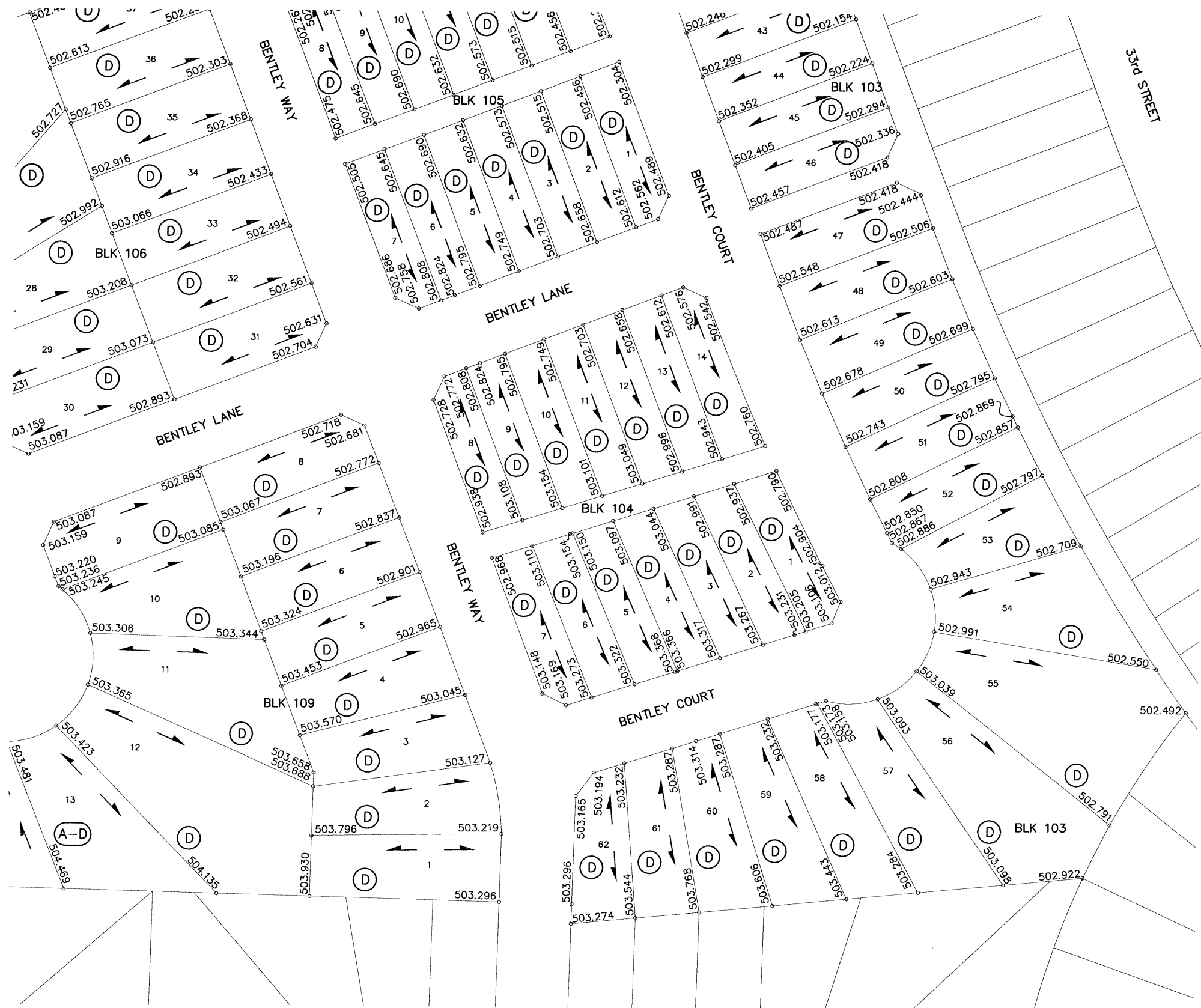


NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

LOT DRAINAGE DETAILS

LOT TYPE 'A' - SEE DRAWING 102-0022-016
 LOT TYPE 'D' - SEE DRAWING 102-0022-017
 LOT TYPE 'A-D', 'D-A' - SEE DRAWING 102-0022-013



