

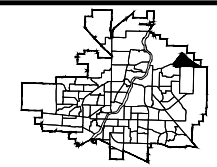
ASPEN
RIDGE



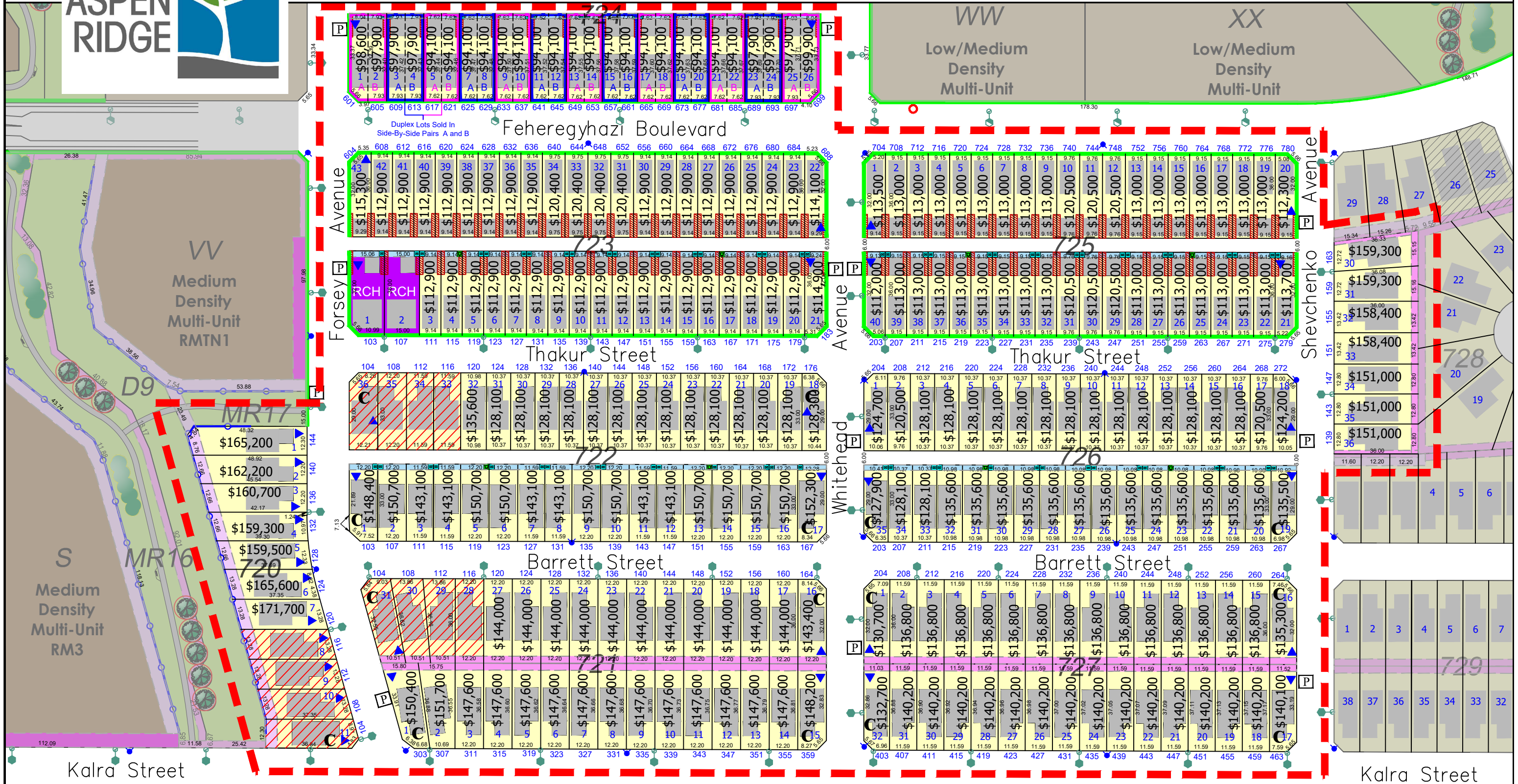
Phase 4 - Lot Information Map

247 Lots - Feheregyhazi Boulevard, Thakur Street, Barrett Street, Forsey Avenue,
Whitehead Avenue, Shevchenko Avenue, Kalra Street

Attachment 1



F:\Land\Projects\Sales Room and Website\Aspen Ridge\B11 Aspen Ridge Phase 4 - With Pricing_Dec 2019.dwg



Legend:

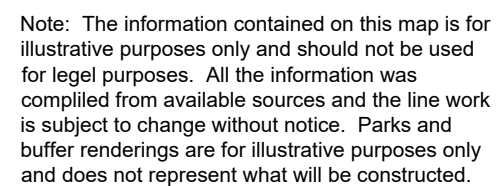
Single Family	Net Zero Demonstration Lots	Open Space	Easement 2m	Utility Corridor	Block Number 721	Fire Hydrant	Transit Stop
Residential Care Home	Multi-Unit Parcel	Conceptual Design Subject to Change	Easement 3m	Transformer	Lot Number 12	Wildlife Fence	Conceptual Design Subject to Change
Duplex Lots	Low/Medium Density	Concrete Pad	Easement 5m	Service Pedestal	Mail Box	University of Saskatchewan Research Lands	Highly Visible Lot
Sold In Side-By-Side Pairs A and B	Multi-Unit Parcel	Corner Garage Location	Easement 6m			Decorative Fence	Vertical Curb
	Medium Density						Light Standard

City of Saskatoon
Saskatoon Land - December 2019

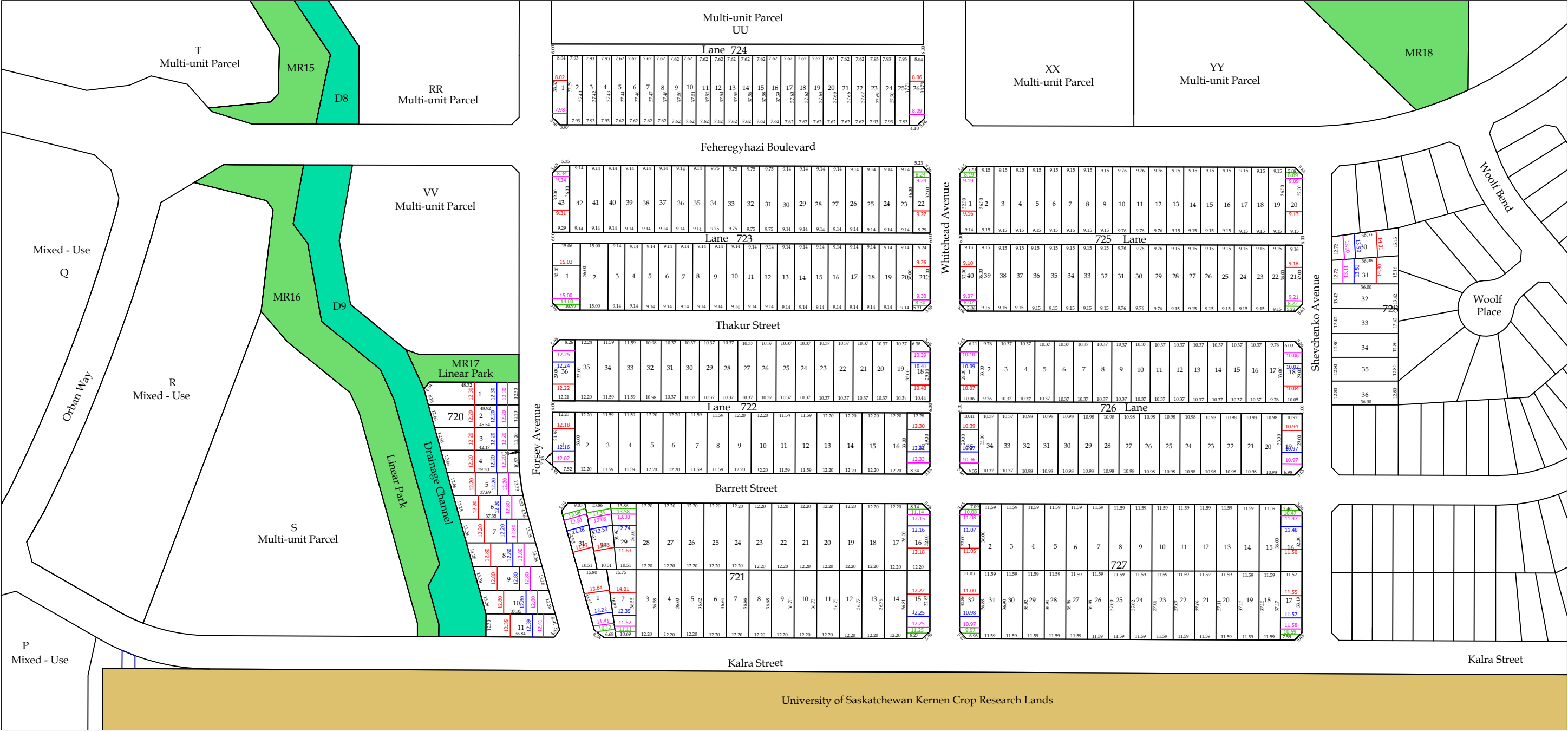
Note: The Saskatoon Land does not guarantee the accuracy of this plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. Park and buffer renderings are for illustrative purposes only and do not represent what will be constructed. To ensure accuracy, please refer to the Registered Plan of Survey. Distances are in meters unless shown otherwise. Do not scale.

Note: This map is conceptual and is subject to change.

See www.saskatoonland.ca for updated lot availability



HOUSING FOOTPRINTS AND ZONING BYLAW BUILDING AREA



- LEGEND**
- Conceptual 3m Setback
 - Conceptual 6m Setback
 - Conceptual 12m Setback
 - Conceptual 24m Setback

Note: The information contained on this map is for illustrative purposes only and should not be used for legal purposes. All the information was compiled from available sources and the line work is subject to change without notice. Parks and buffer renderings are for illustrative purposes only and does not represent what will be constructed.



Scale: NTS
Date: 2020 - 01
Drawn By: TF
File No.

ASPEN RIDGE PHASE 4
HOUSE AND GARAGE
SETBACK DIMENSIONS



Zoning Map of Aspen Ridge

Note: The information contained on this map is for reference only and is not to be used for legal purpose



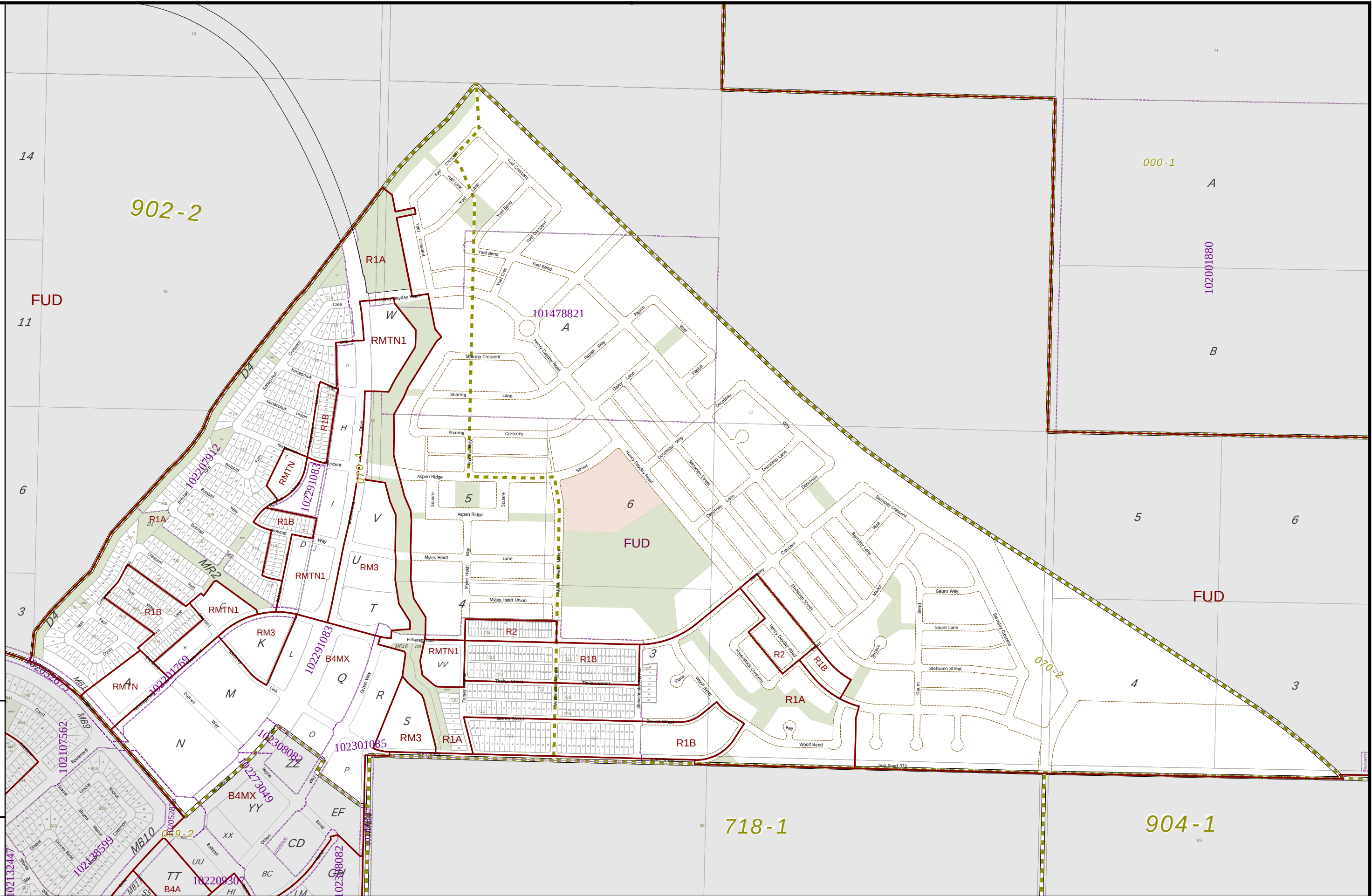
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- ISC Plan Boundary

