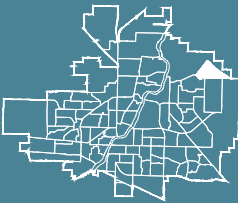


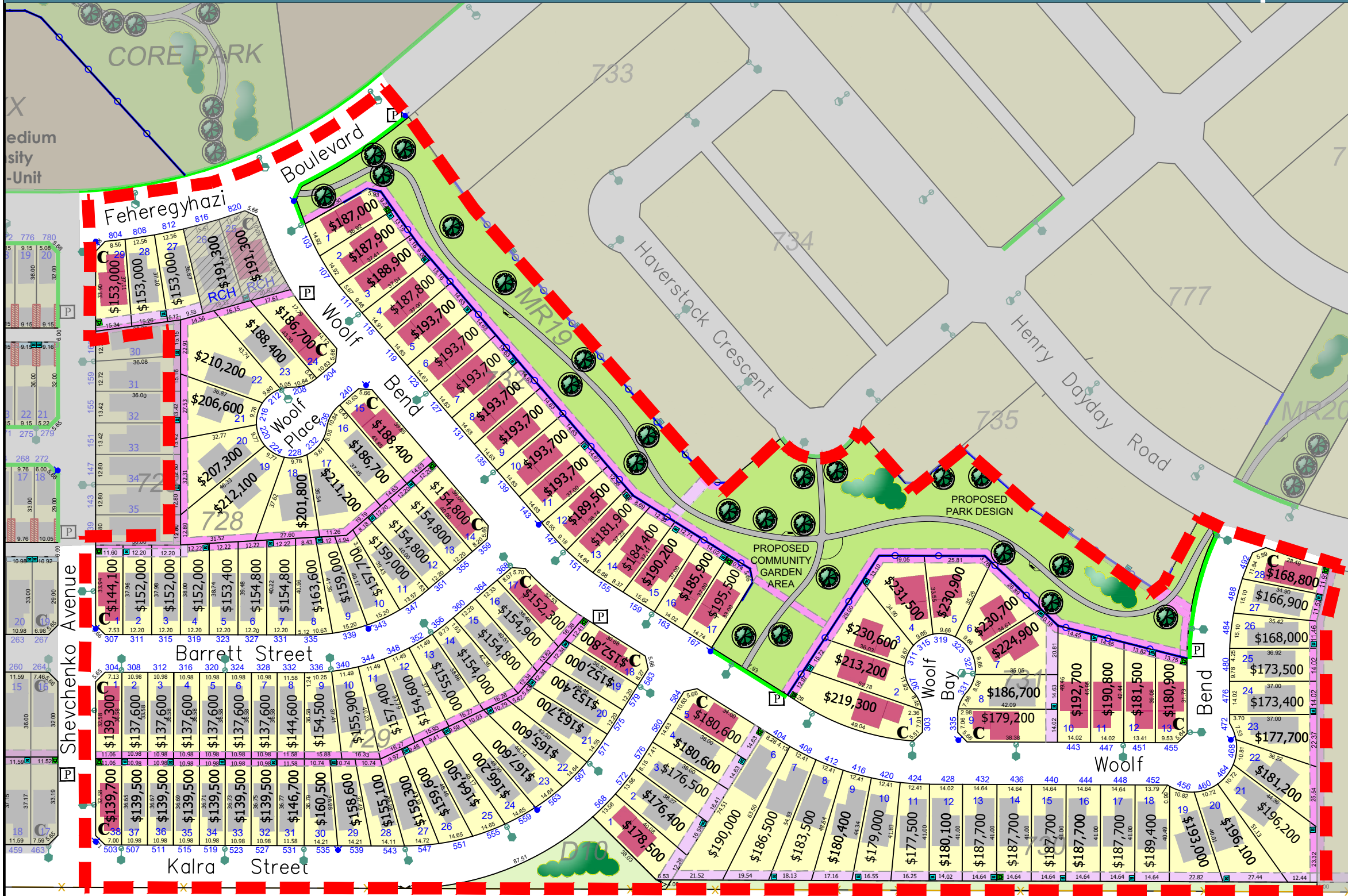


Phase 5 Lot Information Map

125 Lots: Feheregyhazi Boulevard, Woolf Bend, Woolf Place, Woolf Bay, Barrett Street, Kalra Street



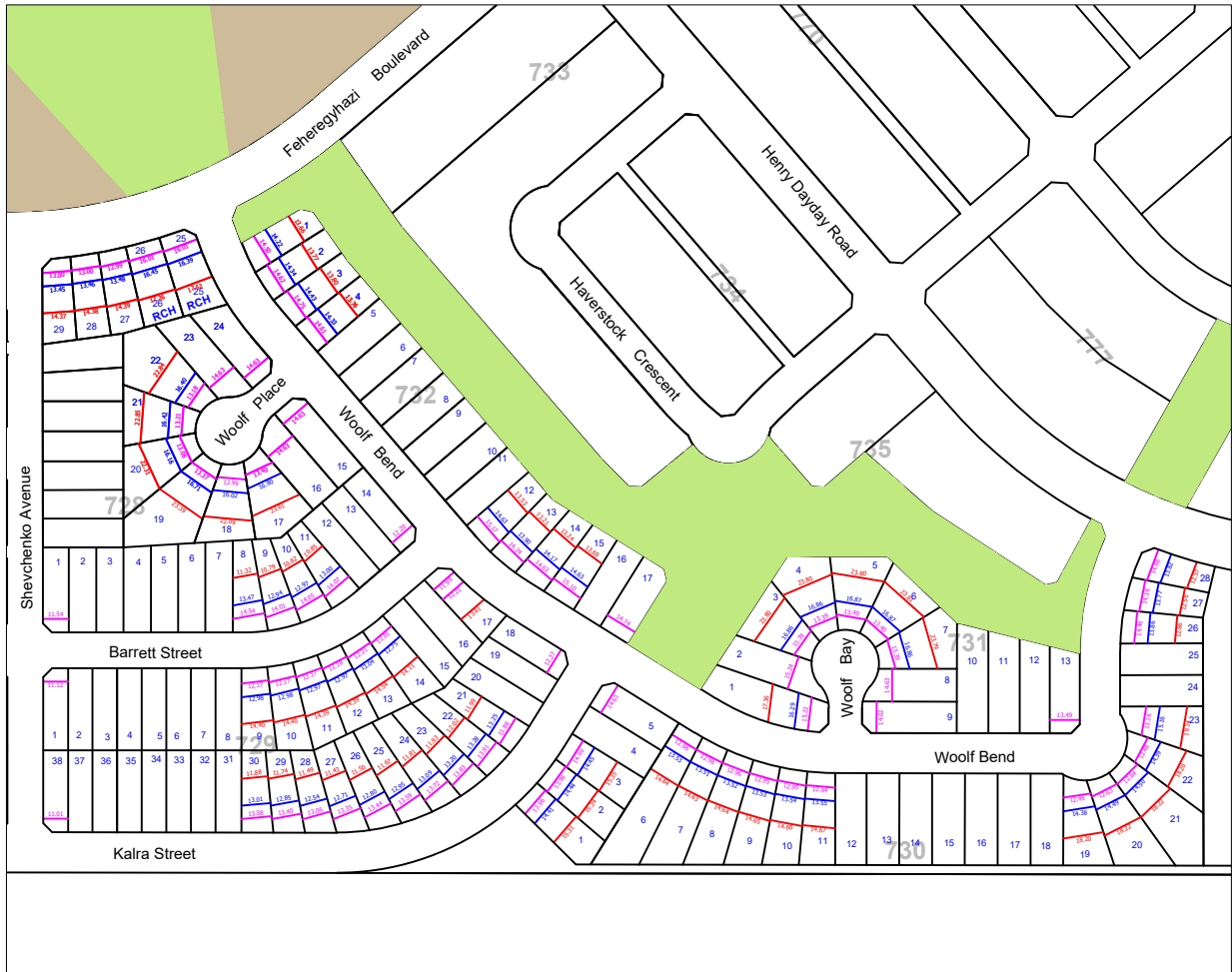
F:\Land\Projects\Sales Room and Website\Aspen Ridge\Phase 5 - With Pricing-WO JN Lots.dwg



KERNEN PRAIRIE CONSERVATION LANDS

Legend:

- Single Family
- Residential Care Home
- Multi-Unit Parcel Low/Medium Density
- Multi-Unit Parcel Medium Density
- Open Space Conceptual Design Subject to Change
- Concrete Pad
- Highly Visible Lot Additional Exterior Materials Required as per Architectural Control Req.
- Corner Garage Location
- Easement 2m
- Easement 3m
- Easement 5m
- Easement 6m
- Transformer
- Service Pedestal
- Block Number
- Lot Number
- Civic Address
- Mail Box
- Fire Hydrant
- Wildlife Fence
- Decorative Fence
- Transit Stop
- Vertical Curb



LEGEND

Note: The information contained on this map is for illustrative purposes only and should not be used for legal purposes. All the information was compiled from available sources and the line work is subject to change without notice. Parks and buffer renderings are for illustrative purposes only and does not represent what will be constructed.