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1	ISSUED FOR CONSTRUCTION	2013-NOV-04	MLB	
	PLAN DESCRIPTION/REVISION	DATE	BY	SEAL



CHECKED BY:	CHECKED BY:
<i>[Signature]</i>	<i>[Signature]</i>
DATE: 14-May-06	DATE: 14-05-15
DRAWN BY: MLB	DATE: 2013-NOV-04



City of Saskatoon

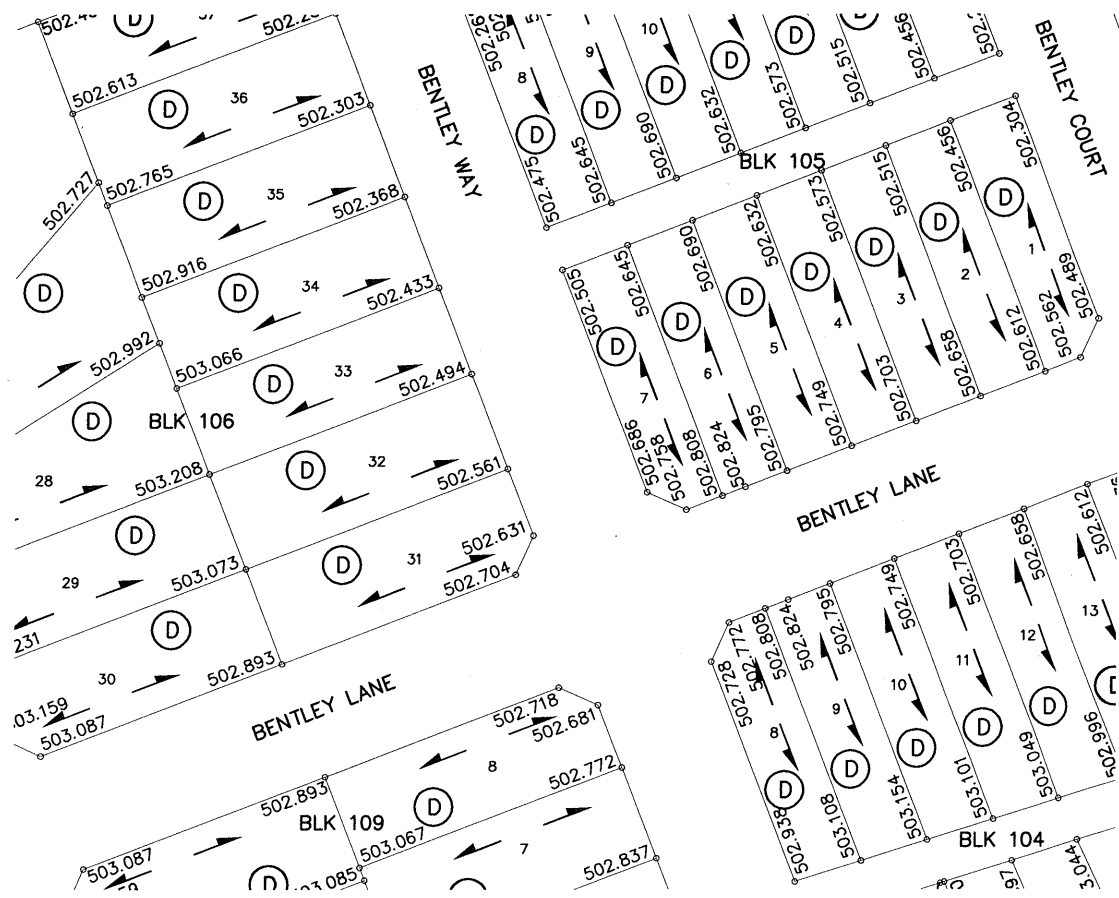
Transportation & Utilities Department

KENSINGTON ROADWAYS - PHASE A2

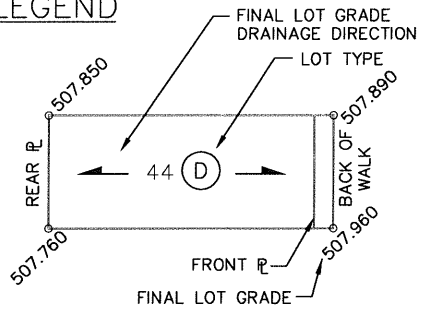
LOT GRADES
 BENTLEY WAY, COURT, & LANE

CHIEF ENGINEER	<i>[Signature]</i>
SCALES:	
HOR. 1:1000	
VERT. 1:1000	
SHEET NO.	PLAN NO.