Bylaw 8770

Scale 1:8500

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1/8/2020

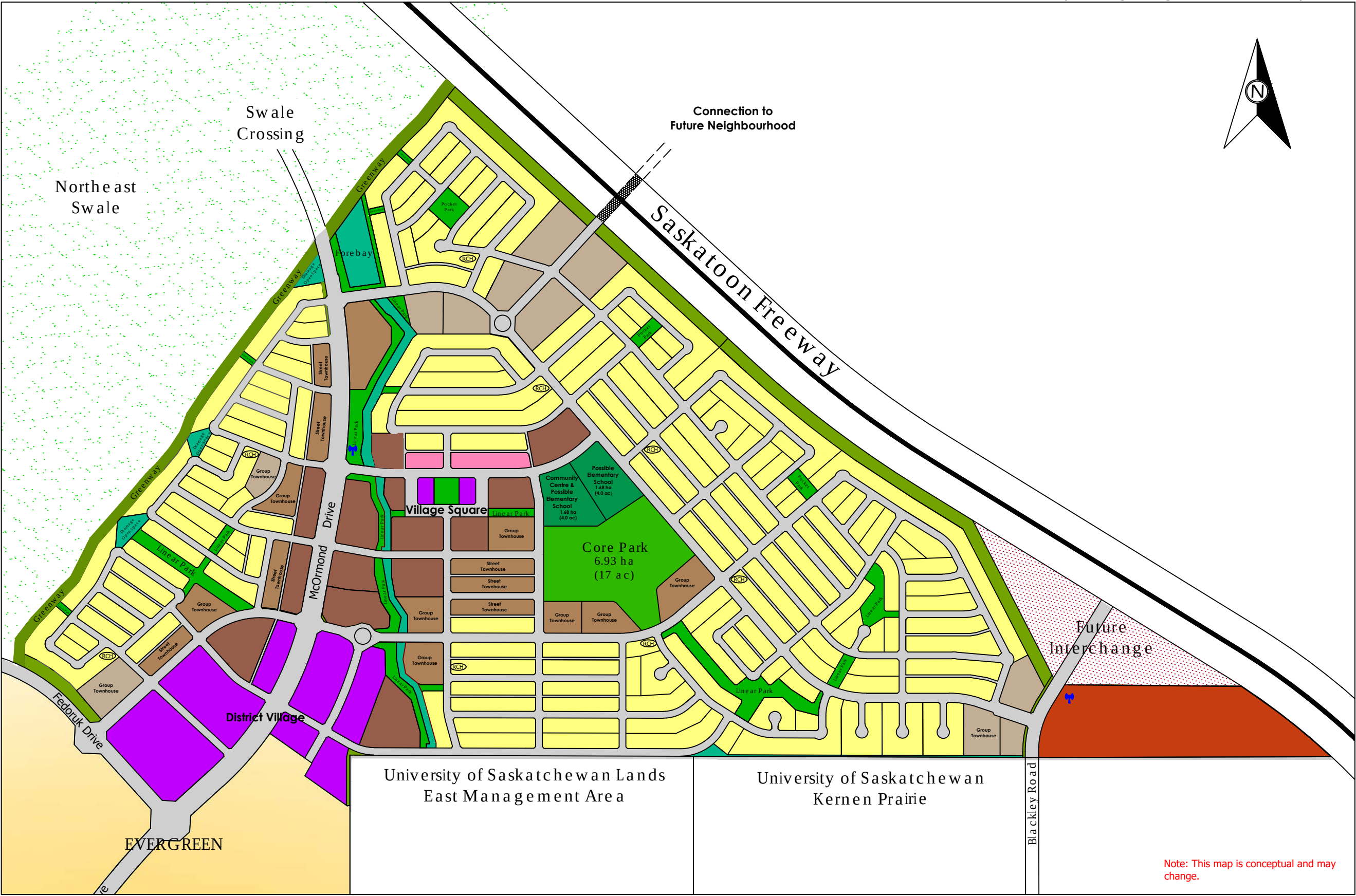


Land Use Concept Plan

Figure - 3
Aspen Ridge Neighbourhood Concept Plan

Legend

- Low Density
- Low Density Multi Unit
- Low/Med Density Multi Unit
- Medium-Density Multi Unit
- Medium-Density Mixed-Use
- Low-Density Mixed-Use
- Park
- Landscaped Drainage Open Space
- Greenway
- Buffer
- Elementary Schools/Community Centre
- Urban Holding Area
- Northeast Swale
- Possible Roadway Extension
- Neighbourhood Boundary
- (RCH) Possible Residential Care Home Site
- Possible Cell Tower Location





UNIVERSITY OF
SASKATCHEWAN

College of Agriculture
and Bioresources

April, 2015

**A message to current and potential residents of Aspen Ridge
From the College of Agriculture and Bioresources, University of Saskatchewan.**

This message is intended to provide you with information about the Kernen Crop Research Farm (Kernen Farm), which has been operated by the University's College of Agriculture and Bioresources (Crop Development Centre) since 1977. The farm is located immediately south of the Aspen Ridge sub-division and includes two sections of land (1280 acres) that were acquired by the University from the late Mr. Fred Kernen on the condition that they be used for crop research. This land from the original farm also includes two quarter sections of unbroken, native prairie ('Kernen Prairie') that were acquired from Mr. Kernen on the condition that this land be preserved in its unbroken state. Over the years, the Kernen Crop Research Farm has grown to include an additional 480 acres located between the east boundary of the farm and Highway 41. Kernen Farm is an agricultural field research facility and the cultivated land on the farm is used primarily for:

- support of our plant breeding programs in wheat, barley, oats, flax and pulse crops (peas, lentils, chickpeas and beans). Over the years, we have developed approximately 400 new crop varieties for use by Saskatchewan farmers to produce food and bioproducts for everyone
- the production of breeder seed of crop varieties developed by our plant breeders; and
- research in agronomy, weed control and plant disease management.

Each year about one-quarter of the land is used for research and the remainder is commercially farmed using the same techniques used on other grain farms in the province. As on any Saskatchewan farm, weather plays a huge role in dictating the timing of operations. You may see our field crews working irregular hours - very early in the morning or late in the evening when weather conditions for particular farm operations are more favourable than they are during normal working hours.

In the course of conducting our research and managing our commercial grain crops, we use normal farming practices, including the use of pesticides. For routine applications, we use only products that have been registered for such use and we follow the product label directions. Our research on weed and plant disease control can involve the evaluation of new pest control products. These materials are applied according to current experimental protocols. Our farm and research staff are trained in the safe use and handling of pesticides, and utilize the appropriate safety clothing and equipment when they are applying pesticides.

Kernen Prairie is used for research into native prairie conservation and management. The Prairie is grazed by livestock and prescribed fires are regularly set in coordination with the Saskatoon Fire Department. Access to Kernen Prairie is restricted to prevent disturbing the livestock, and damaging the research plots and the wild flora and fauna.

No public access is permitted to the Kernen Farm to protect the integrity of the research trials that are conducted year round. Protecting our farming areas from insects, diseases, weeds and disturbances is not only important, it is essential to ensure that our research results are valid and accurate.

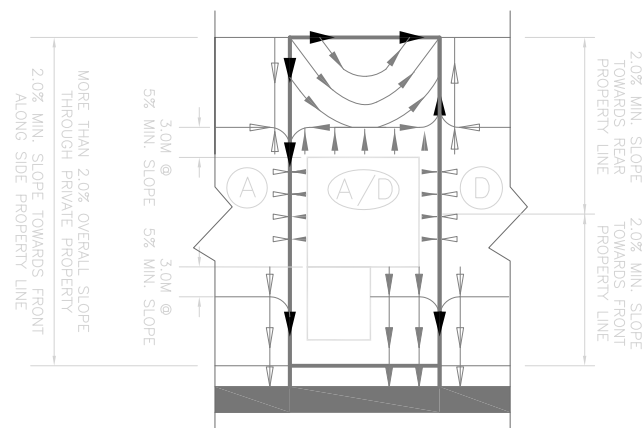
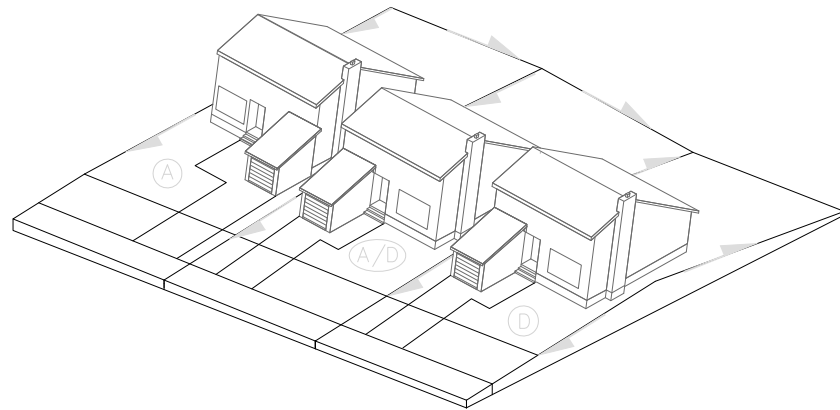
I hope you enjoy your home in Aspen Ridge, and that you will appreciate and respect the nature of the research and protected native prairie at the Kernen Farm.

Yours truly,

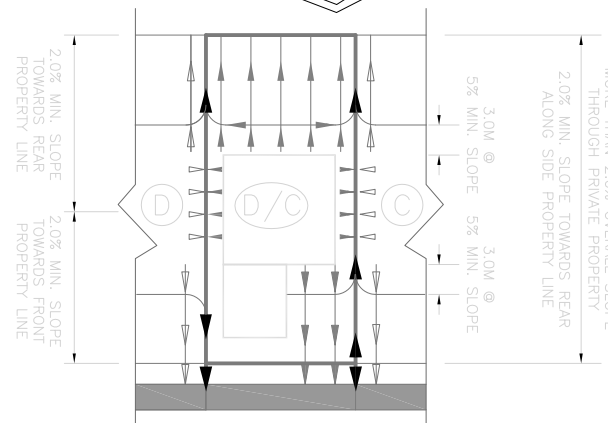
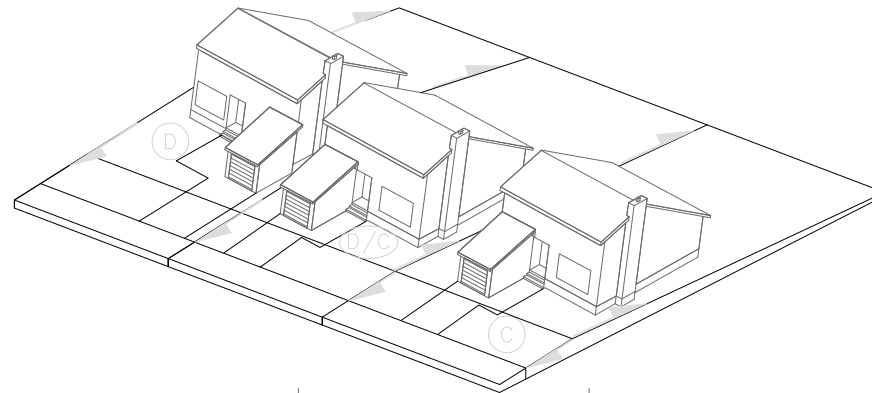
Mary M. Buhr
Dean and Professor

Questions or concerns? Contact: Kirk Blomquist, Superintendent – Field Operations, Department of Plant Sciences/Crop Development Centre (306 966-4985)

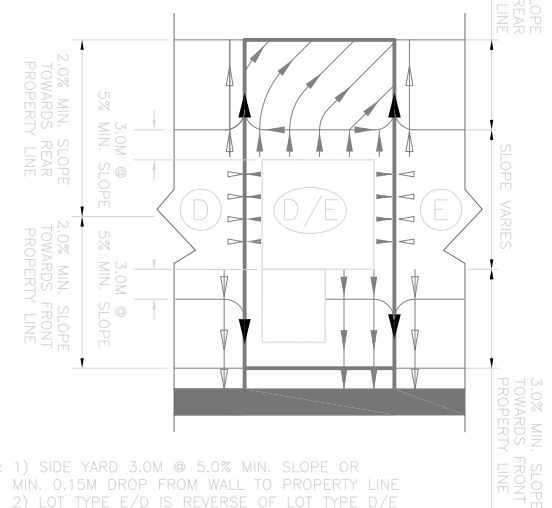
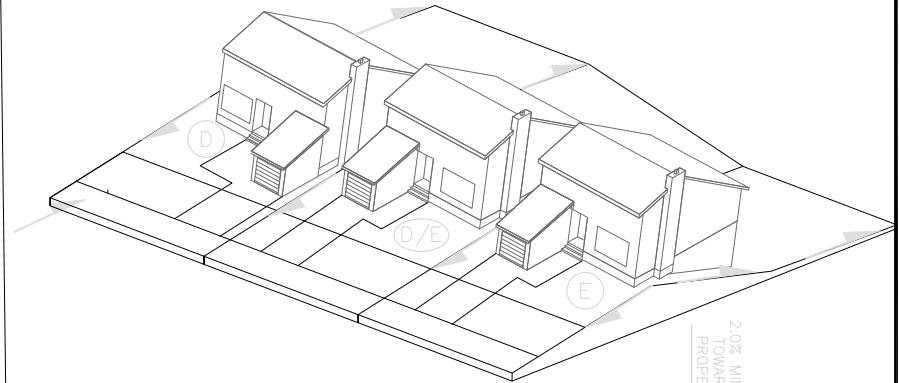
Lot Grading Types



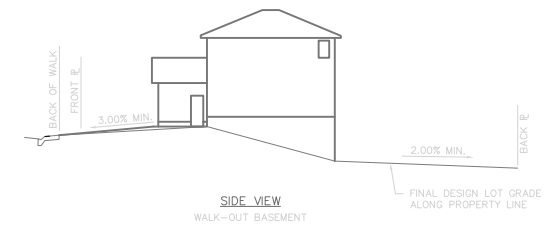
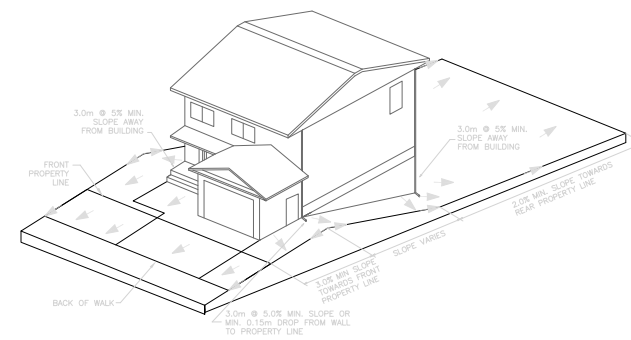
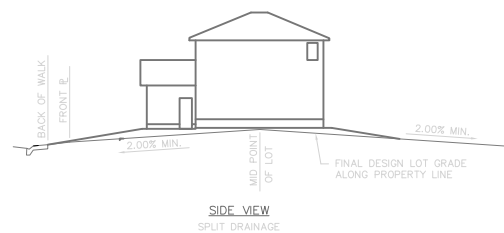
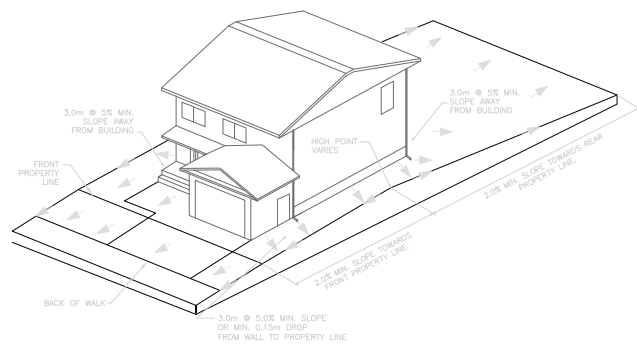
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2) LOT TYPE D/A IS REVERSE OF LOT TYPE A/D