- Conceptual 6m Setback
- Conceptual 12m Setback
- Conceptual 24m Setback



Date:
MAR. 2021

Scale:
NTS

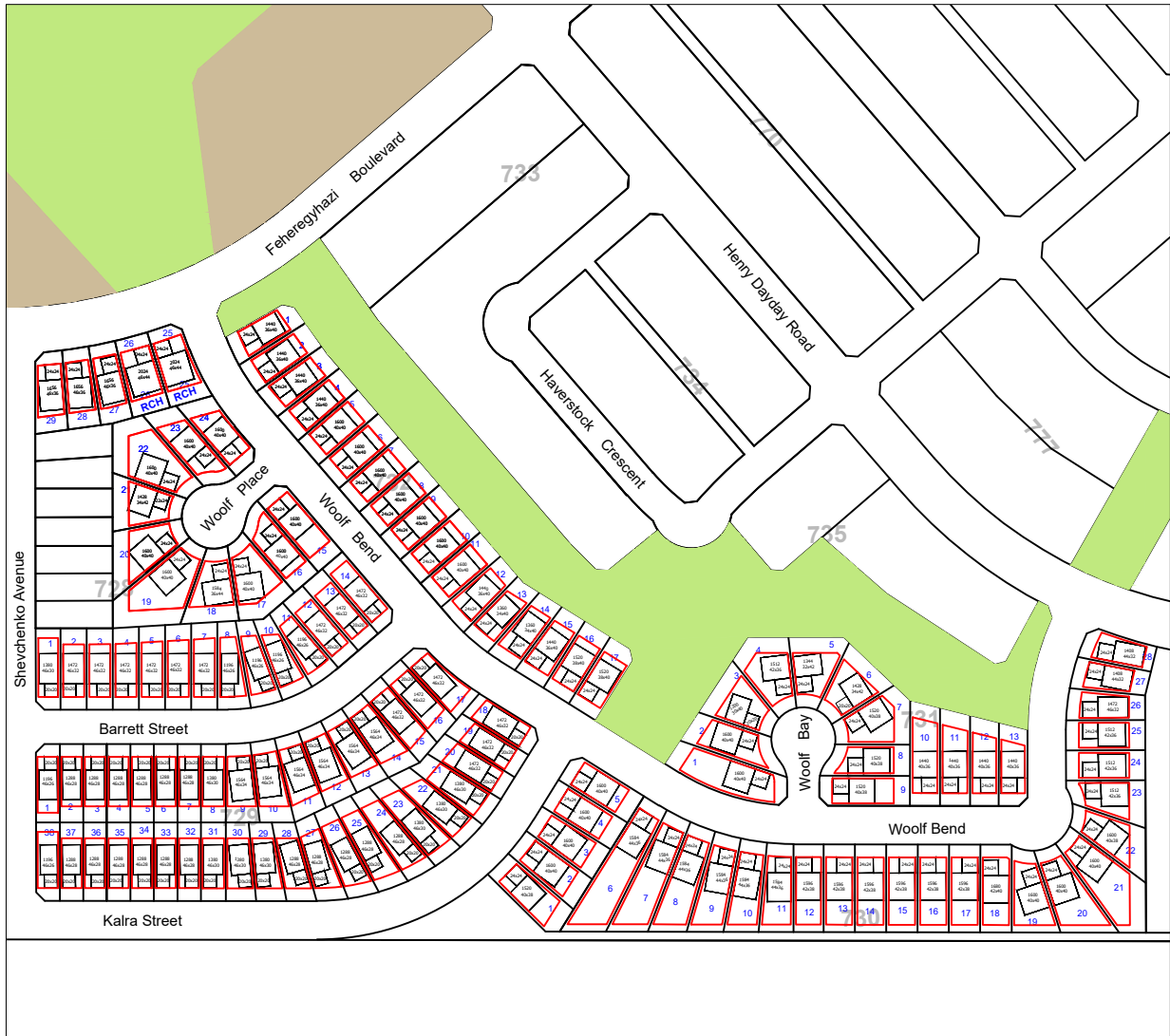
Drawn By:
AMR

File No.

ASPEN RIDGE PHASE 5

HOUSE AND GARAGE SETBACK

DIMENSIONS



Note: The information contained on this map is for illustrative purposes only and should not be used for legal purposes. All the information was compiled from available sources and the line work is subject to change without notice. Parks and buffer renderings are for illustrative purposes only and does not represent what will be constructed.







| | |
|--------------------|---------------|
| Date: FEB. 2021 | Scale: NTS |
| Drawn By: AMR | File No. |

ASPEN RIDGE PHASE 5

HOUSING FOOTPRINTS AND
ZONING BYLAW BUILDING AREA

Zoning Map of Aspen Ridge

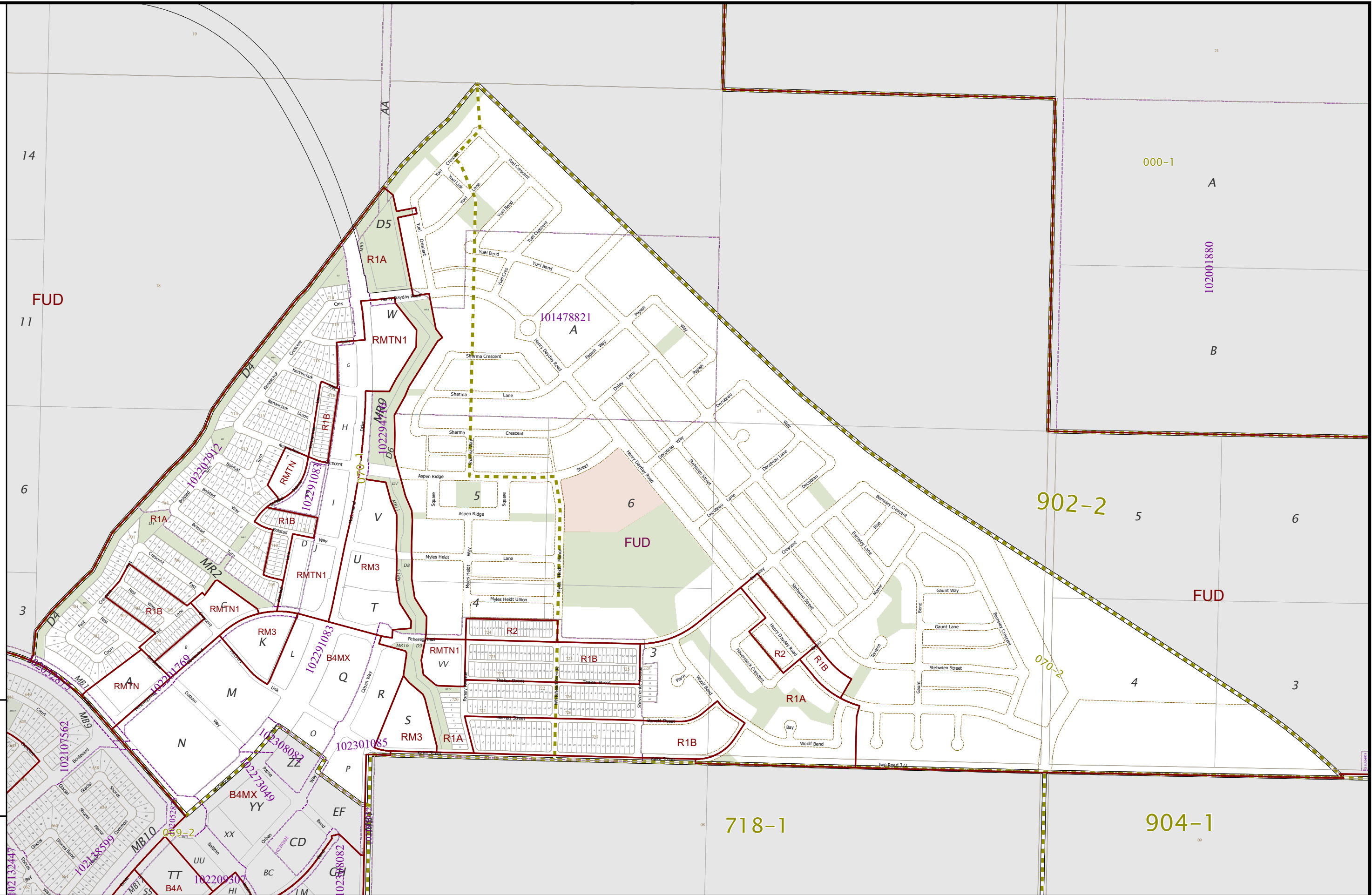
Note: The information contained on this map is for reference only and is not to be used for legal purpose

 Zoning Area  ISC Blocks
 ISC Lots  ISC Plan Boundary

is for
purpose

Bylaw 8770

Scale 1:8500
070-0
2/1/2021



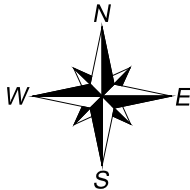
ASPEN RIDGE CONCEPT PLAN

AMENDED FEBRUARY 22, 2021

Attachment 5

- LOW DENSITY
- LOW DENSITY MULTI-UNIT
- LOW/MEDIUM DENSITY MULTI-UNIT
- MEDIUM DENSITY MULTI-UNIT
- LOW-DENSITY MIXED-USE
- MEDIUM-DENSITY MIXED-USE
- POTENTIAL SCHOOL SITE
- MUNICIPAL RESERVE
- BUFFER STRIP
- SWALE
- GREENWAY
- LANDSCAPED DRAINAGE OPEN SPACE
- URBAN HOLDING AREA
- FUTURE INTERCHANGE
- POSSIBLE ROADWAY EXTENTION
- CONCEPT PLAN BOUNDARY
- SASKATOON FREEWAY ALIGNMENT
- CITY LIMITS
- POTENTIAL CELL TOWER LOCATION
- POTENTIAL RESIDENTIAL CARE HOME SITE

* ST - STREET TOWNHOUSE
GT - GROUP TOWNHOUSE



ORIGINAL Aspen Ridge
CONCEPT PLAN
APPROVED JUNE 23, 2014



NOTE: The information contained on this map is for reference only and not to be used for legal purposes. All proposed line work is subject to change. This map may not be reproduced without the expressed written consent of Community Services Future Growth, Mapping & Research Section.

DRAWING NOT TO BE SCALED
April 1, 2021



April, 2021

**A message to current and potential residents of Aspen Ridge
From the College of Agriculture and Bioresources, University of Saskatchewan.**

Dear neighbours,

This message is shared to provide you with information about the Kernen Crop Research Farm (Kernen Farm), which has been operated by the University's Crop Development Centre since 1977. I ask that you review the following, and if you have questions or concerns, please contact us, using the contact information at the end of this letter.

About the Kernen Farm

Kernen Farm is located immediately south of the Aspen Ridge sub-division and includes two sections of land (1280 acres) that were acquired by the University from the late Mr. Fred Kernen on the condition that they be used for crop research. The original farm also includes two quarter sections of unbroken, native prairie that were acquired from Mr. Kernen on the condition that this land be preserved in its unbroken state (Kernen Prairie). Over the years, Kernen Farm has grown to include an additional 480 acres located between the east boundary of the farm and Highway 41. Kernen Farm is an important agricultural field research facility and the cultivated land on the farm is used primarily for support of our world-class plant breeding programs in wheat, barley, oats, flax, and pulse crops (peas, lentils, chickpeas and beans). Over the past 50 years, we have released over 500 new crop varieties for use by Saskatchewan farmers. You see these varieties growing in fields across the Prairies and beyond, and the resulting crops are enjoyed here at home as well as exported to countries around the world. The land is also used for producing breeder seed of crop varieties that have been developed by our plant breeders and for research in agronomy, weed control and plant disease management.

Farm Activities – What to Expect

Each year, about one-quarter of the land is used for research and the remainder is commercially farmed using the same techniques used on other grain farms in the province. As on any Saskatchewan farm, weather plays a huge role in dictating the timing of operations. You may see our field crews working irregular hours - very early in the morning or late in the evening - when weather conditions for particular farm operations are more favorable than they are during normal working hours. Whatever the time of day, farm work may sometimes generate noise or increased dust in the air.

In conducting our research and managing our commercial grain crops, we use typical farming practices, including the use of pesticides. For routine applications, we use only products that have been registered for such use and we follow the product label directions. Our research on weed and plant disease control can also involve the evaluation of new pest control products. These materials are applied according to current experimental protocols. Our farm and research staff are trained in the safe use and handling of pesticides, and utilize the appropriate safety clothing and equipment when they are applying pesticides.

Kernen Prairie is used for research into native prairie conservation and management. As part of this research, the Prairie is grazed by livestock. In addition, prescribed fires (also referred to as controlled burns) are regularly set in coordination with the Saskatoon Fire Department. Access to Kernen Prairie is restricted to prevent disturbance of livestock, and to avoid damage to research plots that may arise from public access.

**No Public Access**

Please note that no public access is permitted to the Kernen Farm – including Kernen Prairie – in order to protect the integrity of the research trials that are conducted each year. Protecting these areas from insects, diseases, weeds and disturbances is not only important, it is essential to the validity of research results. It is also important for your safety! Certain areas which are safe for trained farm workers and research staff may be dangerous to the general public. The University is not responsible for warning any unauthorized visitors of potential dangers that may exist on the property, or for any injury or damage suffered as a result of unauthorized visitation to the Kernen Farm.