112-0086-011r001



LEGEND



NOTE:
1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

BENTLEY LANE & WAY

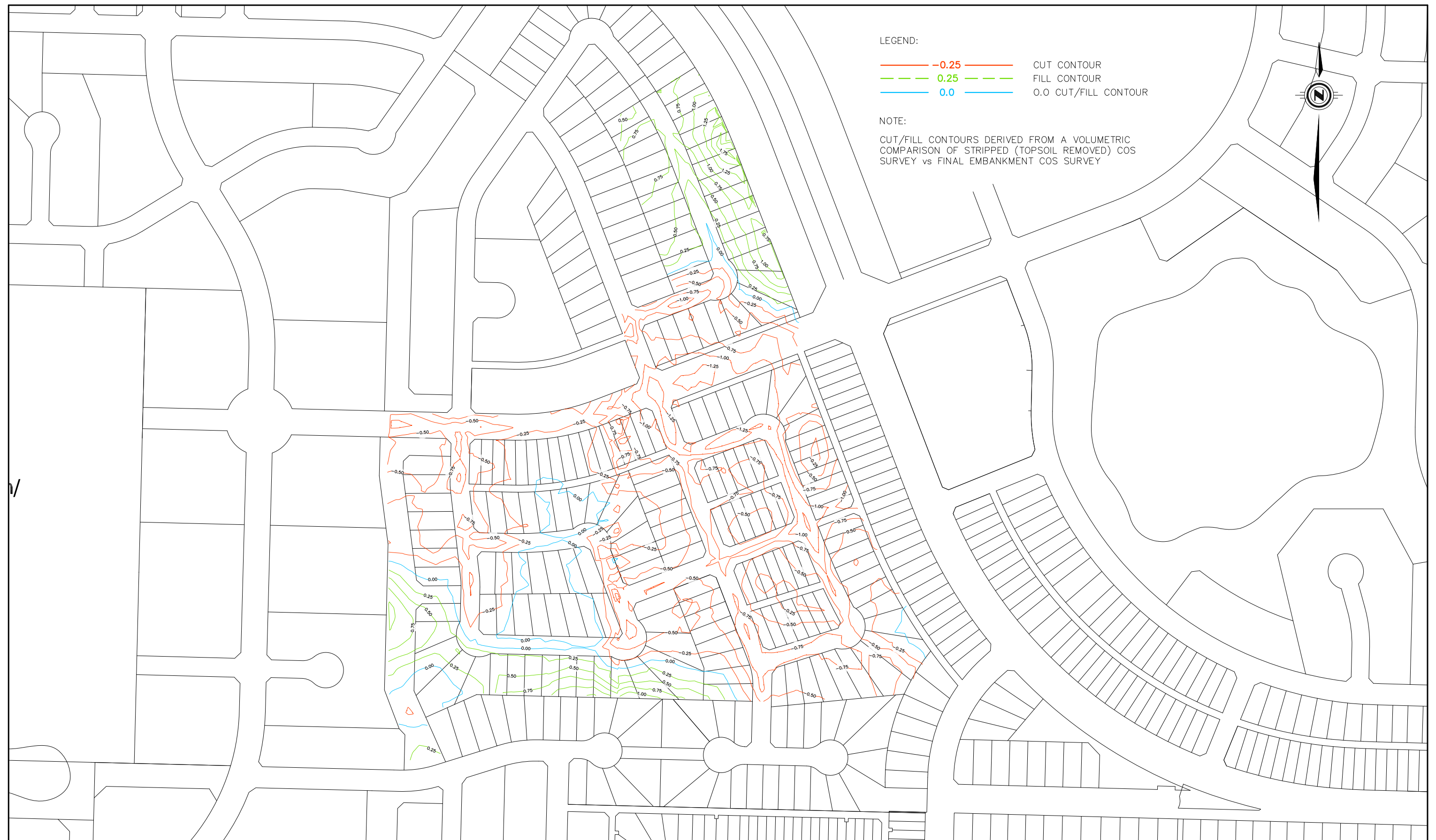
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DATE <u>2014-FEB-25</u>		APPROVAL DATE: <u>2014-FEB-25</u>	
SCALE : HOR. <u>1:1000</u> VERT. <u></u>		REVISION DATE: <u></u>	