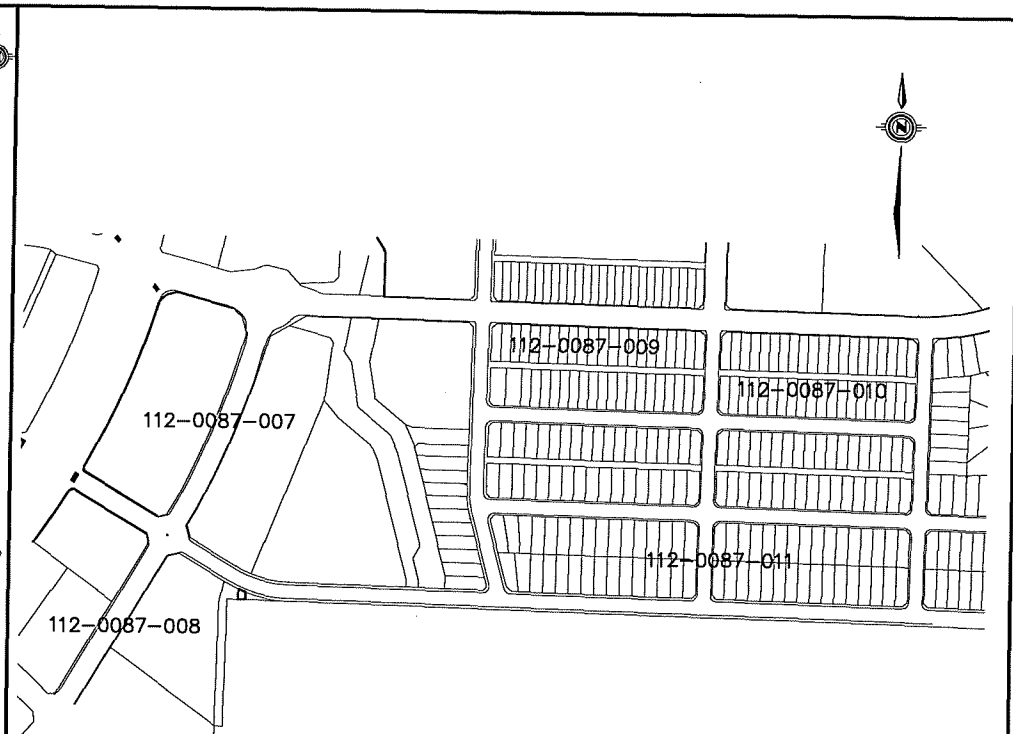
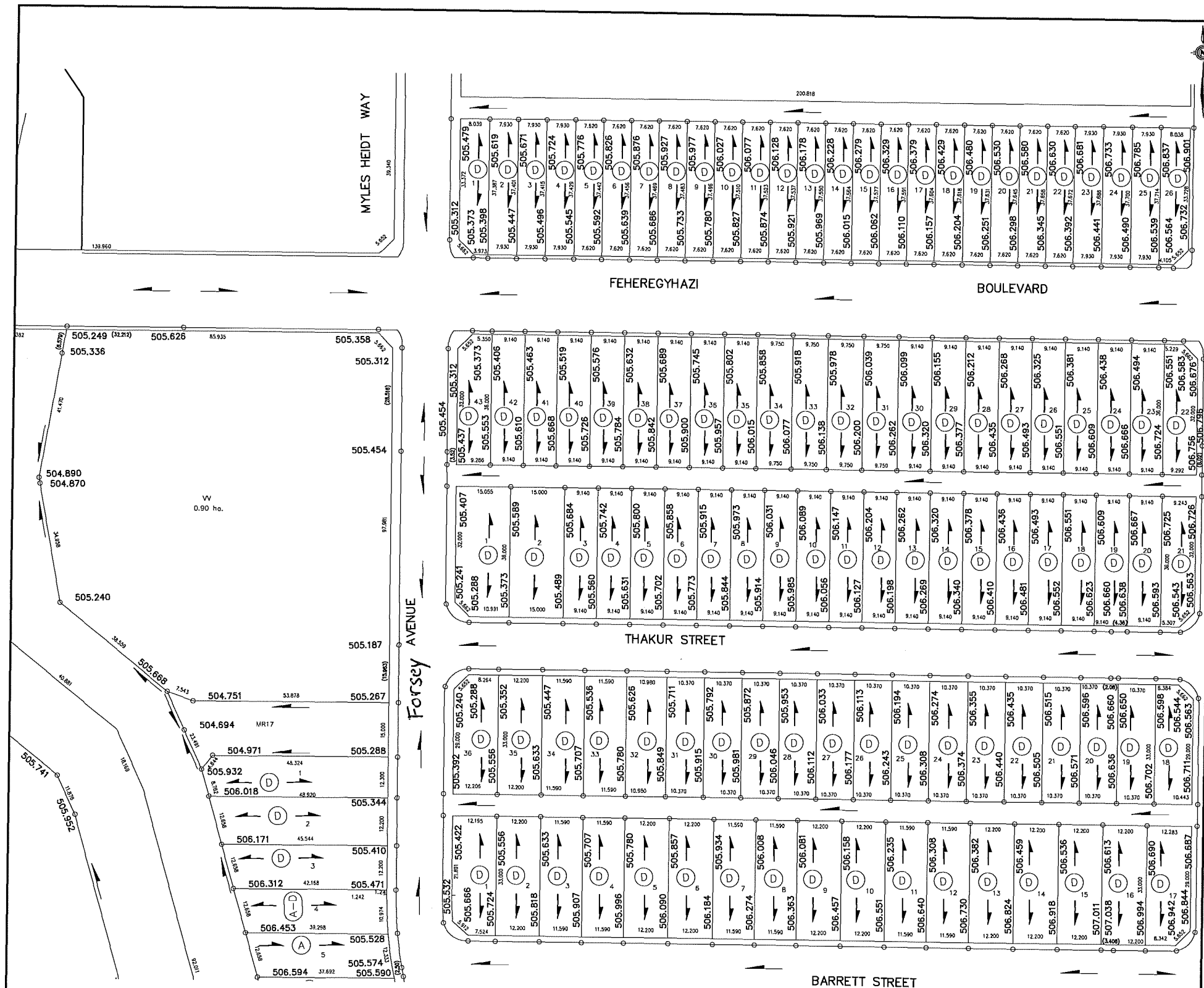


NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE C/D IS REVERSE OF LOT TYPE D/C



NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE E/D IS REVERSE OF LOT TYPE D/E





KEY PLAN

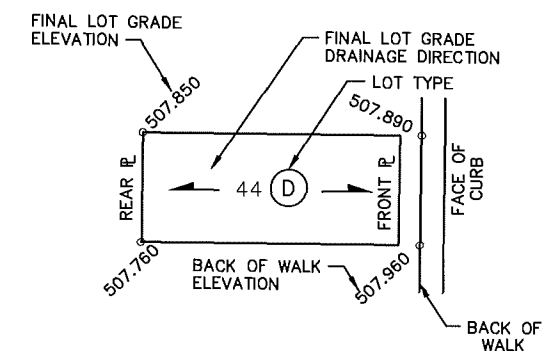
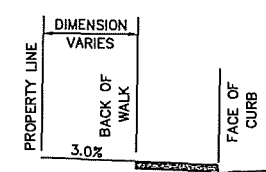
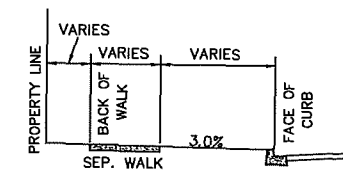
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NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

LOT DRAINAGE DETAILS

LOT TYPE 'D' - SEE DRAWING 102-0022-017
LOT TYPE 'A' - SEE DRAWING 102-0022-016
LOT TYPE 'A-D', 'D-A' - SEE DRAWING 102-0022-013



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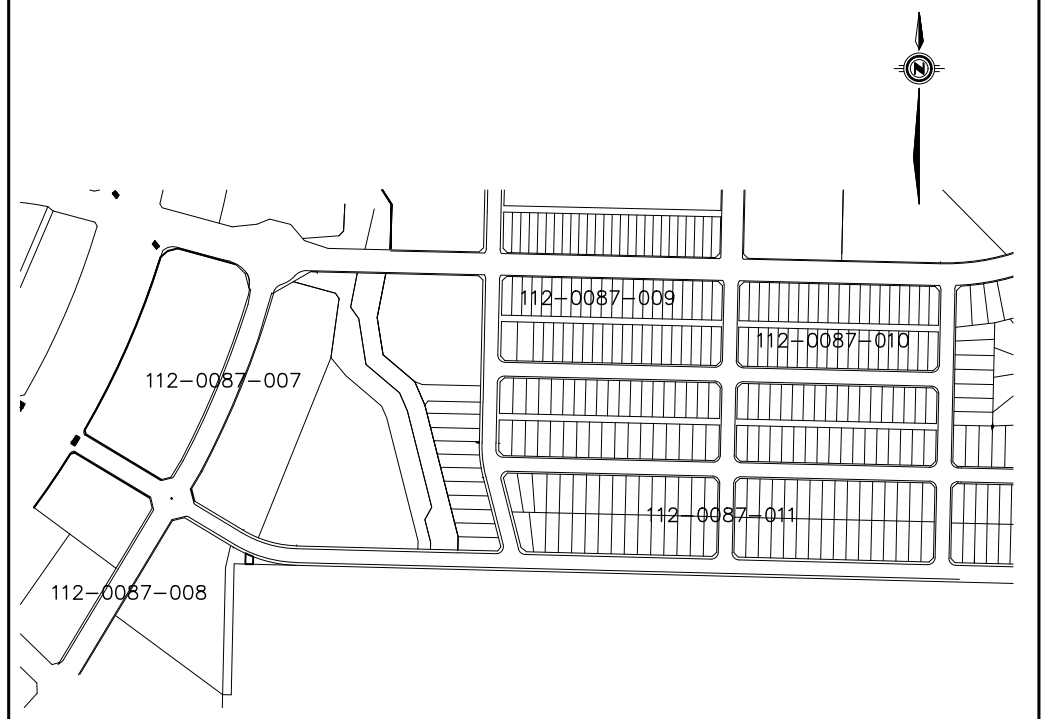
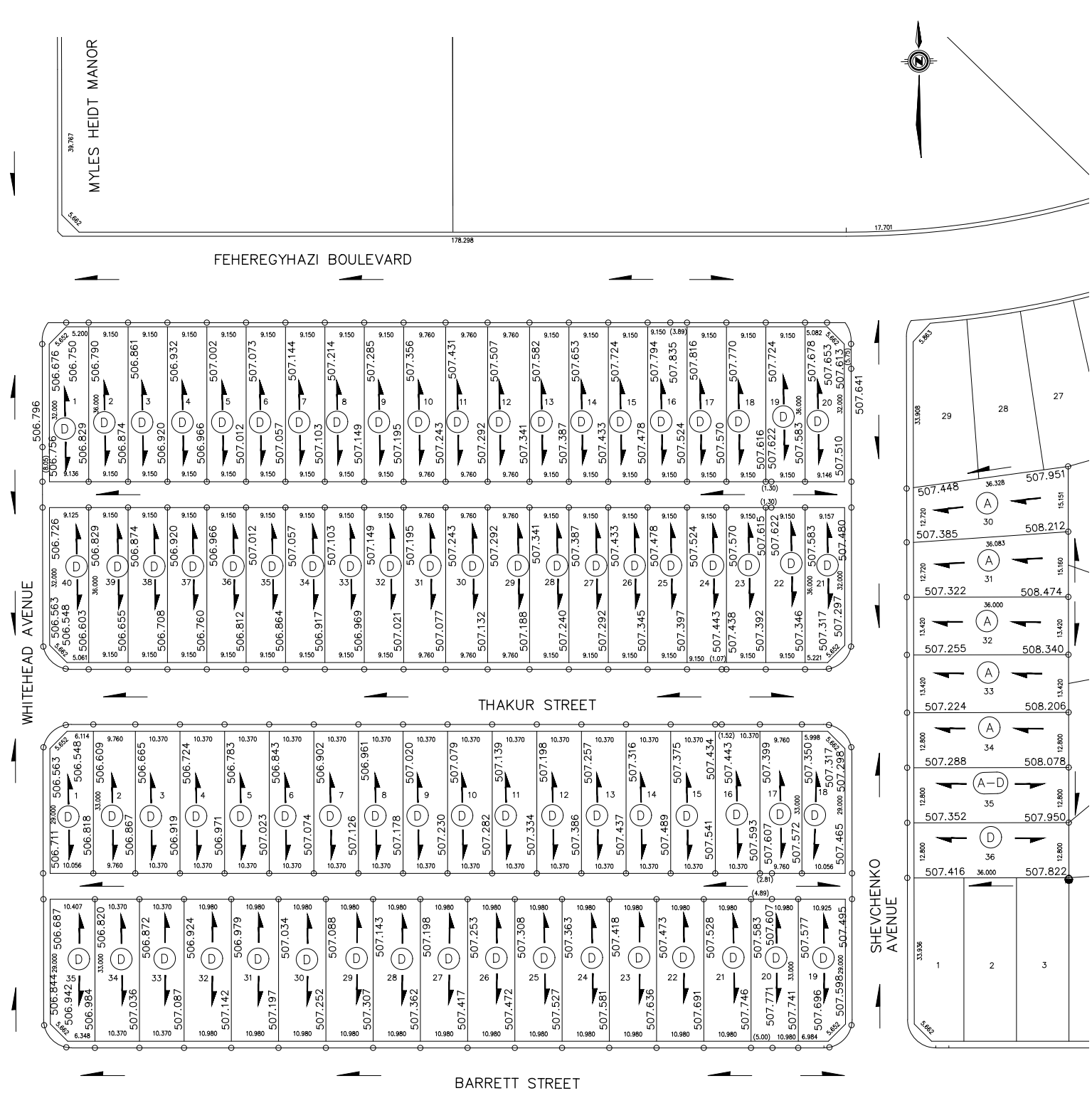
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City of Saskatoon
Transportation & Utilities Department

ASPEN RIDGE - PHASE B1

LOT GRADES
FEHREGYHAZI BOULEVARD, THAKUR STREET
Forsey AVENUE & BARRETT STREET

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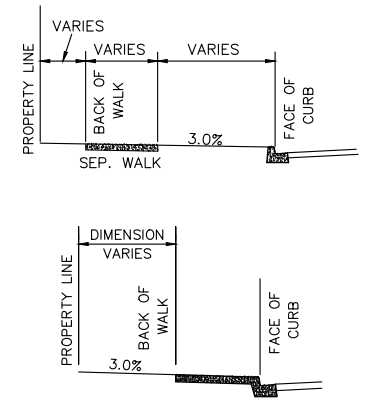
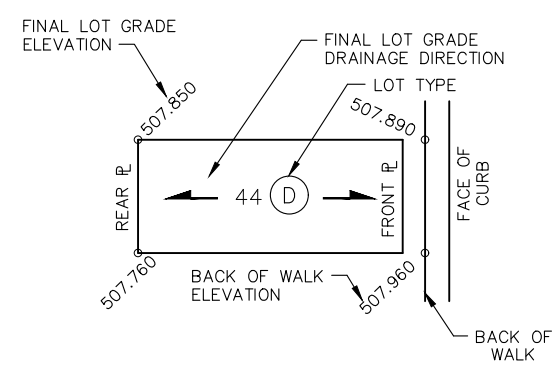
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- NOTE:
1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
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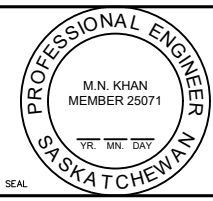
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LOT TYPE 'A' - SEE DRAWING 102-0022-016
LOT TYPE 'A-D', 'D-A' - SEE DRAWING 102-0022-013