I hope you have found this message helpful and that you will appreciate and respect the nature of the research activities being conducted at the Kernen Farm. Thank you in advance for your cooperation in keeping control of any pets and educating your family and your visitors about the importance of not disturbing the Kernen Farm.

Enjoy your new home in Aspen Ridge!

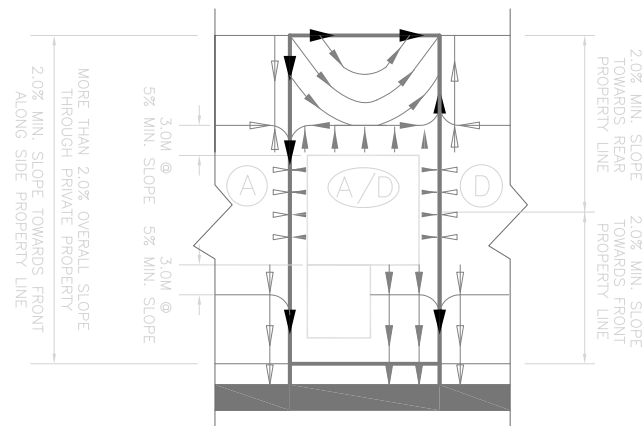
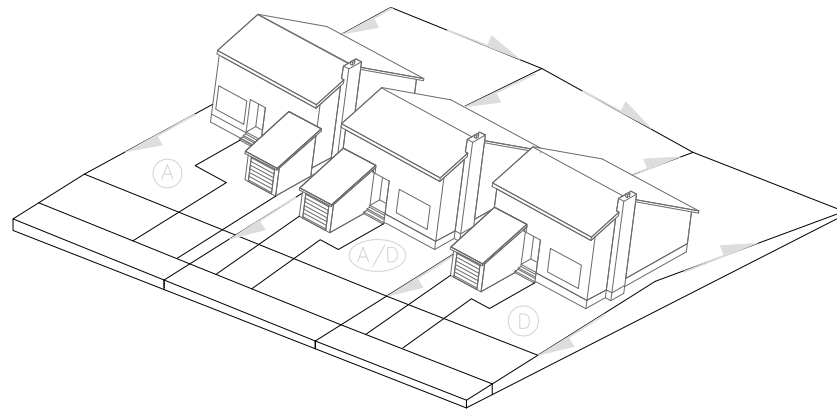
Sincerely,



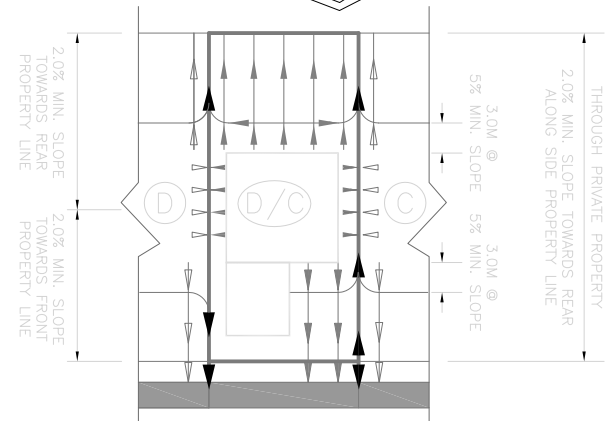
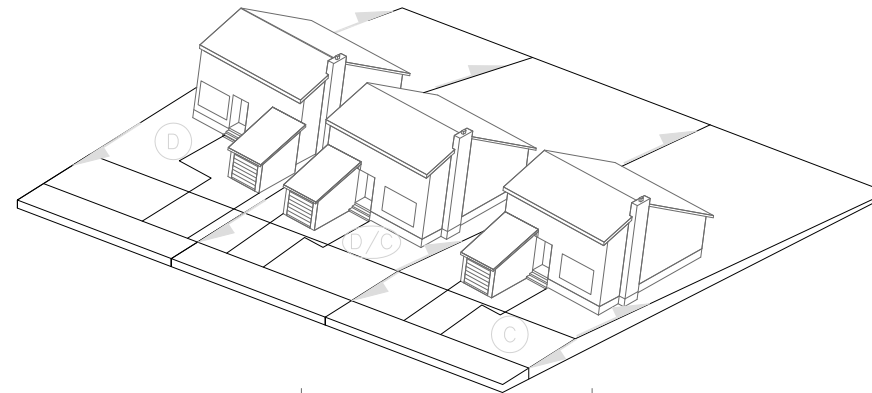
Angela Bedard-Haughn, PhD, PAg
Dean and Professor

Questions or concerns? Contact: Kirk Blomquist, Superintendent – Field Operations, Department of Plant Sciences/Crop Development Centre (306 966-4985)

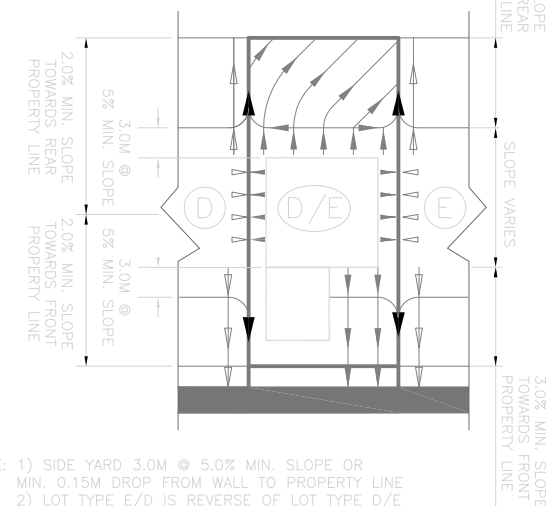
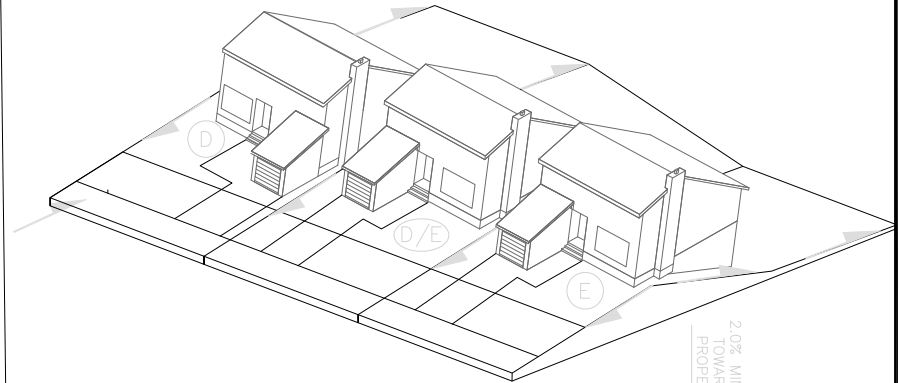
Lot Grading Types



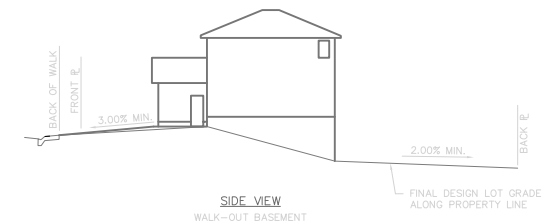
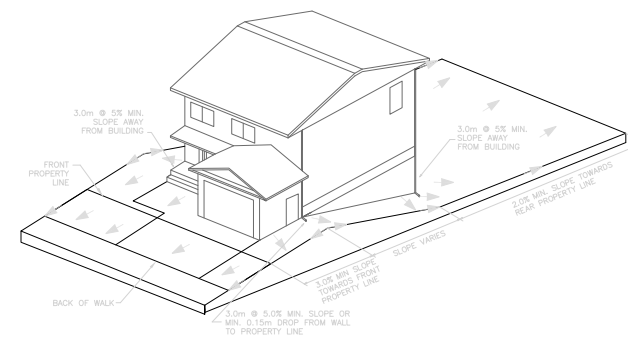
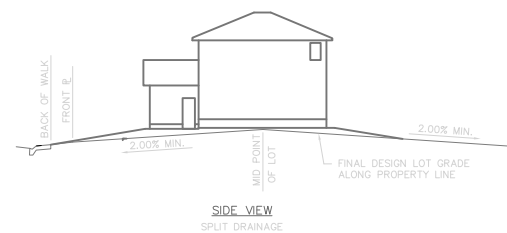
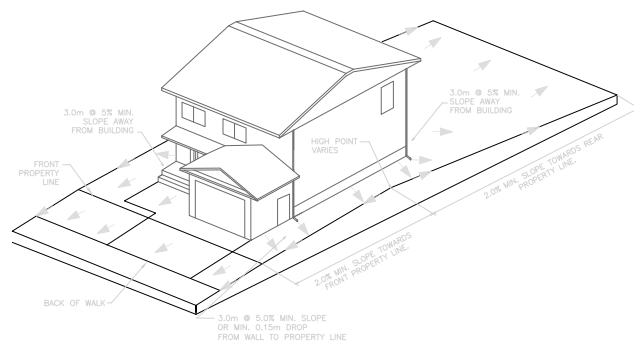
NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE D/A IS REVERSE OF LOT TYPE A/D