Figure 9 - Design Contours



<div>11</div> <div>10</div> <div>9</div> <div>8</div> <div>7</div> <div>6</div> <div>5</div> <div>4</div> <div>3</div> <div>2</div> <div>1</div>		<div>ISSUED FOR CONSTRUCTION</div> <div>2012-JUN-19</div> <div>RWDI</div> <div>PLAN DESCRIPTION / REVISION</div> <div>DATE</div> <div>BY</div>	<div></div>	<div>CONSTRUCTION & DESIGN</div> <div></div> <div>ENGINEER</div> <div>August 21, 2012</div> <div>DATE</div> <div>DRAWN BY</div> <div>RWDI</div> <div>DATE</div> <div>2011-DEC-29</div>	<div>TRANSPORTATION</div> <div></div> <div>ENGINEER</div> <div>Sept 10/12</div> <div>DATE</div>	<div>PUBLIC WORKS</div> <div></div> <div>ENGINEER</div> <div>24 Sept/12</div> <div>DATE</div> <div>CHECKED BY</div> <div></div> <div>DATE</div> <div></div>	<div>STRATEGIC SERVICES</div> <div></div> <div>ENGINEER</div> <div>Oct 2, 2012</div> <div>DATE</div>	<div></div> <div>City of Saskatoon</div> <div>Infrastructure Services Department</div>	<div>KENSINGTON DEVELOPMENT PHASE A-2</div> <div>AREA GRADING</div> <div>DESIGN CONTOURS</div>	<div></div> <div>GENERAL MANAGER</div> <div>004,12</div> <div>DATE</div> <div>SCALES:</div> <div>HOR. 1:3000</div> <div>VERT. 1:3000</div> <div>SHEET NO.</div> <div>PLAN NO.</div> <div>113-0080-302r001</div>
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Figure10 – Cut/Fill Map

[illegible]