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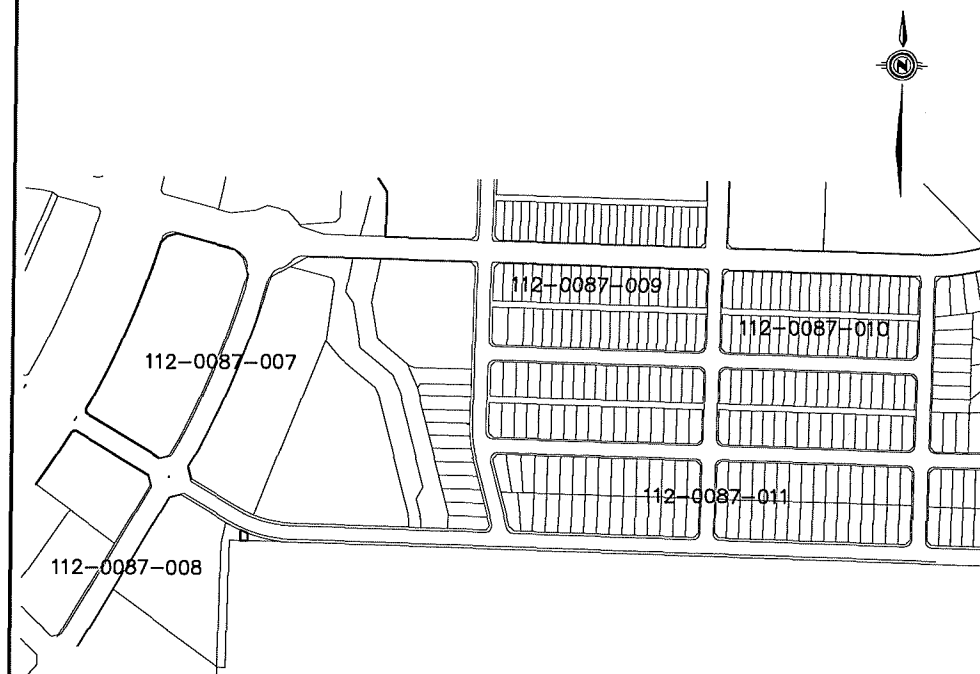
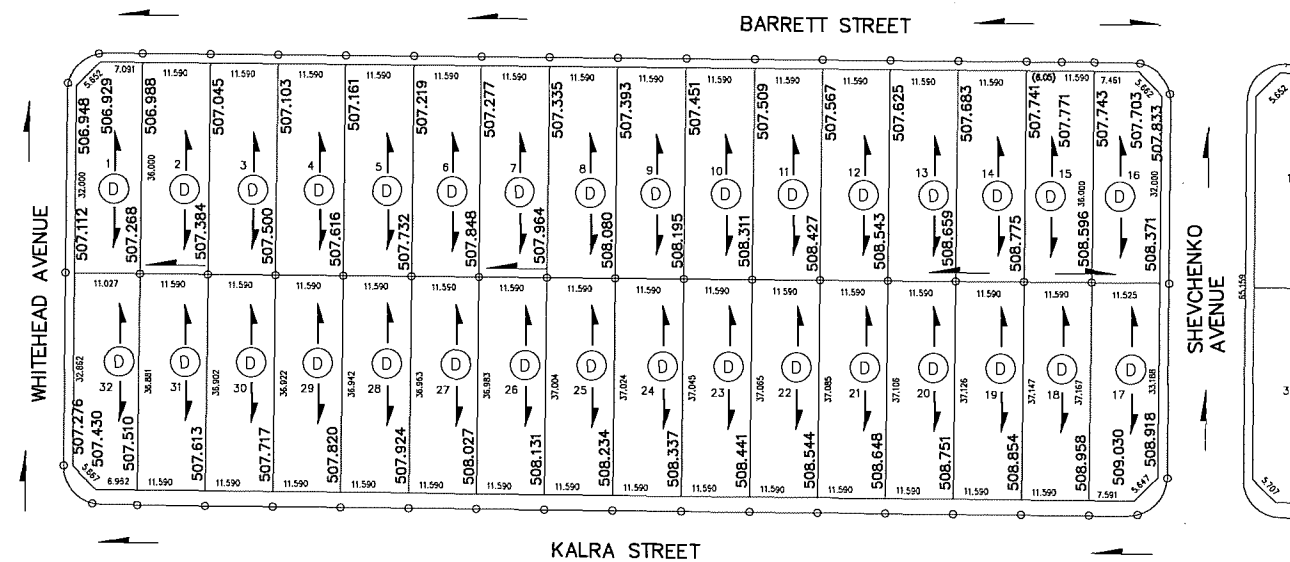
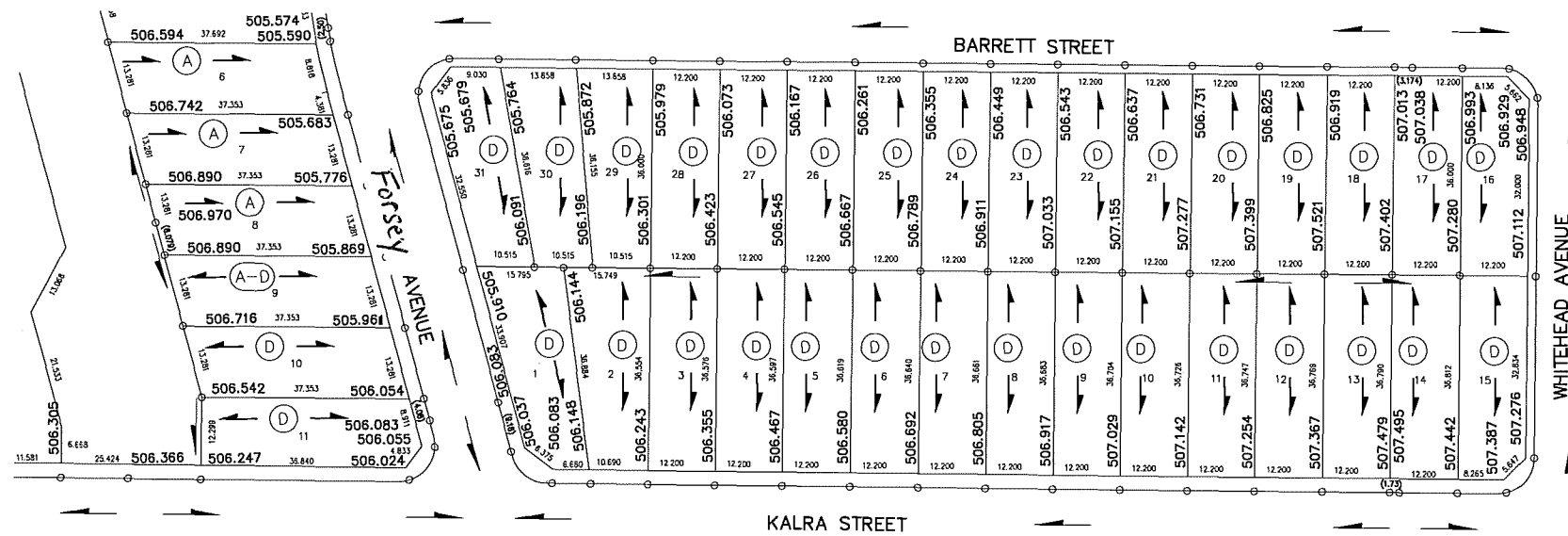


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ASPEN RIDGE - PHASE B1
LOT GRADES
FEHEREGYHAZI BOULEVARD, THAKUR STREET
SHEVCHENKO AVENUE & BARRETT STREET

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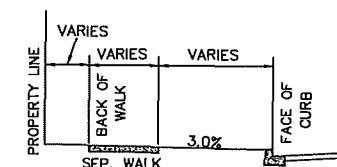


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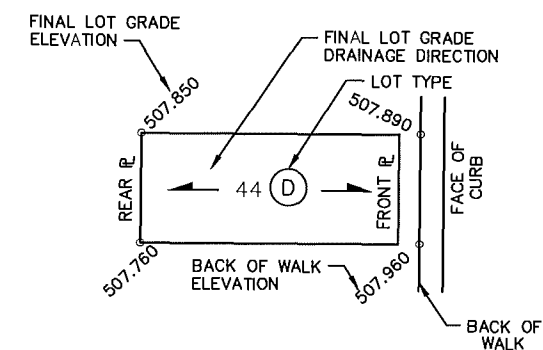
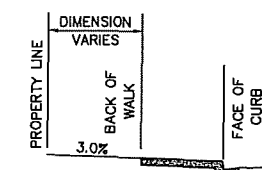
NOTE:

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2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.



LOT DRAINAGE DETAILS

LOT TYPE 'D' - SEE DRAWING 102-0022-017
 LOT TYPE 'A' - SEE DRAWING 102-0022-016
 LOT TYPE 'A-D', 'D-A' - SEE DRAWING 102-0022-013



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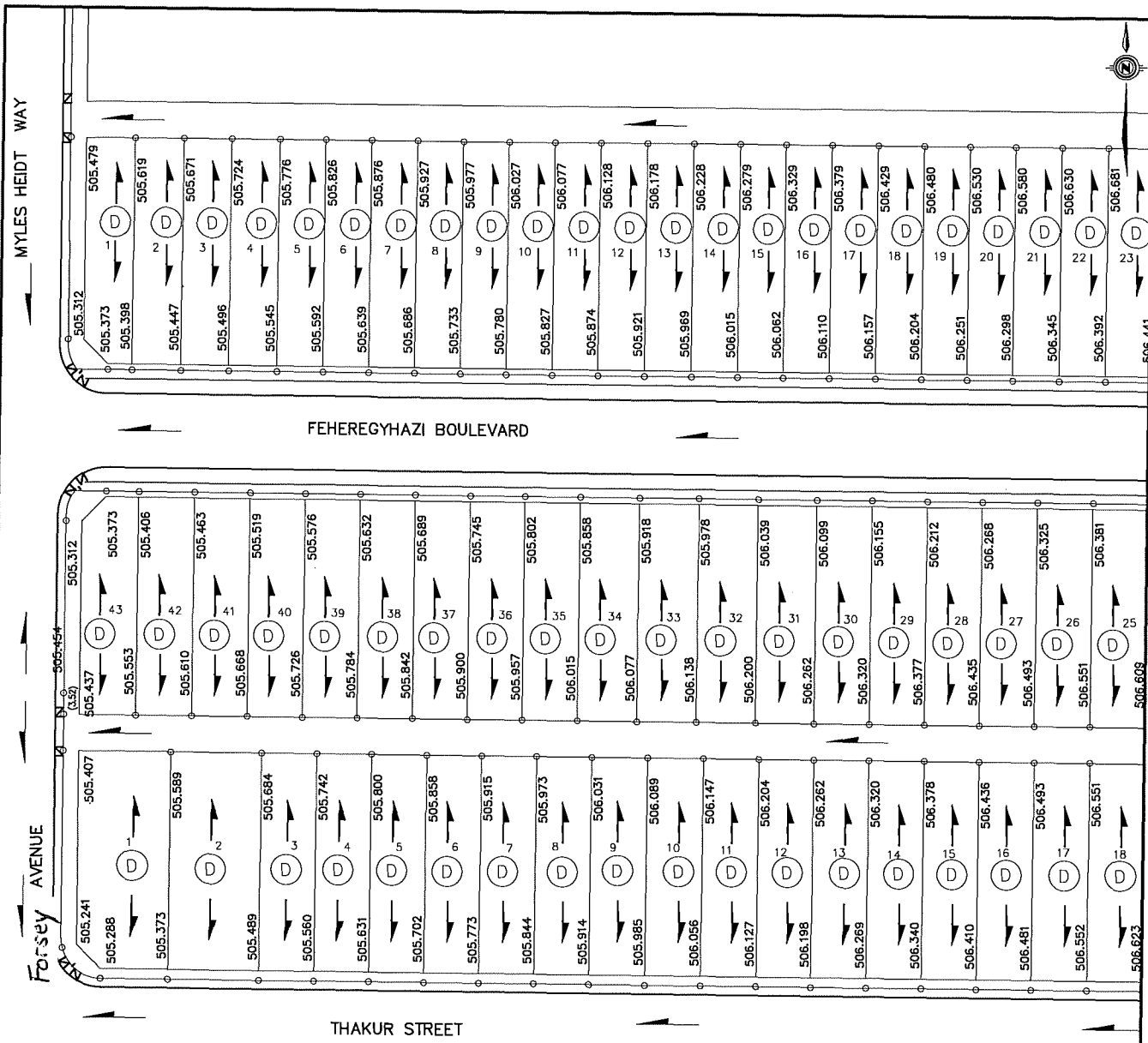
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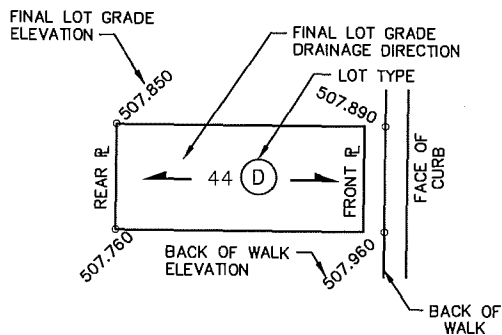
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ASPEN RIDGE - PHASE B1	CHIEF ENGINEER
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NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

FEHEREGYHAZI BOULEVARD, THAKUR STREET

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 SCALE: 1:1000
 PLAN No.:
 PAGE: 5 OF 11



**City of
Saskatoon**

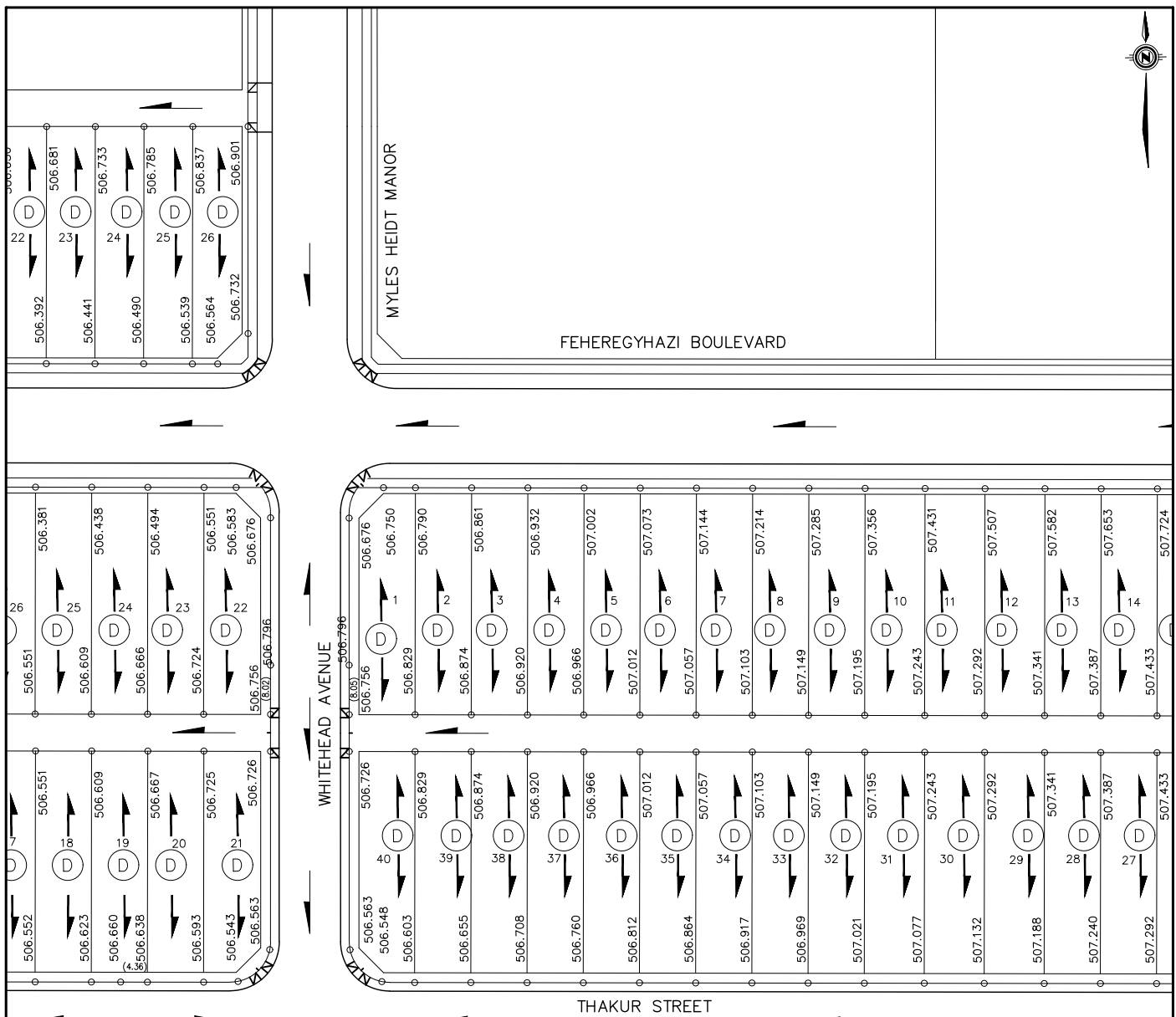
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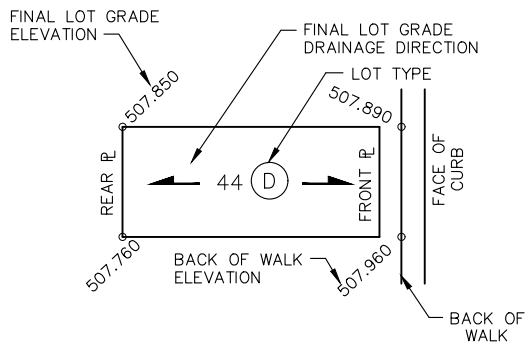
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APPROVAL DATE:

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NOTE:

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FEHEREGYHAZI BOULEVARD, THAKUR STREET

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PLAN No.:
PAGE: 6 OF 11



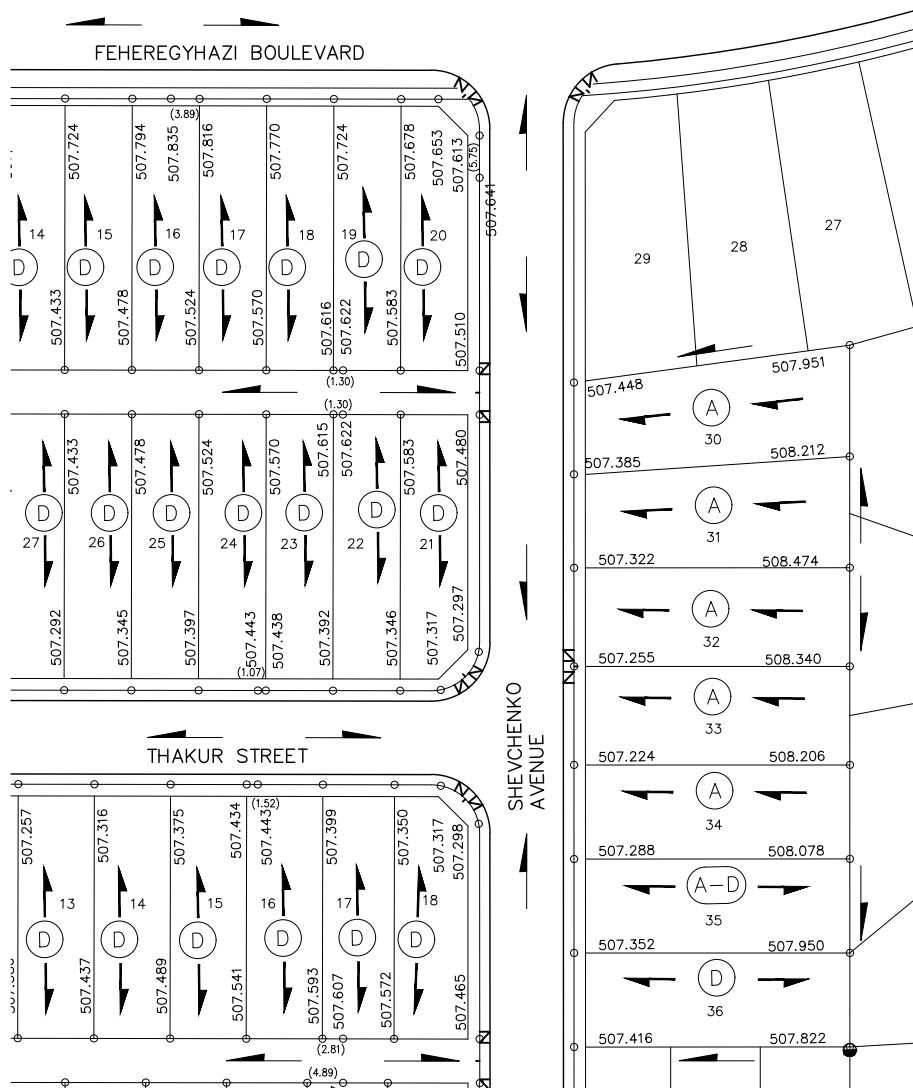
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Saskatoon**
Transportation & Utilities Department

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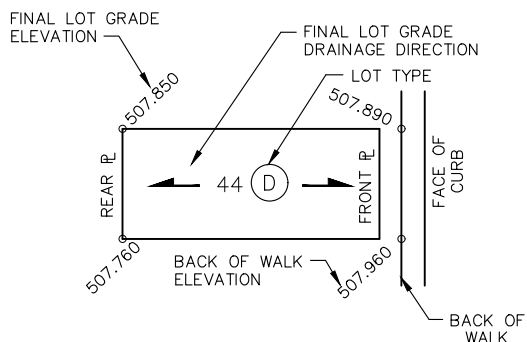
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APPROVAL DATE:

REVISION DATE:



LEGEND



NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

FEHEREGYHAZI BLVD, THAKUR STREET & SHEVCHENKO AVE.

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 PAGE: 7 OF 11



**City of
Saskatoon**

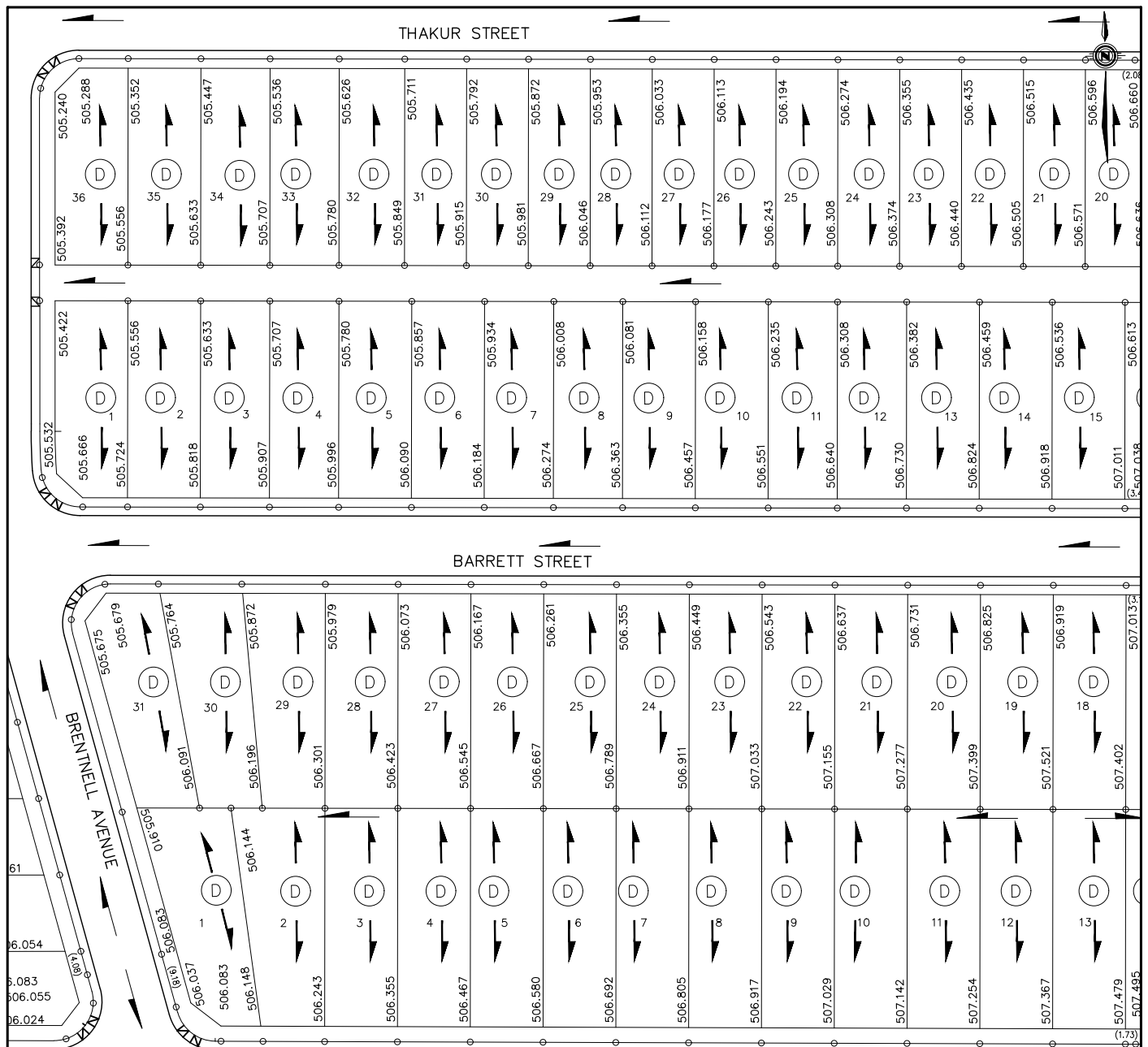
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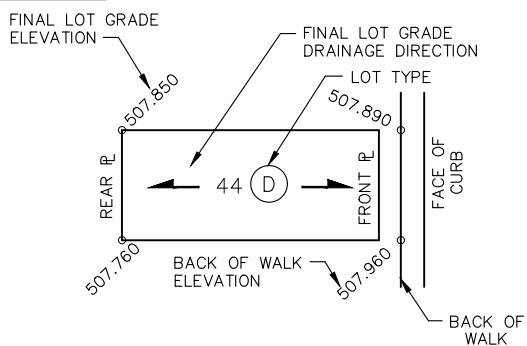
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APPROVAL DATE:

REVISION DATE:



LEGEND



NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

BARRETT STREET, THAKUR STREET & KALRA STREET

DRAWN BY JVS DATE 2018-AUG-08

SCALE: 1:1000

PLAN No.:

PAGE: 8 OF 11



**City of
Saskatoon**

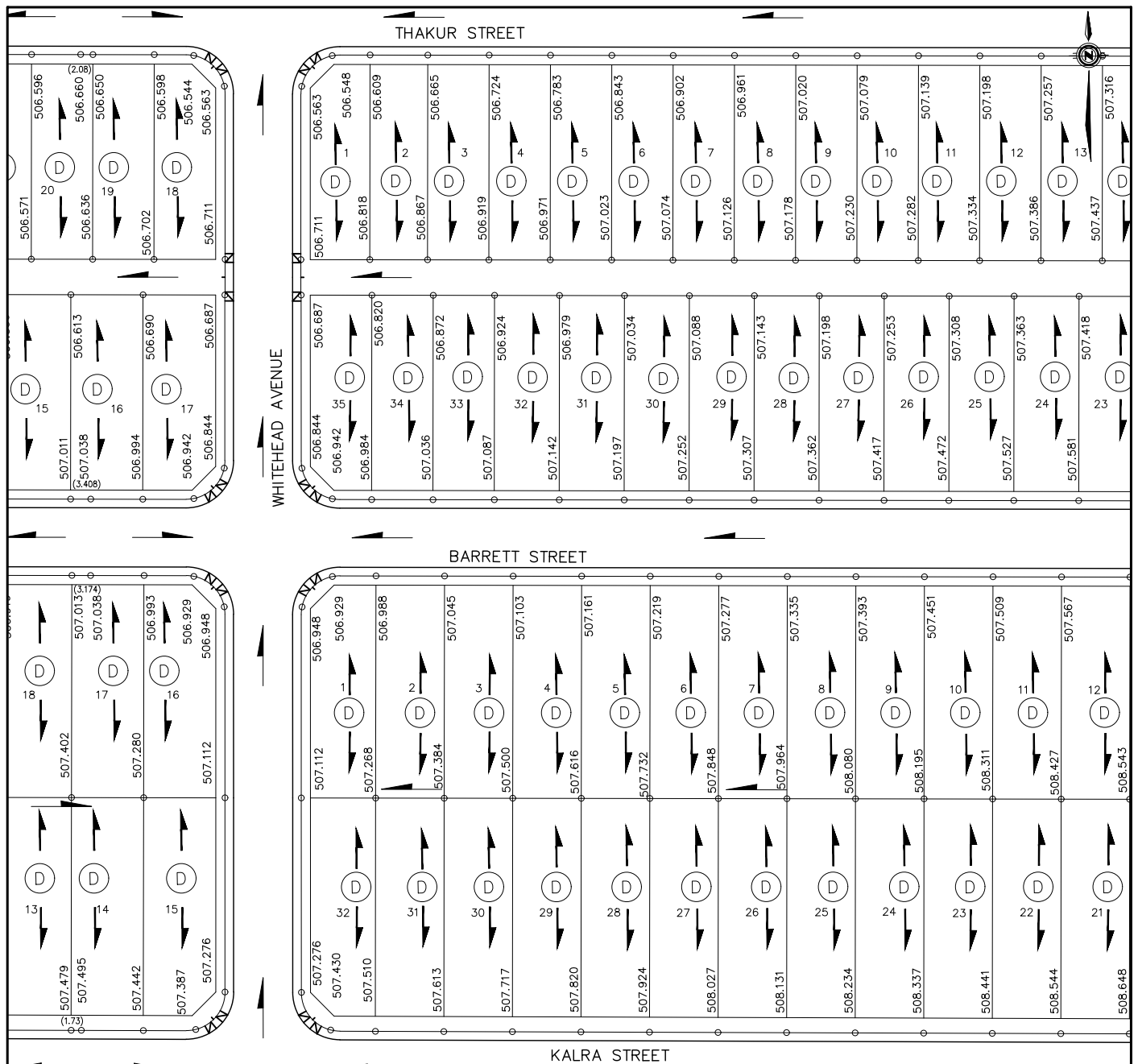
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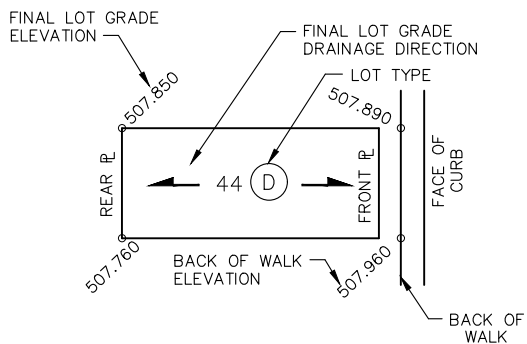
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APPROVAL DATE:

REVISION DATE:



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NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

BARRETT STREET, THAKUR STREET & KALRA STREET

DRAWN BY JVS DATE 2018-AUG-08
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 PLAN No.:
 PAGE: 9 OF 11