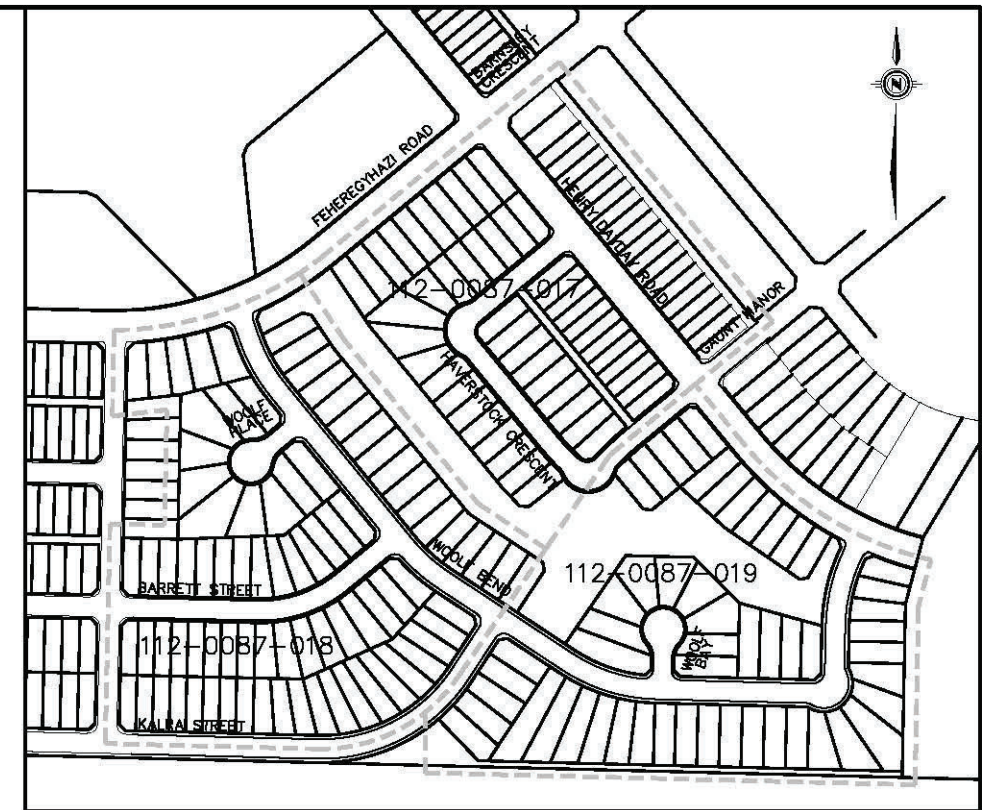
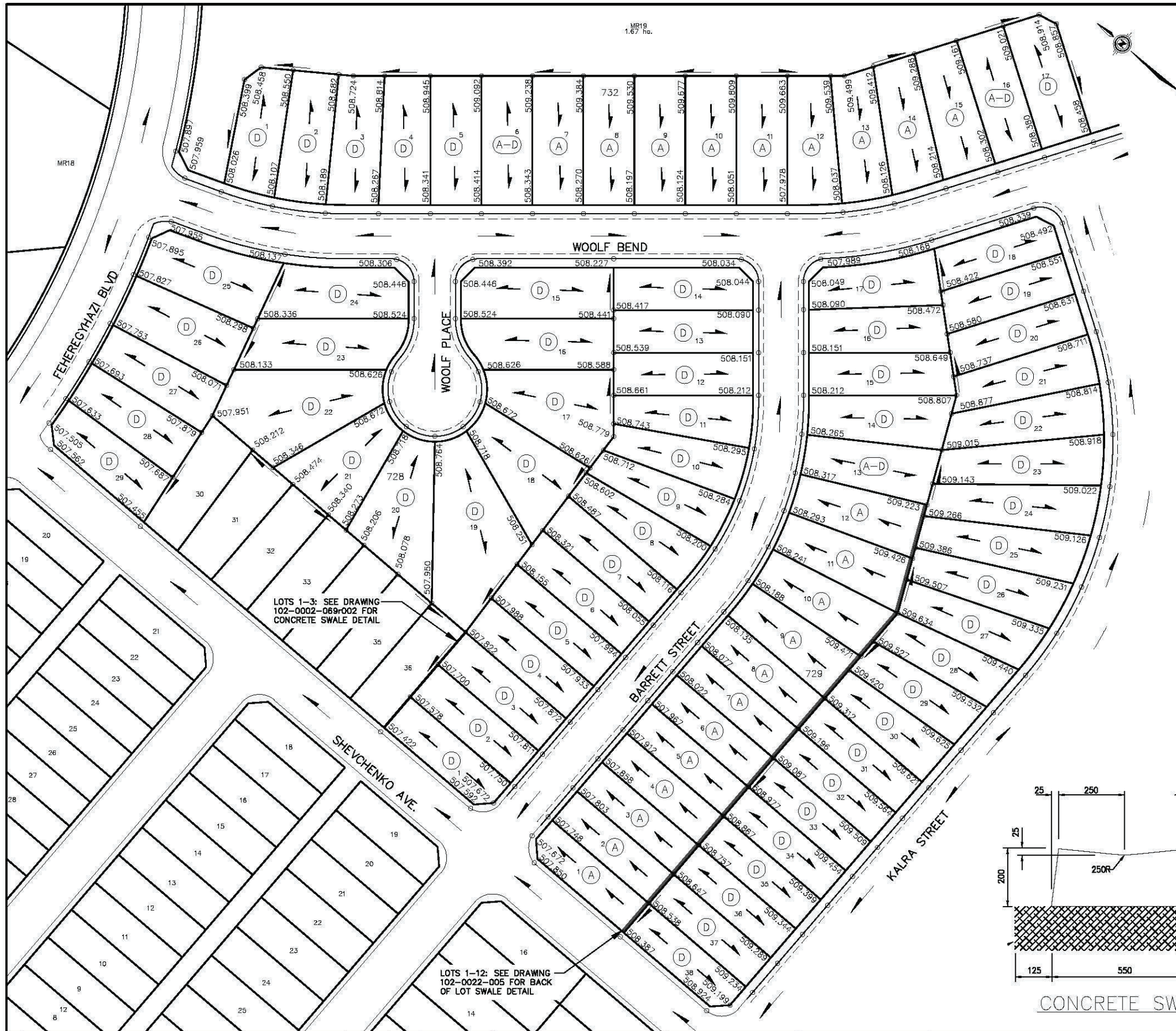


NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE C/D IS REVERSE OF LOT TYPE D/C



NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE E/D IS REVERSE OF LOT TYPE D/E





KEY PLAN

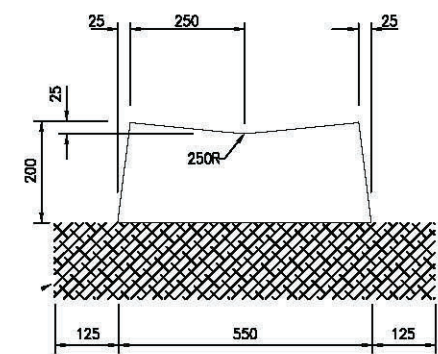
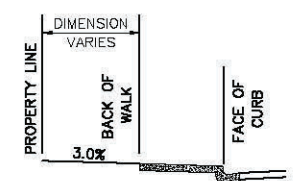
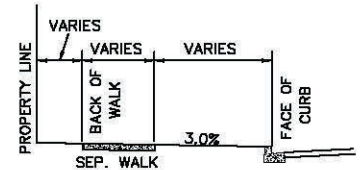
LEGEND

NOTE:

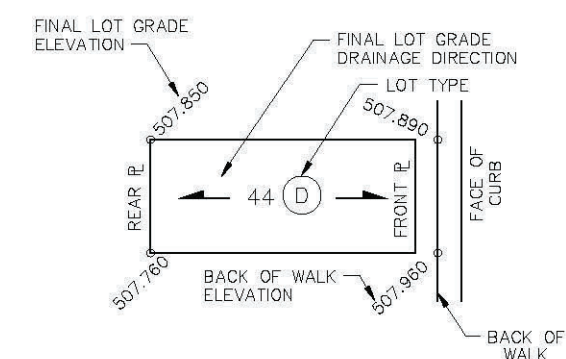
1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

LOT DRAINAGE DETAILS

LOT TYPE 'D' - SEE DRAWING 102-0022-017
LOT TYPE 'A' - SEE DRAWING 102-0022-016
LOT TYPE 'A-D', 'D-A' - SEE DRAWING 102-0022-013

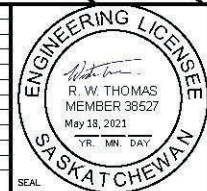


CONCRETE SWALE



CONST.
PROJECT NO. 502-0087-304r001_CWL

| NO. | DATE | BY | DESCRIPTION/REVISION |
|-----|-------------|-----|----------------------------|
| 1 | 2021-JAN-16 | KDN | INITIAL BASE DRAWING SETUP |
| 2 | 2021-JAN-16 | KDN | PLAN DESCRIPTION/REVISION |

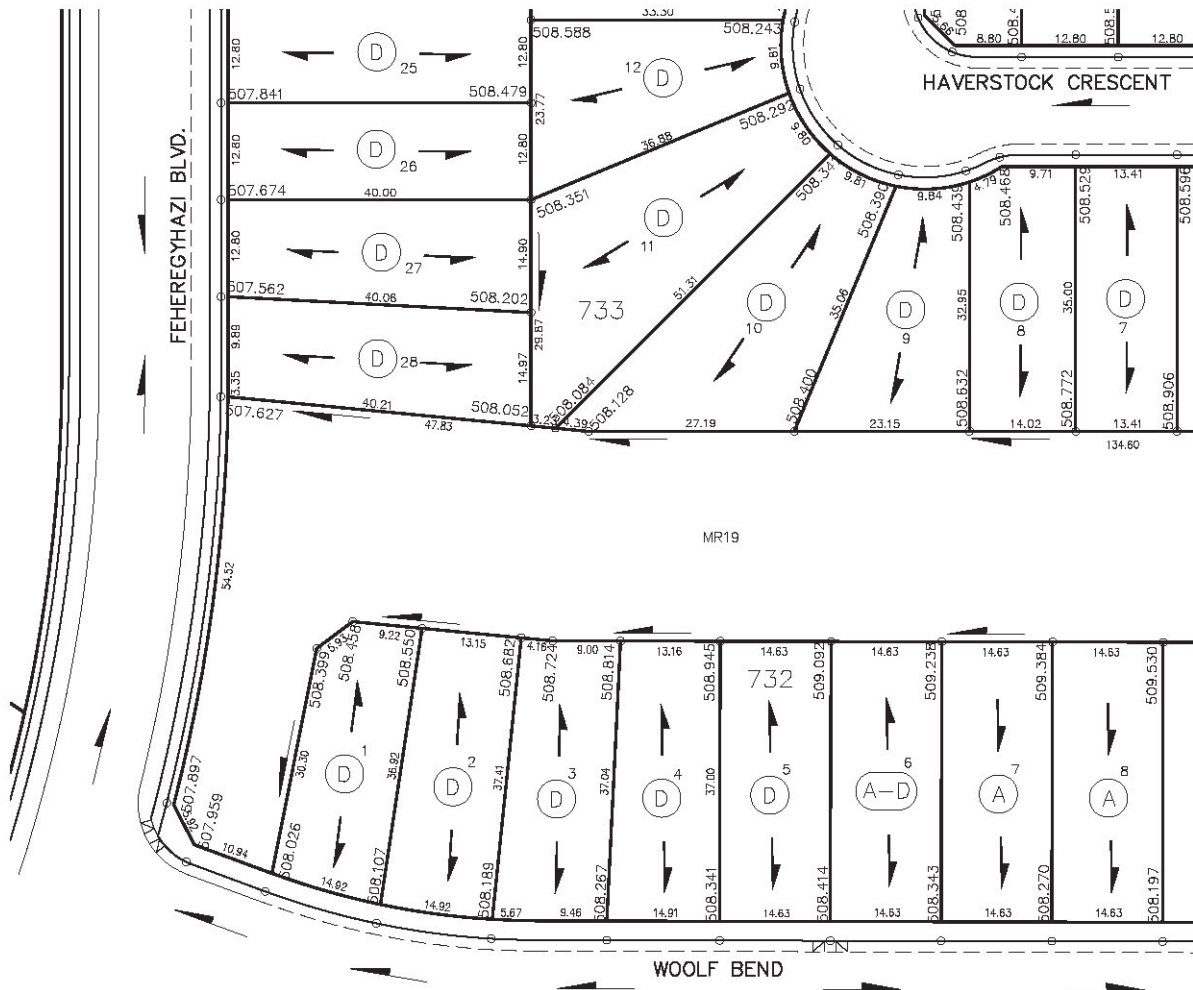


| CHECKED BY: | CHECKED BY: |
|------------------------------|------------------------------|
| SIGNATURE M. Nisar Khan | SIGNATURE |
| NAME May 19, 2021 | NAME |
| DATE | DATE |
| DWG STDS DATE 2021-JAN-18 | DWG STDS DATE 2021-MAR-01 |

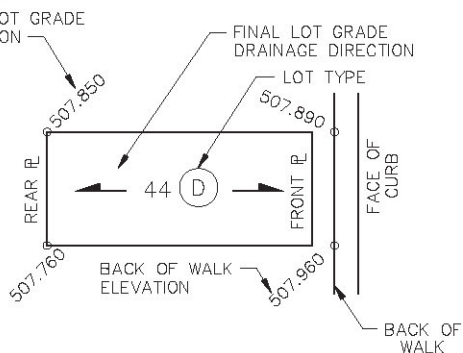


| |
|---|
| ASPEN RIDGE - PHASE B2 |
| LOT GRADES |
| FEHEREGYHAZI BLVD, WOOLF BEND, WOOLF PLACE |
| SHEVCHENKO AVE, BARRETT STREET & KALRA STREET |

| | |
|---------------------|------------------|
| ENGINEERING MANAGER | DATE |
| SIGNATURE | May 19, 2021 |
| SCALE: | |
| HOR. 1:1250 | |
| VERT. 1:1250 | |
| SHEET NO. | PLAN NO. |
| 1 OF 1 | 112-0087-018r001 |



LEGEND



NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

FEHEREGYHAZI BLVD, HAVERSTOCK CRES & WOOLF BEND

DRAWN BY KDN DATE 2021-JAN-24

SCALE 1:1000

PLAN NO.