PS #102144844
Approved: 13-Nov-2014





Zoning Map of Kensington

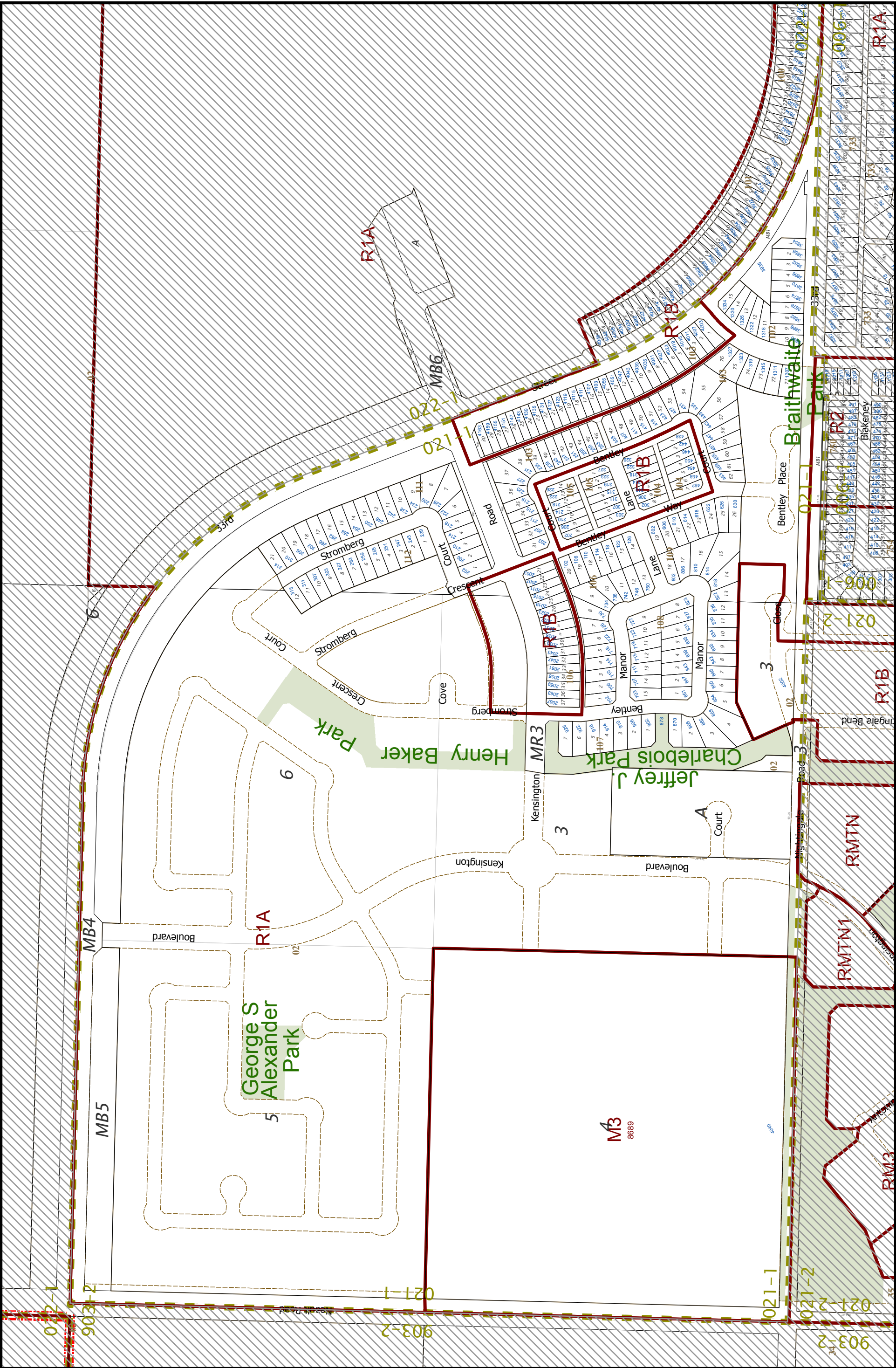
Scale 1:6,800

021-0

Mar 29, 2017



 Zoning Area
  ISC Blocks
 ISC Lots
  ISC Plan Boundary



Address Map of Kensington



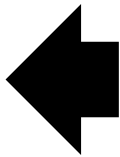
Note: The information contained on this map is for reference only and not to be used for legal purpose