**City of
Saskatoon**

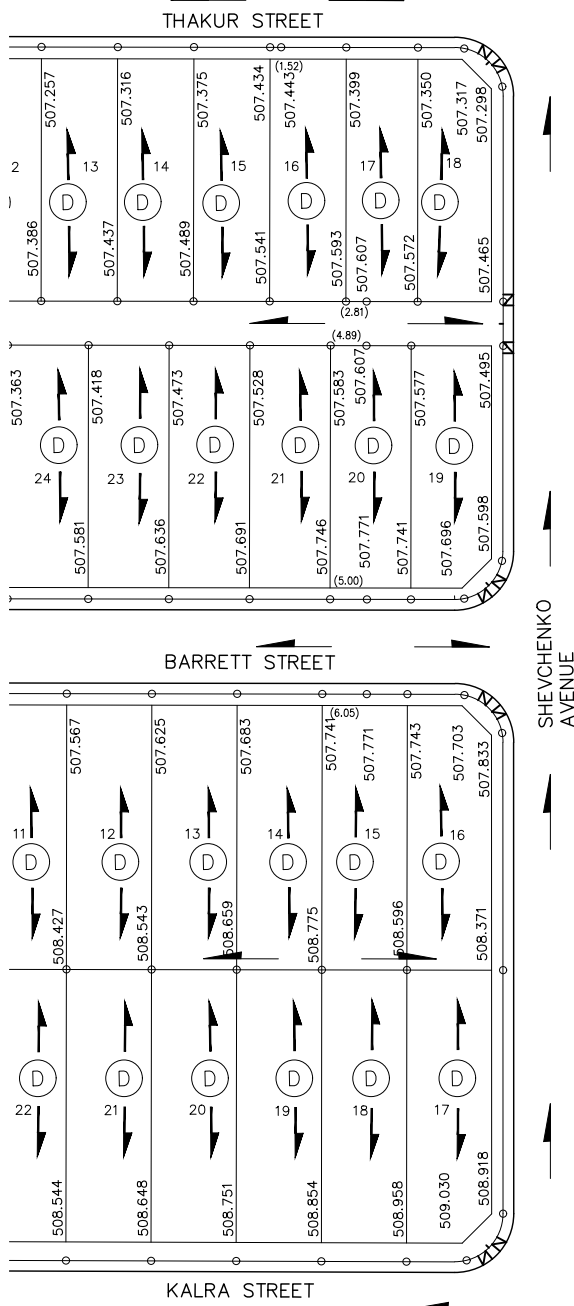
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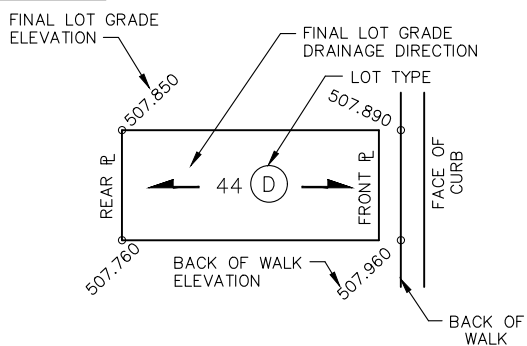
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LEGEND



NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

BARRETT STREET, THAKUR STREET & KALRA STREET

DRAWN BY JVS DATE 2018-AUG-08
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PLAN No.:
PAGE: 10 OF 11



**City of
Saskatoon**

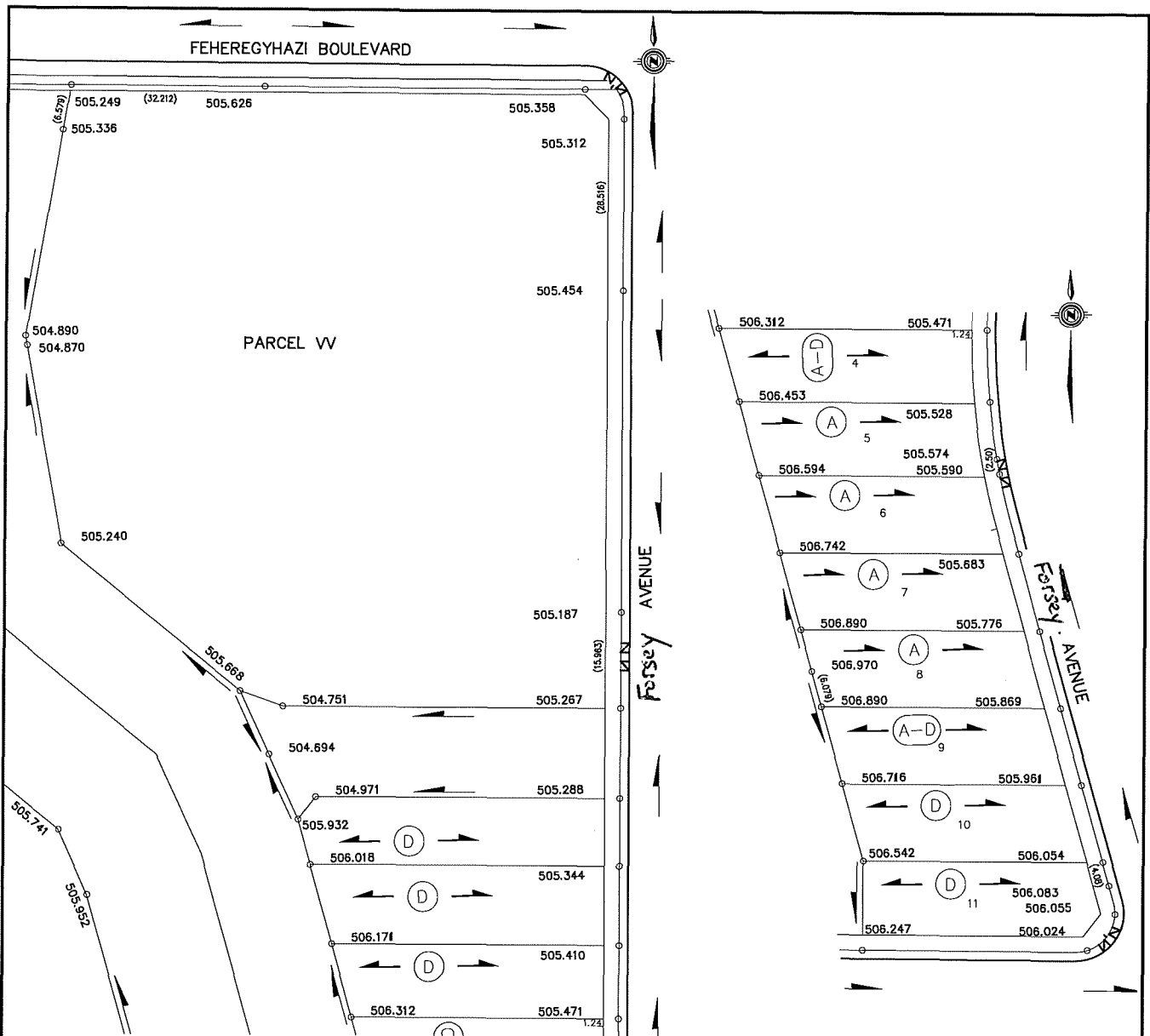
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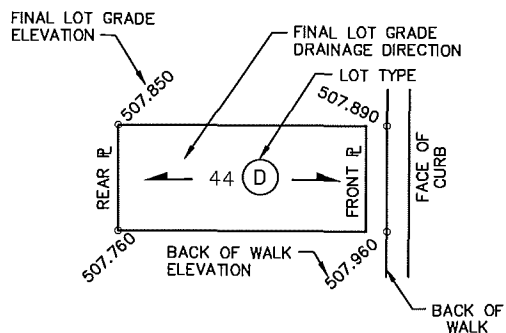
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APPROVAL DATE:

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NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

Forsey AVENUE

DRAWN BY JVS DATE 2018-AUG-08
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 PAGE: 11 OF 11



**City of
Saskatoon**

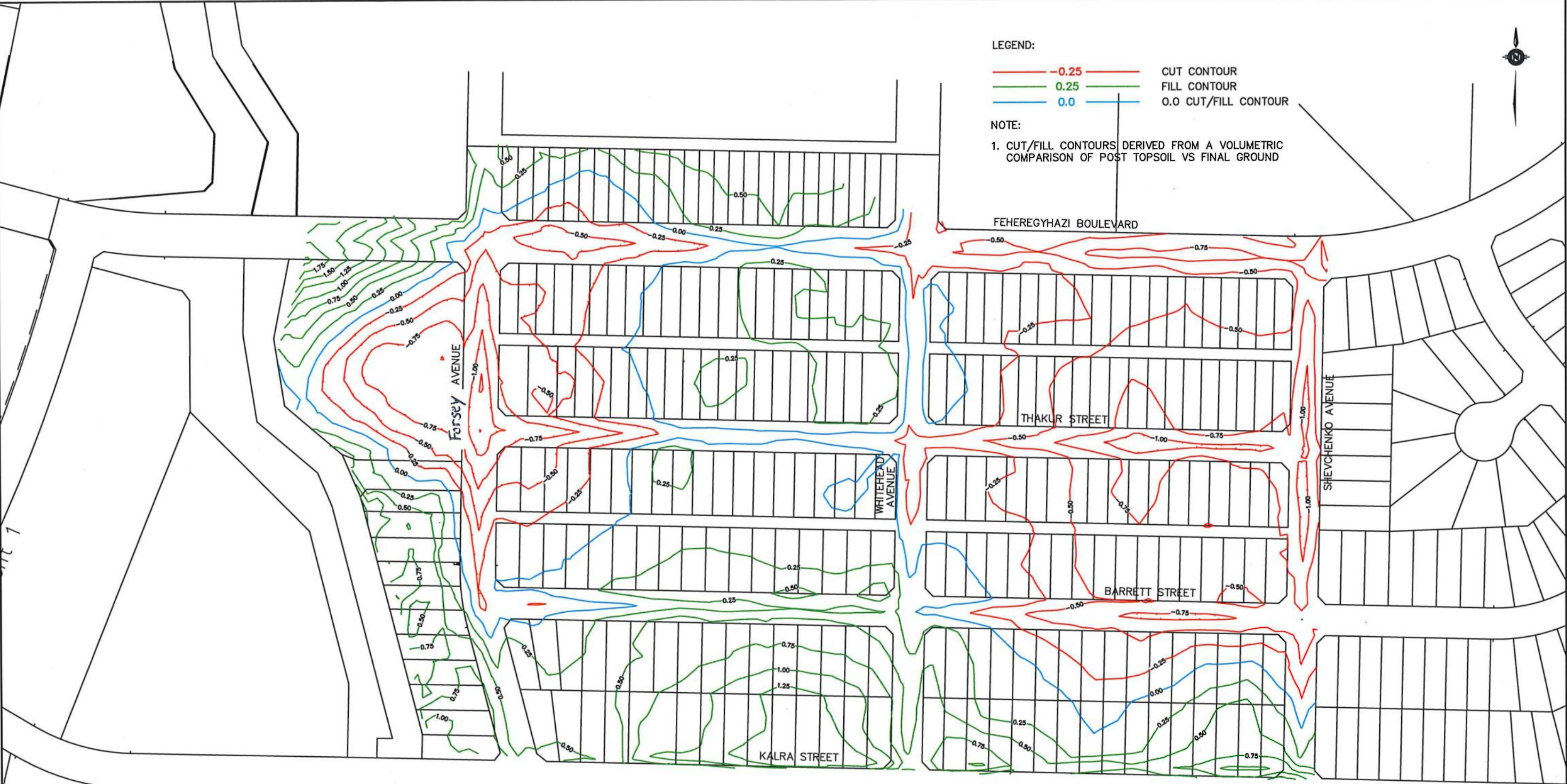
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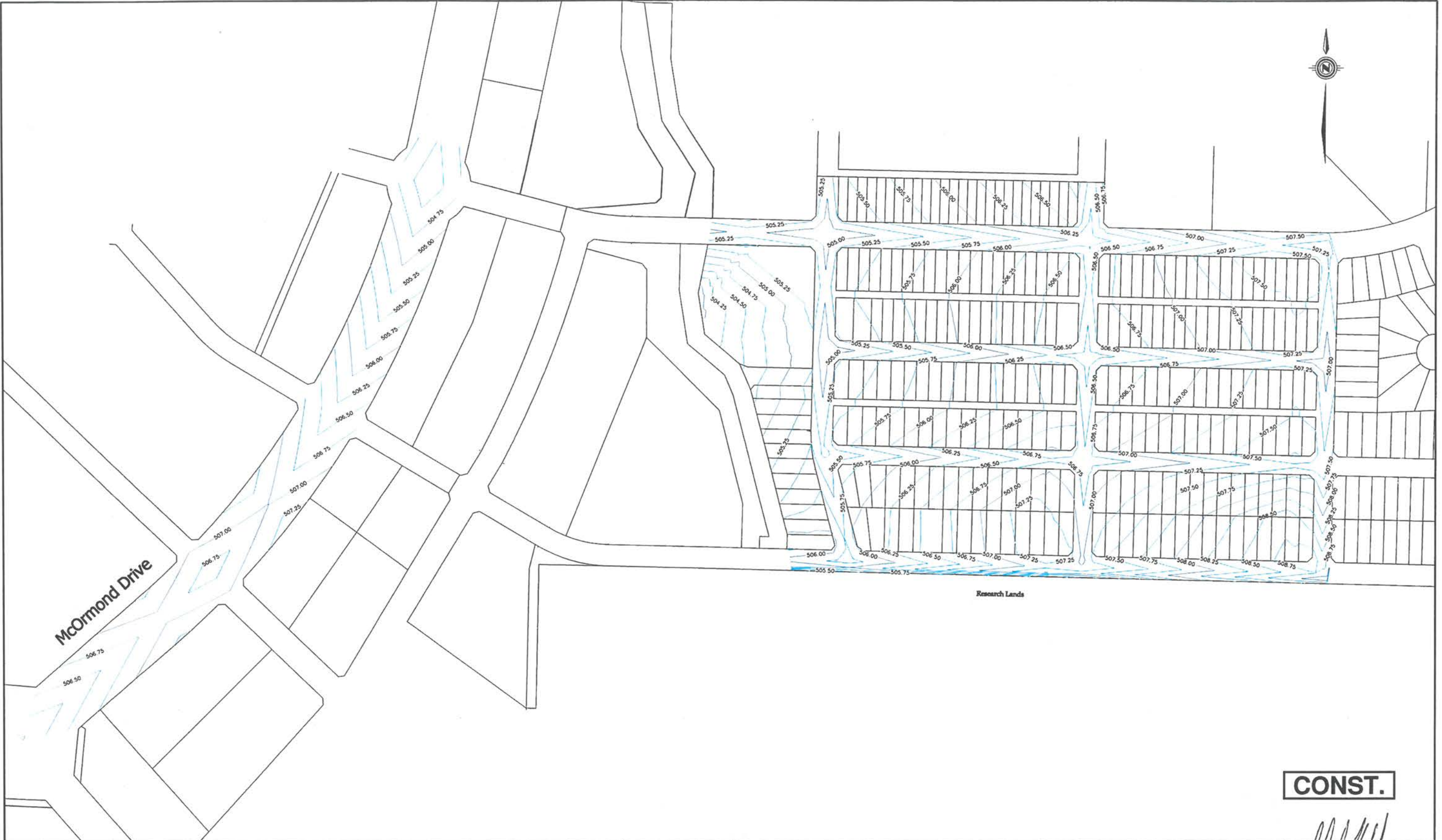
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APPROVAL DATE:

REVISION DATE:



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					DRAWN BY: RWD	DATE: 2018-APR-16
					City of Saskatoon Transportation & Utilities Department	
					ASPEN RIDGE LAND DEVELOPMENT PHASE B-1 AREA GRADING CUT & FILL CONTOURS POST TOPSOIL VS FINAL GROUND	
					TOWN ENGINEER SCALE: 1:2000 DATE: _____ SHEET NO. _____ PLAN NO. _____	



CONST.