PAGE 3 OF 4

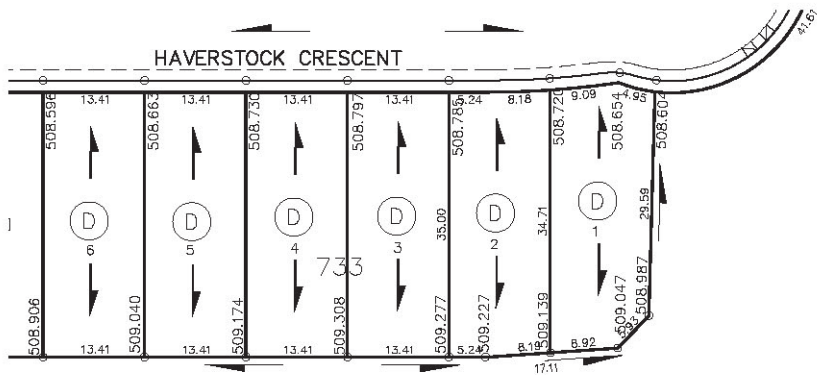


SOURCE DOCUMENT

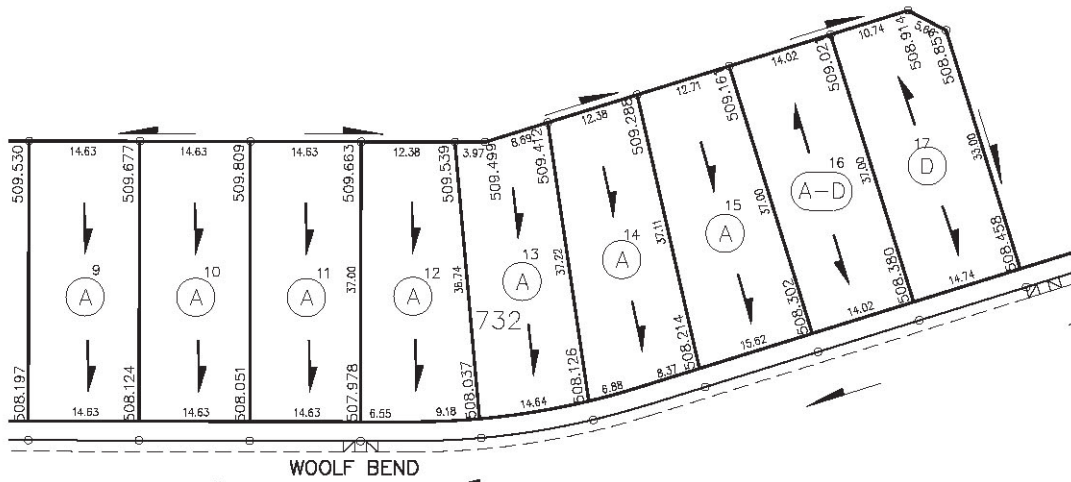
PLAN No. 112-0087-017

APPROVAL DATE 2021-MAY-19

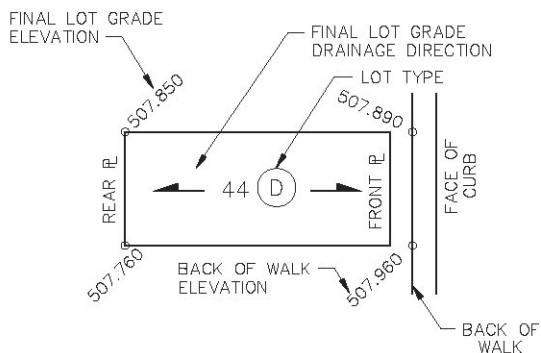
REVISION DATE



MR19



LEGEND



NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

HAVERSTOCK CRESCENT & WOOLF BEND

DRAWN BY KDN DATE 2021-JAN-24

SCALE 1:1000

PLAN NO.