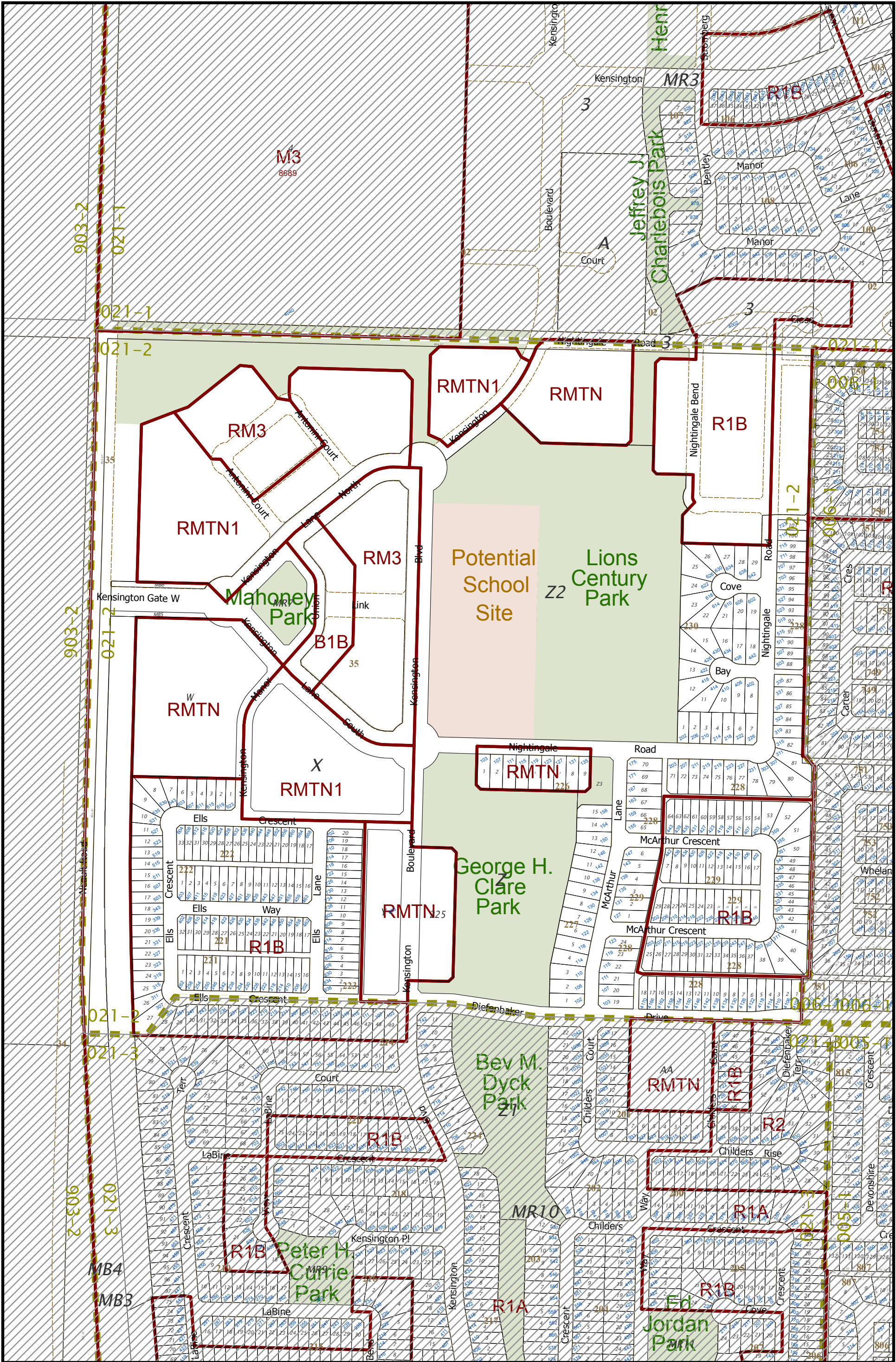
- Zoning Designation
- ISC Lots
- ISC Blocks

Scale 1: 4000

021-1

Mar 28, 2017





Address Map of Kensington



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- Zoning Designation
- ISC Lots
- ISC Blocks

Scale 1: 4000

021-2

Mar 28, 2017



Address Map of Kensington



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- ☒ Zoning Designation
- ☐ ISC Lots
- ☐ ISC Blocks

Scale 1:4000

021-3

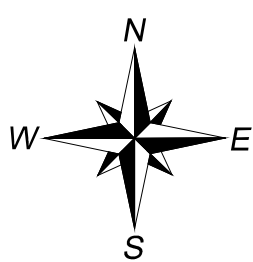
Mar 28, 2017



KENSINGTON CONCEPT PLAN

AMENDED FEBRUARY 29, 2016

ORIGINAL KENSINGTON
CONCEPT PLAN
APPROVED APRIL 2012



- SINGLE FAMILY DETACHED
- SINGLE FAMILY DETACHED (RESIDENTIAL CARE HOME)
- MULTI UNIT (STREET TOWNHOUSE)
- MULTI UNIT (GROUP TOWNHOUSE)
- MULTI UNIT (STACKED GROUP TOWNHOUSE)
- MULTI UNIT MEDIUM DENSITY (APARTMENT STYLE)
- MIXED USE (COMM/RES/INST.)
- COMMERCIAL
- POTENTIAL SCHOOL SITE
- MUNICIPAL RESERVE
- STORM WATER PARCEL
- BUFFER STRIP
- STORM POND
- CONCEPT PLAN BOUNDARY
- CITY LIMITS



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DRAWING NOT TO BE SCALED
March 10, 2016

HWY 14

22nd Street