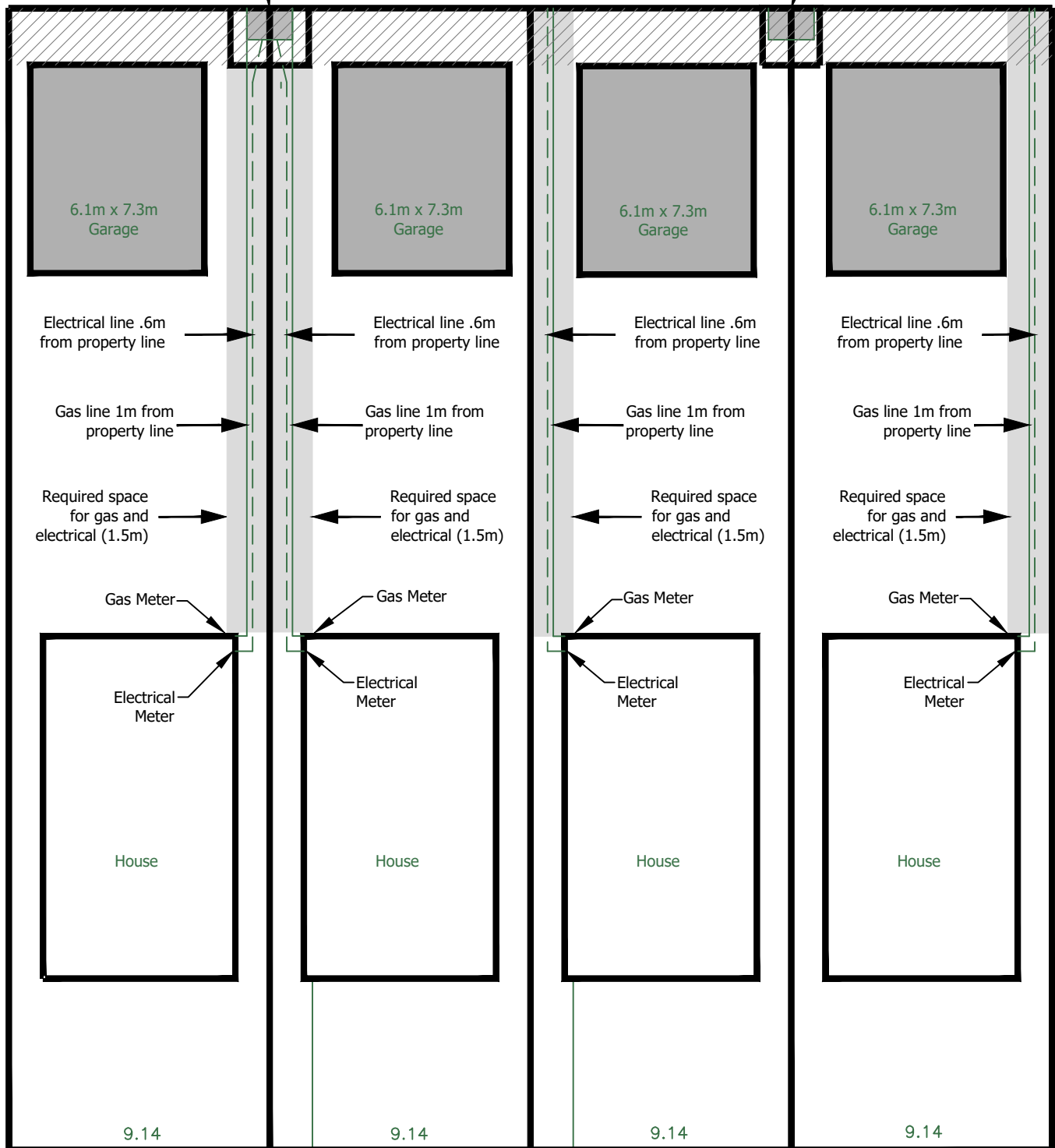
11 10 9 8 7 6 5 4 3 2 1		ISSUED FOR CONSTRUCTION PLAN DESCRIPTION/REVISION		2014-AUG-27 DATE	RWOT BY	SEAL		CHECKED BY: 14/09/24 DATE	CHECKED BY: DATE	DRAWN BY: RWOT DATE	2014-MAR-03	City of Saskatoon Transportation & Utilities Department	ASPEN RIDGE LAND DEVELOPMENT PHASE B-1 AREA GRADING DESIGN CONTOURS	OCT 7 2014 DATE	SCALES: HOR: 1"=3000' VERT: 1"=10'	SHEET NO. 113-0087-304r001	PLAN NO.
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Electrical Pedestal
SaskPower Easement Each Lot
1.375m x 2m

6 metre wide rear lane (paved)

Transformer (approx. one
perblock) SaskPower Easement
Each Lot 1m x 2m

Attachment 10



LEGEND



2m EASEMENT

Street Right-of-Way

Servicing From Lane SaskPower and SaskEnergy Underground Lines

Notes:

- This drawing is intended as a guide only. For more accurate information please contact the respective utilities and the City of Saskatoon Building Standards Branch.
- For the purpose of this illustration, each lot is shown as 9.14m wide and 40m deep.
- A garage, or other accessory building may not be built over the gas line or electrical service.
- The Land Branch takes no responsibility regarding the legality of the building layout on your lot.

Joint Servicing Initiative

January 2015



■ Background of the Joint Servicing Initiative

To support the thriving economy currently being experienced in Saskatchewan; SaskEnergy, SaskPower and SaskTel are working on refining and broadening the process of a “joint service installation” approach for urban residential home builders.

This process will provide a timely, cost-effective and coordinated service to home builders that includes the installation of gas, electric and communications in a common trench from the main line to the dwelling. This collaborative approach will achieve efficiencies for the installation of the urban service lines and address challenges associated with space constraints for new lots.



■ What You Need to Know About Joint Trench Lots

Joint Trench Lots are for shallow utility services in urban residential areas (single family homes) where the electric, gas, and communication lines are all installed in a common trench. Currently joint trench installation is only being done in Regina, Saskatoon, Warman, Martensville and Dalmeny.

If you have purchased a lot in any of these locations, a contract crew will be installing all shallow utilities in one trench from the main line at the back of the lot to the dwelling.

To prepare for the installation of your shallow utilities please refer to the Site Check Readiness list on the following page.



Index:

- Background
- Joint trench lots
- Site Check Readiness
- Procedures for applying for services

Site Check Readiness

To ensure installation of your service is completed when scheduled, your site must be ready for the crew on the date you indicate on the application (site ready date). Along with your application, please submit a plot plan for the address or addresses you are applying for.

Site readiness includes the following:

1. Provide a plot plan that indicates the location of the residence within the property.
2. House number must be visible from the street.
3. In order to secure the natural gas bracket, a 24" x 10" pressure treated board must be in place that does not contravene any natural gas codes.
4. You must maintain a .9 metre (3 ft) clearance around the natural gas service regulator with any exhaust vents, opening windows or doors. Please refer to your mechanical contractor for appropriate codes of other intake clearances.
5. The area around the house is backfilled and the lot is to within 150 mm (6") of finished grade. To ensure proper installation routing, customers are asked to ensure that property pins are in place and marked for easy locating by our field staff.
6. Utility access within the site must meet the following requirements:
 - i) Access is required for equipment to get into the yard(s) where the work needs to occur (trencher, mini hoe, etc.), clear of buildings, fences, decks, etc.
 - ii) A clear path is maintained for the trench route from the metering points to the takeoff points. The width needs to be enough to operate small trenchers and mini hoes at a minimum in ideal soil conditions, and larger equipment when frozen or rocky conditions exist. The trench is to be at least 0.6 metres (2 ft) off of the parallel property line (for fencing) and at least 0.6 metres (2 ft) wide to ensure separation of facilities in the trench. Further width is often required at surface to slope trench during installation for safe trenching rules. This will require approximately 2 metres (6.5 ft) clear access along the property line to the meter (electric and gas) boards to allow for construction of the facilities.
 - iii) Be aware that any pads or foundations near this route may slump with settling of the trench.
7. The trench is from the pedestal or pole to the meter location(s) (typically the closest corner from the pedestal or pole to the house). This service route must be clear of debris or obstructions, such as dirt piles and lumber.
 - i) SaskEnergy and SaskPower reserve the right to determine the meter location due to physical impediments that may restrict access for personnel and equipment. Alternate meter locations must be pre-approved prior to construction.
8. If separate trenches are utilized, the natural gas trench (SaskEnergy) must be at least 1 metre (3 ft) in distance from the SaskPower trench.
9. In instances where both gas, electric and communication cables are installed in the same trench (currently only in Regina, Saskatoon, Warman, Martensville and Dalmeny), you must leave a 1.2 metre (4 ft) corridor adjacent to the property line for utilities. If the minimum of 1.2 metres is not maintained, an encroachment over the gas service may occur and you will be responsible for reparation and subsequent cost.
10. Your electrician has attached an energization sticker on the meter socket indicating the service is ready for connection. The sticker ensures:
 - i) An electrical permit has been obtained
 - ii) The main panel is connected and in the open (off) position
 - iii) The service is grounded and ready to be connected to SaskPower's electrical system
11. To facilitate your service connection, please notify SaskPower once your electrician has affixed the energization sticker.





Urban Applications for Services

SaskEnergy and SaskPower have been working on a process to streamline our customers application experience. Beginning February 17, 2015, you will be able to make application for gas and electric urban services by utilizing either one of the Crowns' websites. The information will be shared between the two Crowns using a secure file transfer protocol.

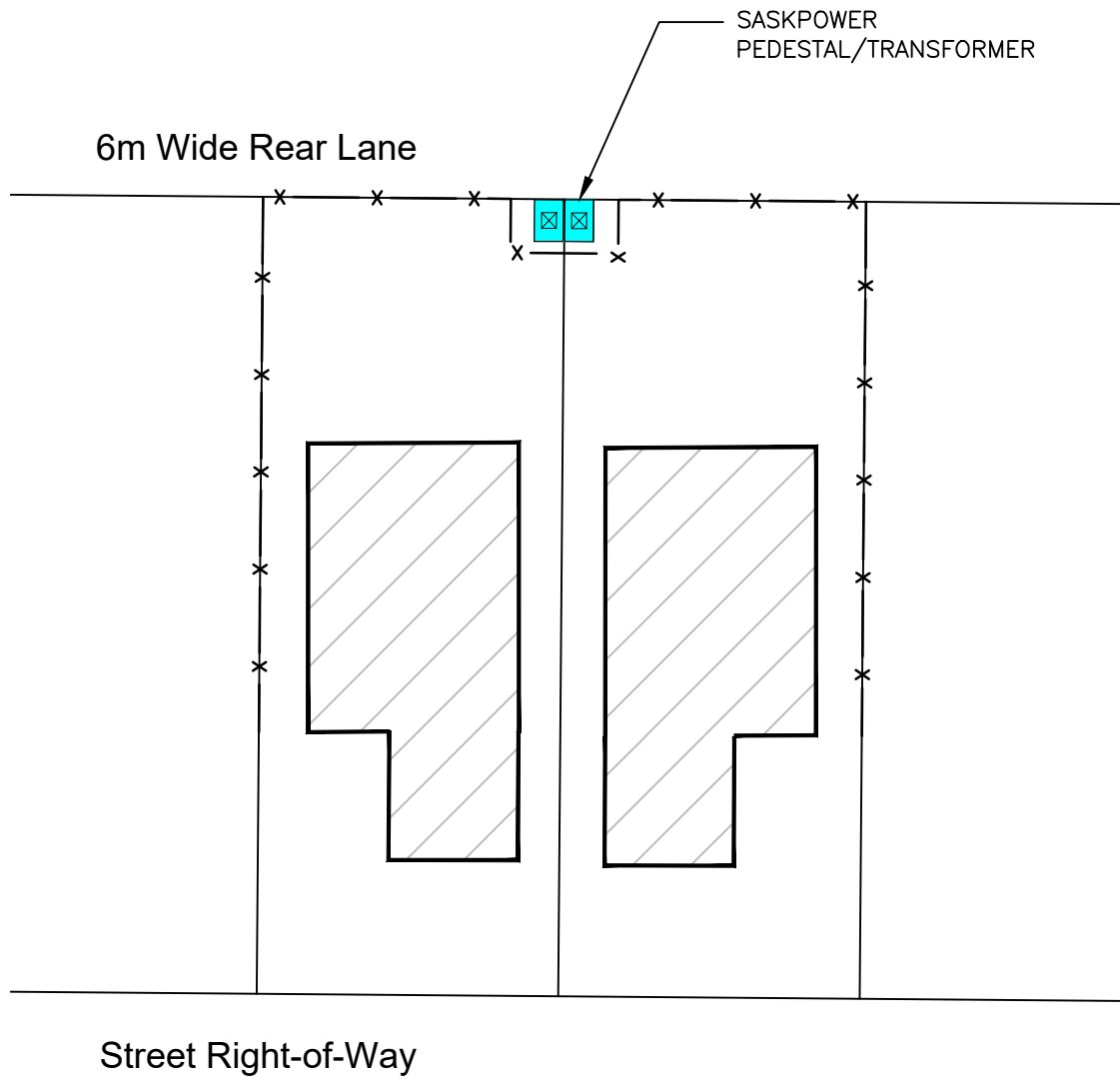
We encourage you to make application via SaskPower's website rather than SaskEnergy's. This will enable the Crowns to eliminate some manual processes that would otherwise occur when applying via SaskEnergy's website.

When you know the date that your property will be ready for servicing, you can make application to either SaskEnergy or SaskPower by the following methods:

- If you use SaskEnergy's application, please apply online at saskenergy.com
- If you use SaskPowers application, please apply online to saskpower.com or call 1-888-SKPOWER (1-888-757-6937) and select Option 4.
- For your telephone and cable providers (SaskTel, Shaw or Access) the conduit will be installed in the joint trench along with SaskPower and SaskEnergy. It is the responsibility of the homeowner to apply for telephone and cable service to one of these providers.

Even though Joint Installation is only being offered in Saskatoon, Regina, Warman, Martensville, and Dalmeny all urban applications for service will be shared between the crowns.