PAGE 4 OF 4

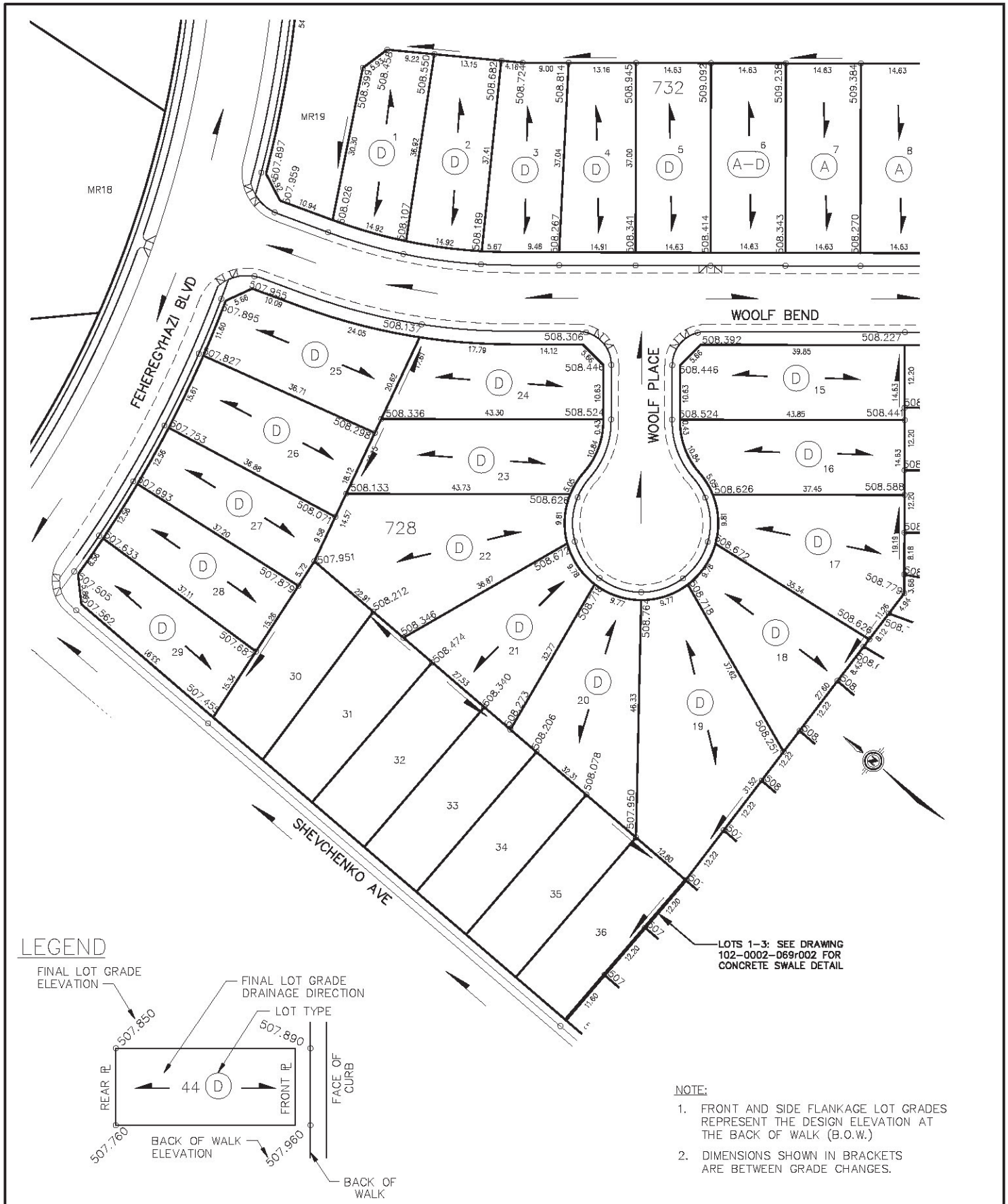


SOURCE DOCUMENT

PLAN No. 112-0087-017

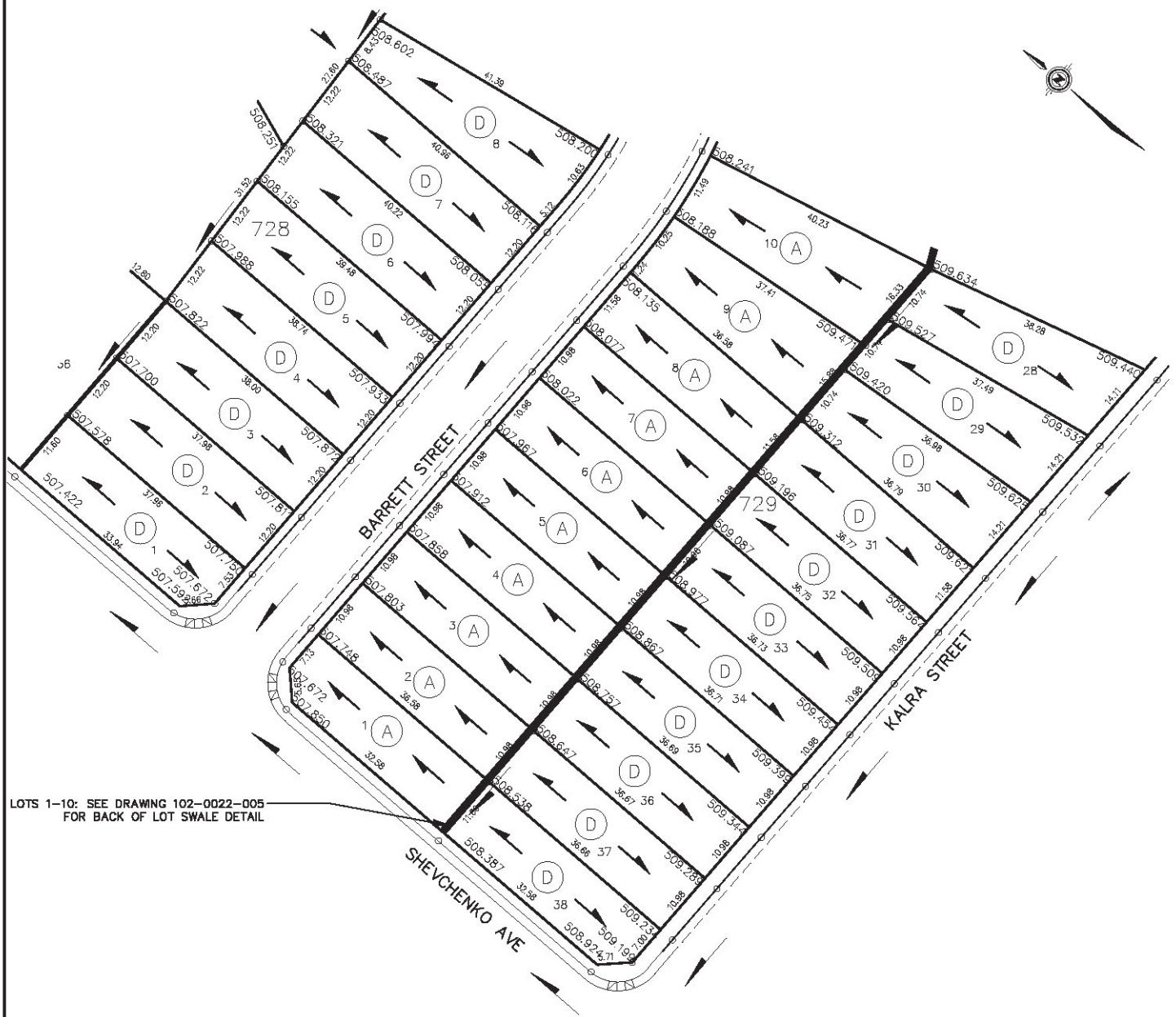
APPROVAL DATE 2021-MAY-19

REVISION DATE



FEHEREGYHAZI BLVD, WOOLF BEND & WOOLF PLACE

| | | | |
|---------------------|-------------------------|--|----------------------------------|
| DRAWN BY <u>KDN</u> | DATE <u>2021-JAN-24</u> |  City of Saskatoon Transportation and Construction Division | SOURCE DOCUMENT |
| SCALE <u>1:1000</u> | | | PLAN No. <u>112-0087-01B</u> |
| PLAN NO. | | | APPROVAL DATE <u>2021-MAY-19</u> |
| PAGE <u>1 OF 3</u> | | | REVISION DATE |



LEGEND

FINAL LOT GRADE ELEVATION

FINAL LOT GRADE DRAINAGE DIRECTION

LOT TYPE

REAR RL
507.850
507.760

BACK OF WALK ELEVATION

507.890

FACE OF CURB

BACK OF WALK

NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

BARRETT STREET, KALRA STREET & SHEVCHENKO AVE

DRAWN BY KDN DATE 2021-JAN-24

SCALE 1:1000

PLAN NO.

PAGE 3 OF 3



**City of
Saskatoon**

Transportation and Construction Division

SOURCE DOCUMENT

PLAN No. 112-0087-01B

APPROVAL DATE 2021-MAY-19

REVISION DATE

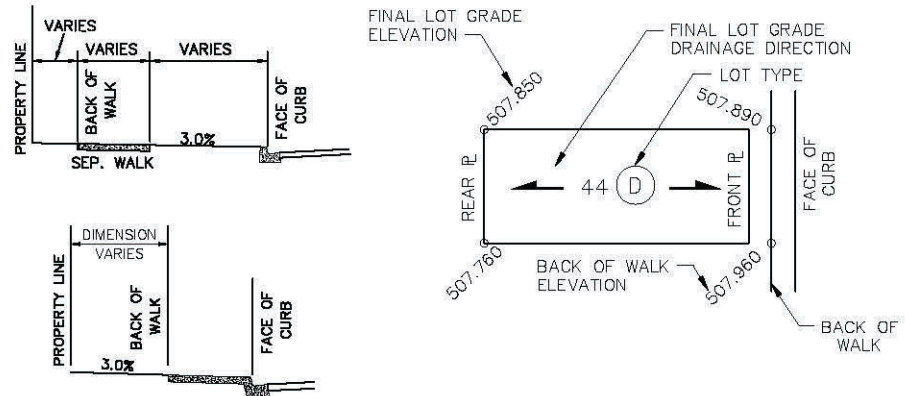
LEGEND

NOTE:

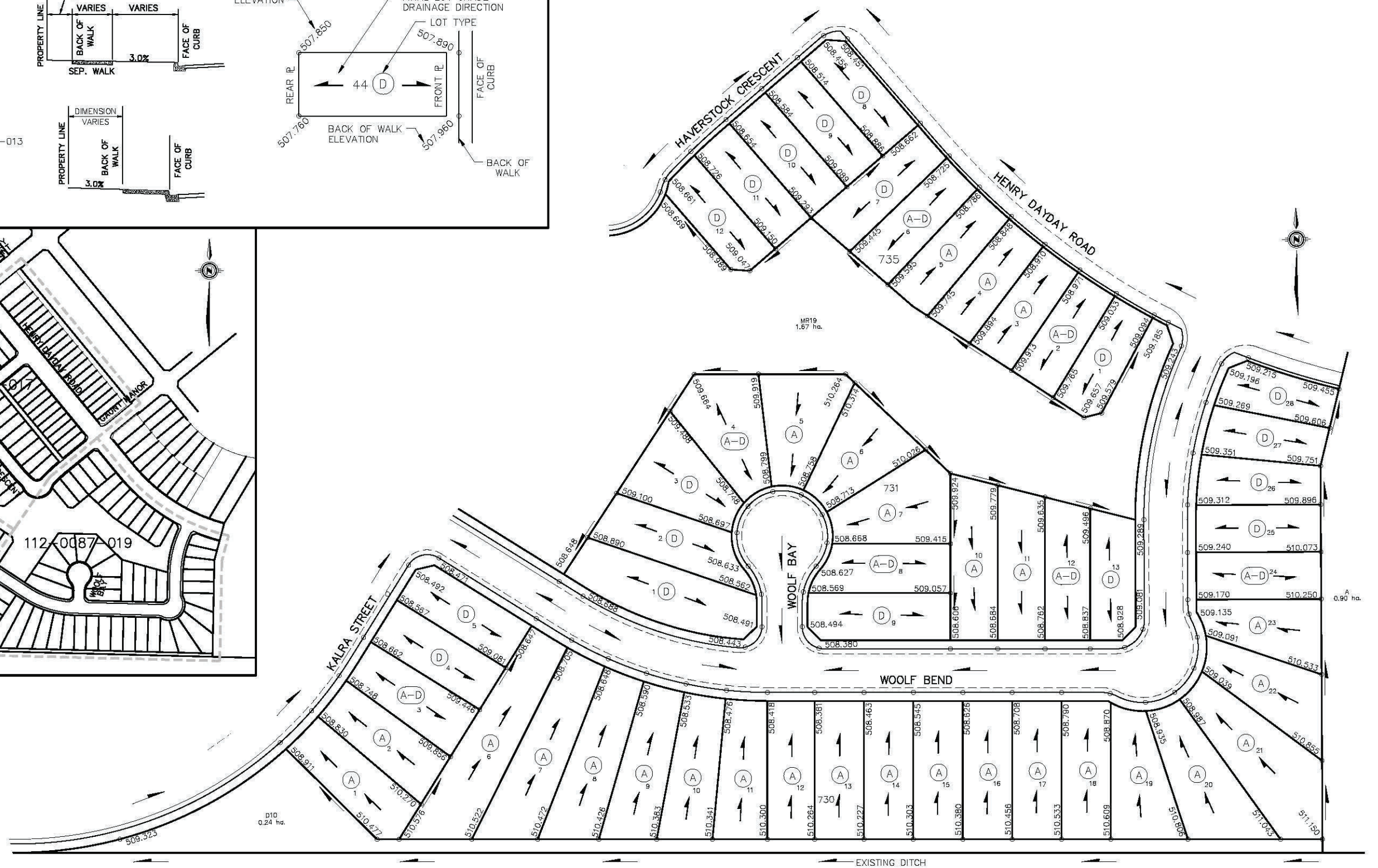
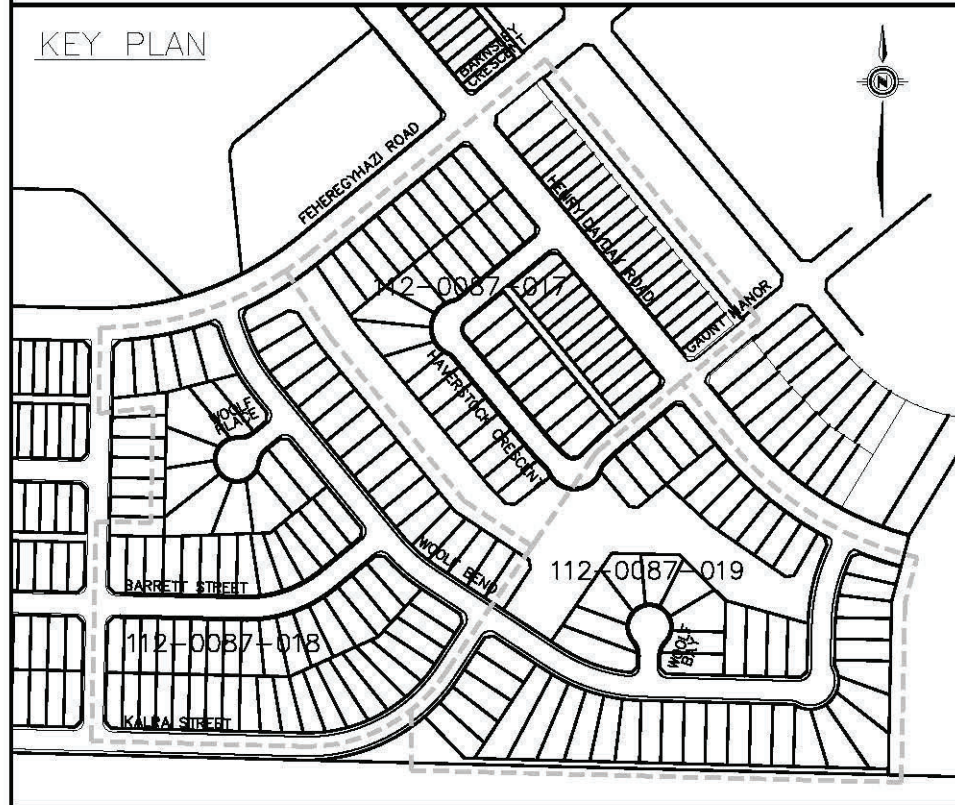
- FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
- DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

LOT DRAINAGE DETAILS

LOT TYPE 'D' - SEE DRAWING 102-0022-017
 LOT TYPE 'A' - SEE DRAWING 102-0022-016
 LOT TYPE 'A-D', 'D-A' - SEE DRAWING 102-0022-013



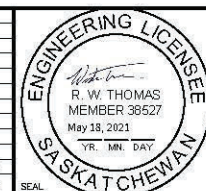
KEY PLAN



CONST.

PROJECT NO. 502-0087-3041001_CWL

| INITIAL BASE DRAWING SETUP | DATE | BY |
|----------------------------|------|----|
| PLAN DESCRIPTION/REVISION | | |



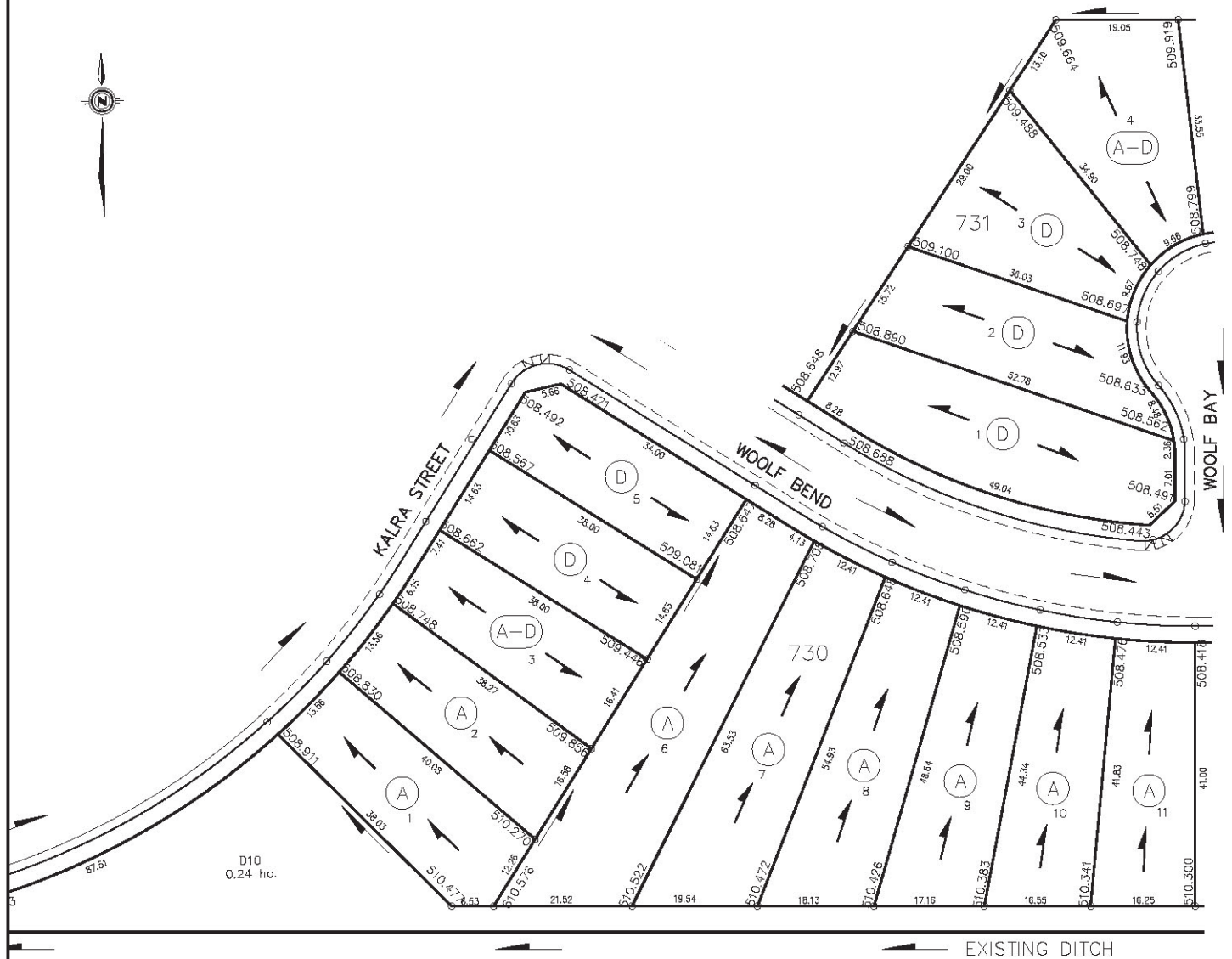
| CHECKED BY: | CHECKED BY: |
|--------------------------------|---|
| SIGNATURE M. Nisar Khan | SIGNATURE |
| NAME May 19, 2021 | NAME |
| DATE | DATE |
| DRAWN BY: KDN DATE 2021-JAN-18 | DWG STDS CHECKED BY: JLV DATE 2021-MAR-01 |



ASPEN RIDGE - PHASE B2

LOT GRADES
 KALRA STREET, WOOLF BEND, WOOLF BAY
 HAVERSTOCK CRESCENT & HENRY DAYDAY ROAD

| ENGINEERING MANAGER | DATE |
|---------------------|---------------------------|
| SIGNATURE | May 19, 2021 |
| SCALE: HOR. 1:1250 | DATE |
| VERT. 1:1250 | |
| SHEET NO. 1 OF 1 | PLAN NO. 112-0087-019r001 |



LEGEND

FINAL LOT GRADE
ELEVATION

FINAL LOT GRADE
DRAINAGE DIRECTION

LOT TYPE

REAR RL
507.850
507.760

BACK OF WALK
ELEVATION

44 (D)

507.890
507.960

FRONT RL

FACE OF
CURB

BACK OF
WALK

NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

KALRA STREET, WOLF BEND & WOLF BAY

DRAWN BY KDN DATE 2021-JAN-24

SCALE 1:1000

PLAN NO.

PAGE 1 OF 3



**City of
Saskatoon**

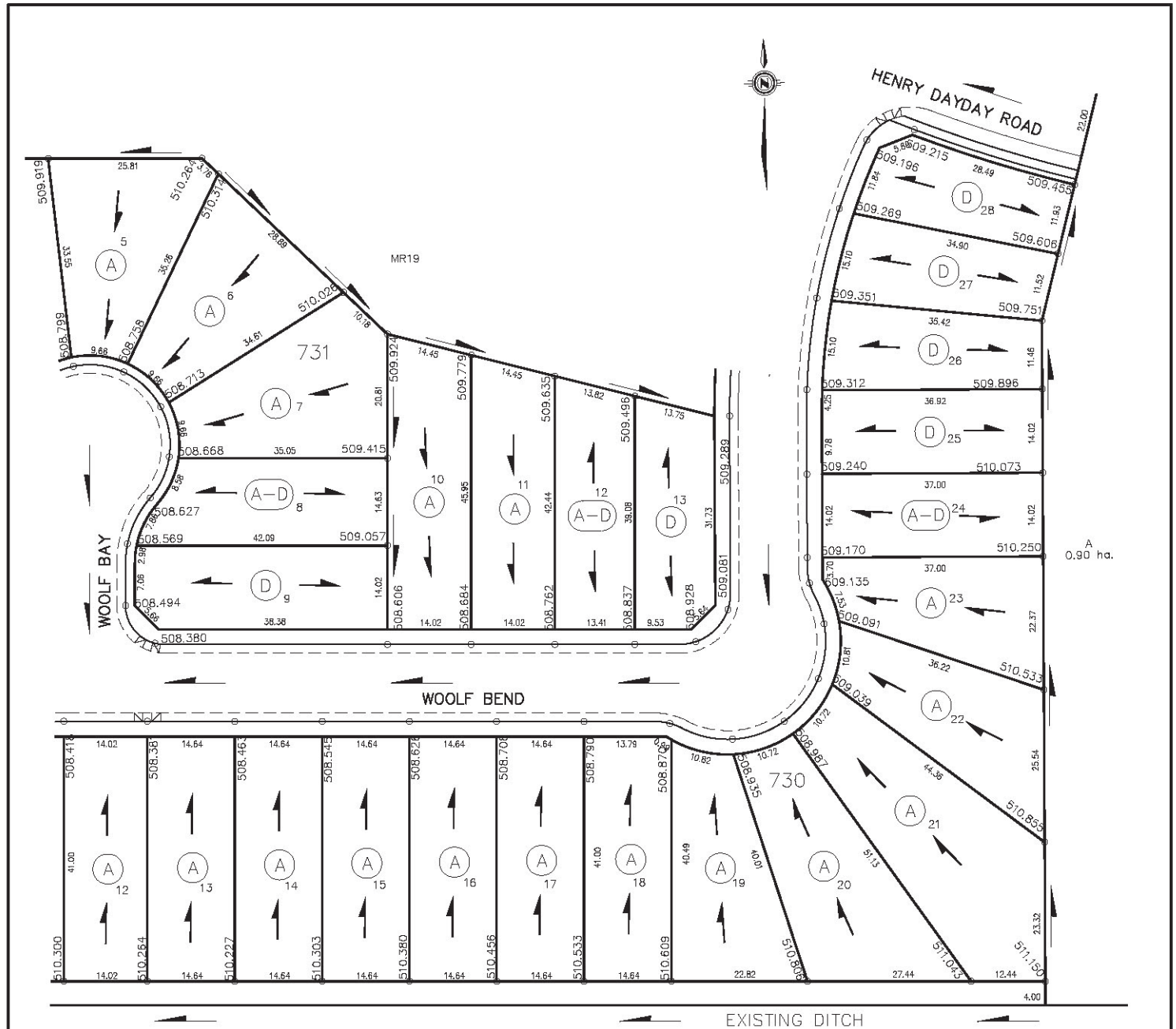
Transportation and Construction Division

SOURCE DOCUMENT

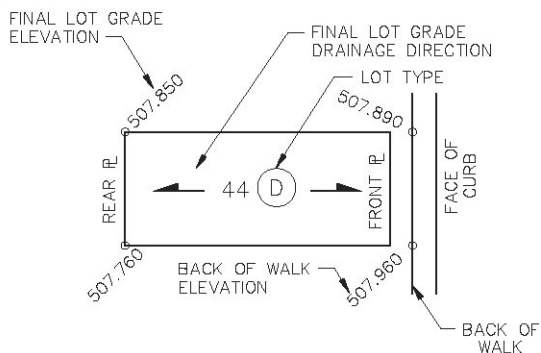
PLAN No. 112-0087-019

APPROVAL DATE 2021-MAY-19

REVISION DATE



LEGEND



NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

WOOLF BAY, WOOLF BEND & HENRY DAYDAY CRESCENT

DRAWN BY KDN DATE 2021-JAN-24

SCALE 1:1000

PLAN NO.