LEGEND

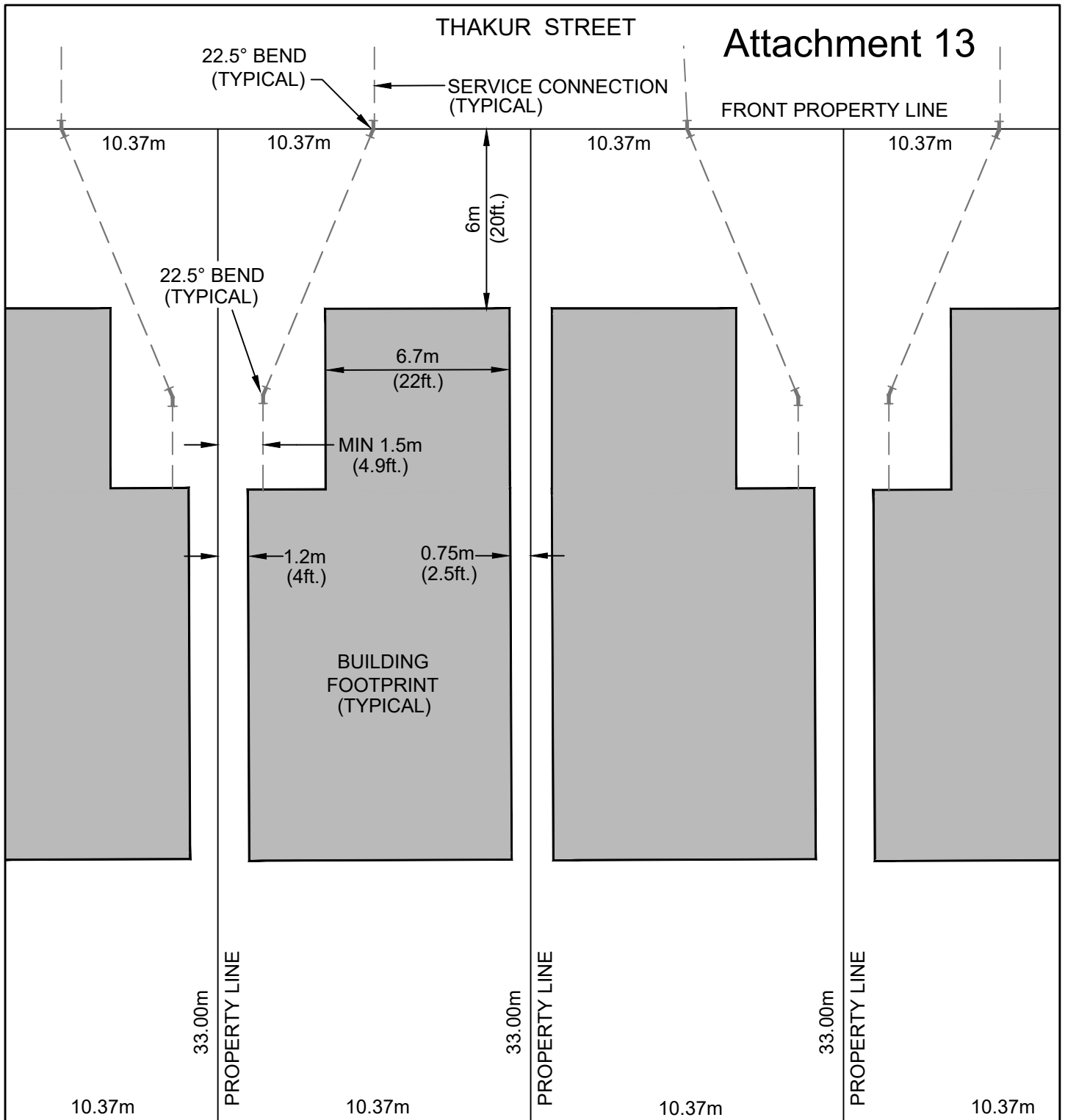
— x — FENCE LOCATION — UTILITY PEDESTALS AND TRANSFORMERS MUST BE ACCESSIBLE FROM REAR LANE AND BE LOCATED OUTSIDE FENCE AS SHOWN

Servicing From Lane
SaskPower and SaskEnergy
Underground Lines

Notes:

- This drawing is intended as a guide only. For more accurate information please contact the respective utilities and the City of Saskatoon Building Standards Branch.
- A garage, or other accessory building may not be built over the gas line or electrical service.
- The Land Branch takes no responsibility regarding the legality of the building layout on your lot.

Attachment 13



Notes:

1. Service connection is stubbed from street to front property line at middle of lot.
2. Use of two 22.5° bends will be required to ensure service connections miss the attached garage.
3. Service connections should be a minimum of 1.5m from side yard property line.
4. Any water utility access point (curb stop shut off) located within a driveway will be required to be encased in a valve casing and cap prior to pouring the driveway.
5. 45° long sweep bends may be allowed to achieve proper service connection spacing.
6. Service connections cannot be installed underneath the attached garage.
7. Any inquiries should be directed to the City of Saskatoon Connections Desk at 306-975-1475.

I acknowledge receipt of this appendix

PLEASE INITIAL HERE



Date:
JANUARY 2020

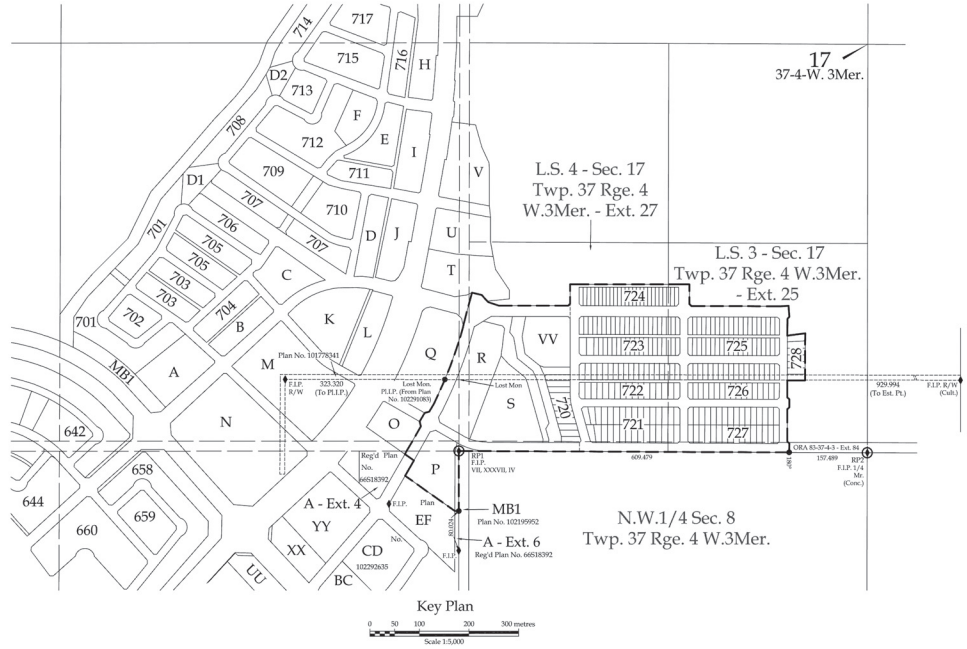
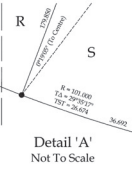
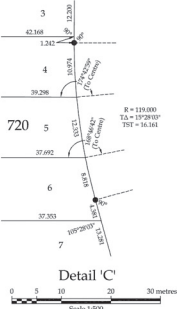
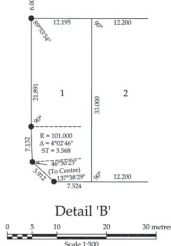
Drawn By:
AMR

Scale:
NTS

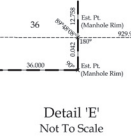
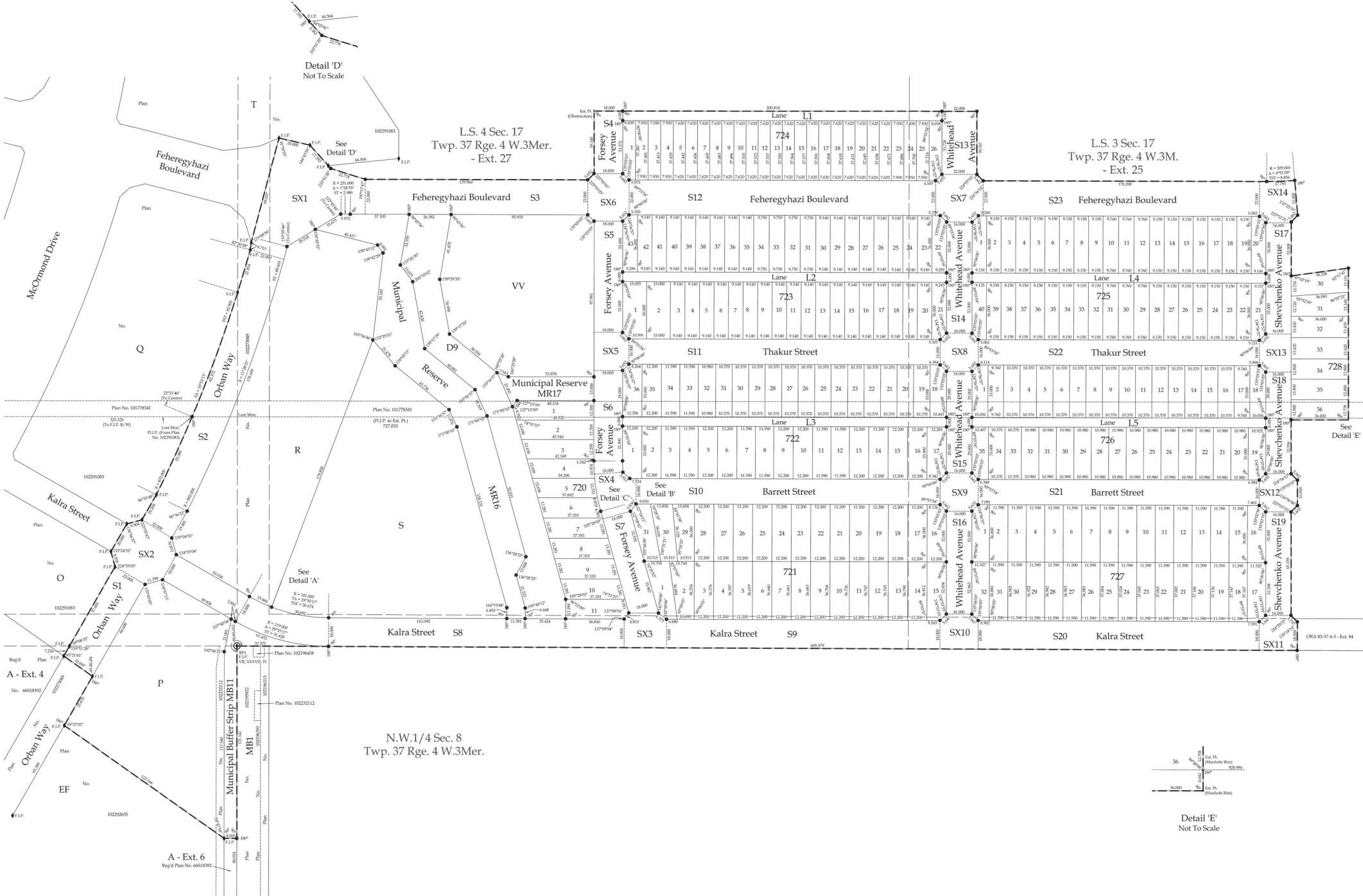


THAKUR STREET WATER &
SEWER REQUIREMENTS

PLAN OF SURVEY SHOWING
SURFACE SUBDIVISION
OF PART OF
PARCEL A, REG'D PLAN NO. 66518392 IN N.E.1/4 SEC. 7
AND PART OF L.S. 3 AND L.S. 4 SEC. 17
AND PART OF S.E.1/4 SEC. 18
AND PART OF ROAD ALLOWANCE ORA 15, ORA 81 & ORA 83
WITHIN
TWP. 37 RGE. 4 W.3 MER.
CITY OF SASKATOON
SASKATCHEWAN
BY: BLAKE WAHL, S.L.S.
DATE: APRIL, 2018 TO MARCH, 2019
SCALE: 1:1000

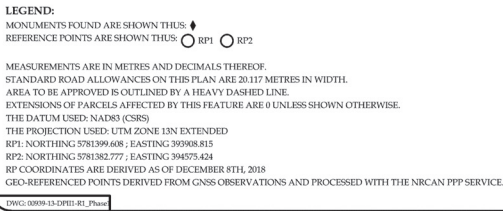


LEGEND:
STANDARD IRON PINS PLANTED ARE SHOWN THUS: ●
MEASUREMENTS FOUND ARE SHOWN THUS: ■
REFERENCE POINTS ARE SHOWN THUS: ○ RPT ○ RPT
ALL LOT CORNERS NOT MARKED BY A STANDARD POST, ARE MARKED BY 0103 & 0405 SMALL IRON PINS.
THE UNIQUE IDENTIFIER OF S264 HAS BEEN STAMPED ON ALL ESTABLISHED STANDARD IRON PINS.
MEASUREMENTS ARE IN METRES AND DECIMALS THEREOF.
STANDARD ROAD ALLOWANCES ON THIS PLAN ARE 20.117 METRES IN WIDTH.
AREA TO BE APPROVED IS OUTLINED BY A HEAVY DASHED LINE.
ALL PARCELS WITHIN THE LINE OF APPROVAL HAVE AN EXTENSION 0 UNLESS OTHERWISE SHOWN.
THE DATUM USED: NAD83 (CSRS)
THE PROJECTION USED: UTM ZONE 18N EXTENDED
RPT: NORTHING 579186.606; EASTING 39088.405
RPS: NORTHING 579178.722; EASTING 39073.788
RPT COORDINATES ARE DERIVED AS OF DECEMBER 8TH, 2018
CNS: REFERENCED POINTS DERIVED FROM CNS OBSERVATIONS AND PROCESSED WITH THE NSRAN PPS SERVICE.



PPS #102318184
Approved: 11-Sep-2019

LOTS 1-11, BLOCK 720,
LOTS 1-31, BLOCK 721,
LOTS 1-17, BLOCK 722,
LOTS 1-21, BLOCK 723,
LOTS 1-26, BLOCK 724,
LOTS 21-40, BLOCK 725,
LOTS 19-35, BLOCK 726,
LOTS 1-32, BLOCK 727,
LOTS 30-36, BLOCK 728,
PARCELS P, R, S, D9 & VV
MUNICIPAL RESERVE MR16 & MR17
MUNICIPAL BUFFER STRIP MB11
PLAN NO. 102301085
N.E.1/4 SEC. 7
S.E.1/4 SEC. 18
L.S. 3 & L.S. 4 SEC. 17
TWP. 37 RGE. 4 W.3 MER.
CITY OF SASKATOON
SASKATCHEWAN
BY: BLAKE WAHL, S.L.S.
DATE: APRIL 23, 2019
SCALE: 1:1000



PLAN OF SURVEY
SHOWING
FEATURE RIGHT OF WAY
WITHIN
LOTS 30 & 36, BLOCK 728,
PLAN NO. 102301085
L.S. 3 SEC. 17
TWP. 37 RGE. 4 W.3 MER.
CITY OF SASKATOON
SASKATCHEWAN
BY: BLAKE WAHL, S.L.S.
DATE: APRIL, 2018 - MARCH, 2019
SCALE: 1:1000



NOTES:
THE FEATURE RIGHT OF WAY IS INTENDED FOR CITY OF SASKATOON WATER AND SEWER

LEGEND:
MONUMENTS FOUND ARE SHOWN THUS: ◆
REFERENCE POINTS ARE SHOWN THUS: ○ RP1 ○ RP2

MEASUREMENTS ARE IN METRES AND DECIMALS THEREOF.
AREA TO BE APPROVED IS OUTLINED BY A HEAVY DASHED LINE.
EXTENSIONS OF PARCELS AFFECTED BY THIS FEATURE ARE 0 UNLESS SHOWN OTHERWISE.
THE DATUM USED: NAD83 (CSRS)
THE PROJECTION USED: UTM ZONE 13N EXTENDED
RP1: NORTHING 5781618.572 ; EASTING 394576.612
RP2: NORTHING 5781527.947 ; EASTING 394574.646
RP COORDINATES ARE DERIVED AS OF DECEMBER 8TH, 2018
GEO-REFERENCED POINTS DERIVED FROM GNSS OBSERVATIONS AND PROCESSED WITH THE NRCAN PPP SERVICE.

DWG: 00939-13-RW-R0_Phase1