PAGE 2 OF 3

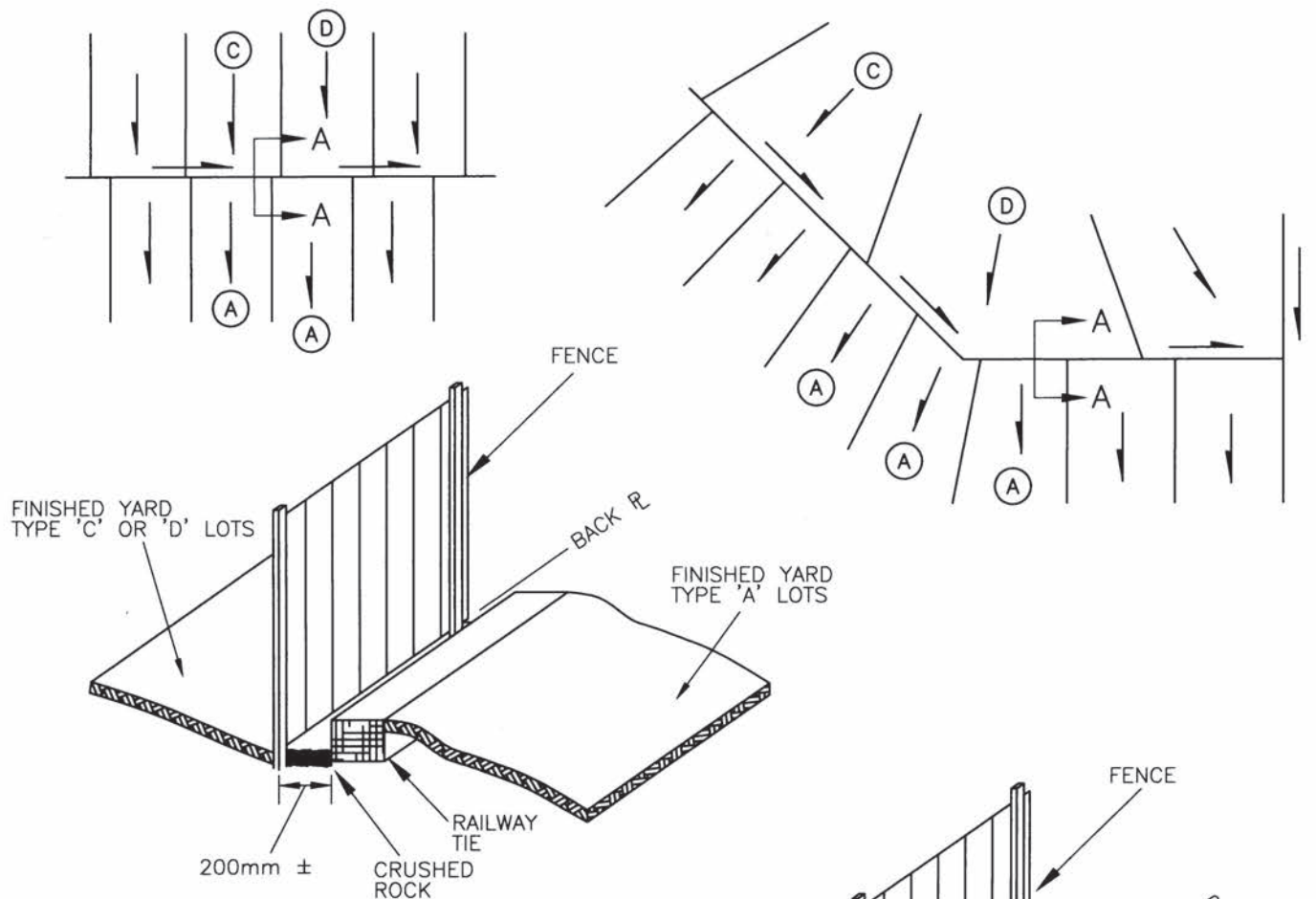


SOURCE DOCUMENT

PLAN No. 112-0087-019

APPROVAL DATE 2021-MAY-19

REVISION DATE



SECTION A-A
OPTION 1

SECTION A-A
OPTION 2

THE PURPOSE OF THIS DRAINAGE SWALE IS TO ENSURE THAT DRAINAGE FROM THE BACK OF THE TYPE 'C' AND 'D' LOTS DOES NOT ENTER THE TYPE 'A' LOTS ON THE OTHER SIDE OF THE EASEMENT.

THE UTILITY KIOSKS LOCATED ALONG THE UTILITY EASEMENTS WILL HAVE THE ELEVATION MARKED TO SHOW THE FINAL GRADE AT THE BACK PROPERTY LINE.

THIS WOULD APPLY TO THE BACK OF ALL TYPE 'A' LOTS.

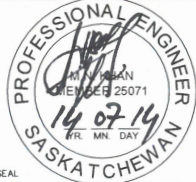
| | | | | |
|---|--|---|---|--|
| REVISIONS 1 2 3 | | CITY OF SASKATOON INFRASTRUCTURE SERVICES DEPARTMENT | APPROVED CITY ENGINEER P. ENG. ENGINEER | |
| DRAWN BY <u>MRH</u> DATE <u>13/06/02</u> CHECKED BY _____ DATE _____ | | | DRAINAGE SWALE BACK OF LOT, 1 OF 2 SCALES : HOR. <u>N.T.S.</u> VERT. <u>N.T.S.</u> PLAN NO. 102-0022-005r001 | |



CONST.

Kernen Prairie

| | | | |
|----|---------------------------|-------------|-----|
| 11 | | | |
| 10 | | | |
| 9 | | | |
| 8 | | | |
| 7 | | | |
| 6 | | | |
| 5 | | | |
| 4 | | | |
| 3 | | | |
| 2 | | | |
| 1 | ISSUED FOR CONSTRUCTION | 2014-JUL-11 | RWD |
| | PLAN DESCRIPTION/REVISION | DATE | BY |



| | |
|---------------|------------------|
| CHECKED BY: | CHECKED BY: |
| <i>Bk Sk</i> | <i>Al Kl</i> |
| DATE 14/07/14 | DATE 14/07/18 |
| DRAWN BY: RWD | DATE 2014-MAR-03 |



City of Saskatoon
Transportation & Utilities Department

ASPEN RIDGE LAND DEVELOPMENT - PHASE B2




AREA GRADING
DESIGN CONTOURS

| | |
|----------------|------------------|
| CHIEF ENGINEER | |
| SCALE: 1:2000 | DATE 14/07/14 |
| SHEET NO. | PLAN NO. |
| | 113-0087-306r001 |

[illegible]

DESCRIPTIVE PLAN - TYPE II
SHOWING
FEATURE UTILITY RIGHT OF WAY

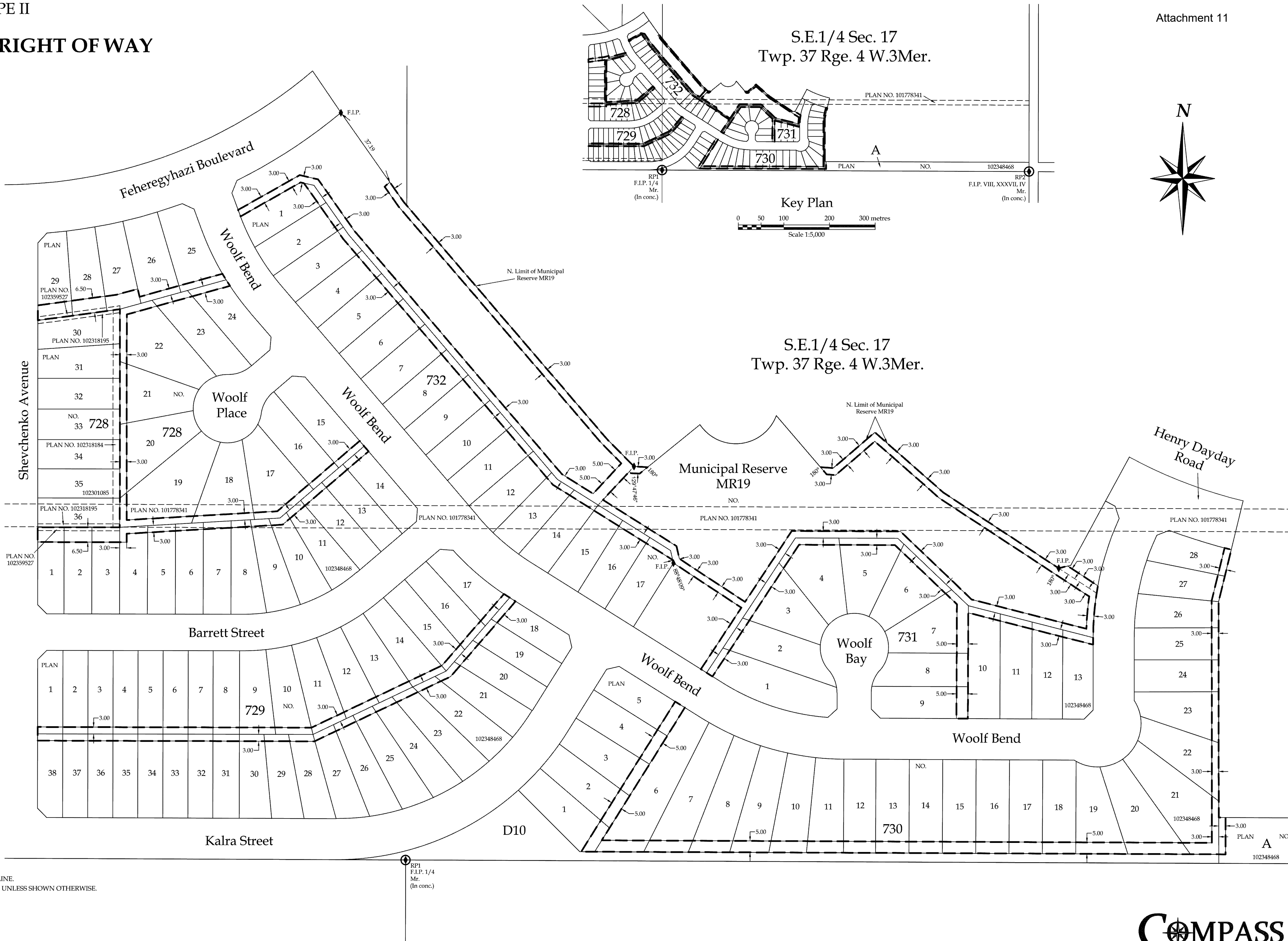
WITHIN
LOTS 1-29, BLOCK 728,
LOTS 1-38, BLOCK 729,
LOTS 1-28, BLOCK 730,
LOTS 1-13, BLOCK 731,
LOTS 1-17, BLOCK 732,
PARCEL A,
MUNICIPAL RESERVE MR19
PLAN NO. 102348468
L.S.3, SEC. 17 &
S.E.1/4 SEC. 17
TWP. 37 RGE. 4 W.3 MER.
CITY OF SASKATOON
SASKATCHEWAN
BY: BLAKE WAHL, S.L.S.
DATE: MARCH 8TH, 2021
SCALE: 1:1000

LEGEND:
MONUMENTS FOUND ARE SHOWN THUS: 
REFERENCE POINTS ARE SHOWN THUS:  RP1  RP2

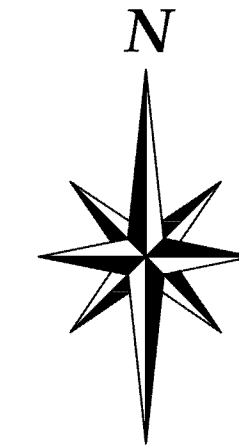
MEASUREMENTS ARE IN METRES AND DECIMALS THEREOF.
AREA TO BE APPROVED IS OUTLINED BY A HEAVY DASHED LINE.
EXTENSIONS OF PARCELS AFFECTED BY THIS FEATURE ARE 0 UNLESS SHOWN OTHERWISE.
THE DATUM USED: NAD83 (CSRS)
THE PROJECTION USED: UTM ZONE 13N EXTENDED

RP COORDINATES ARE DERIVED AS OF DECEMBER 8TH, 2018
GEO-REFERENCED POINTS DERIVED FROM GNSS OBSERVATIONS AND PROCESSED WITH THE NRCAN PPP SERVICE.

DWG: 0939-13-DP13-R0



Key Plan
0 50 100 200 300 metres
Scale 1:5,000



DESCRIPTIVE PLAN - TYPE II
SHOWING
FEATURE UTILITY RIGHT OF WAY

WITHIN

LOTS 1-3 & 27-29, BLOCK 728,

PLAN NO. 102348468

L.S.3, SEC. 17

TWP. 37 RGE. 4 W.3 MER.

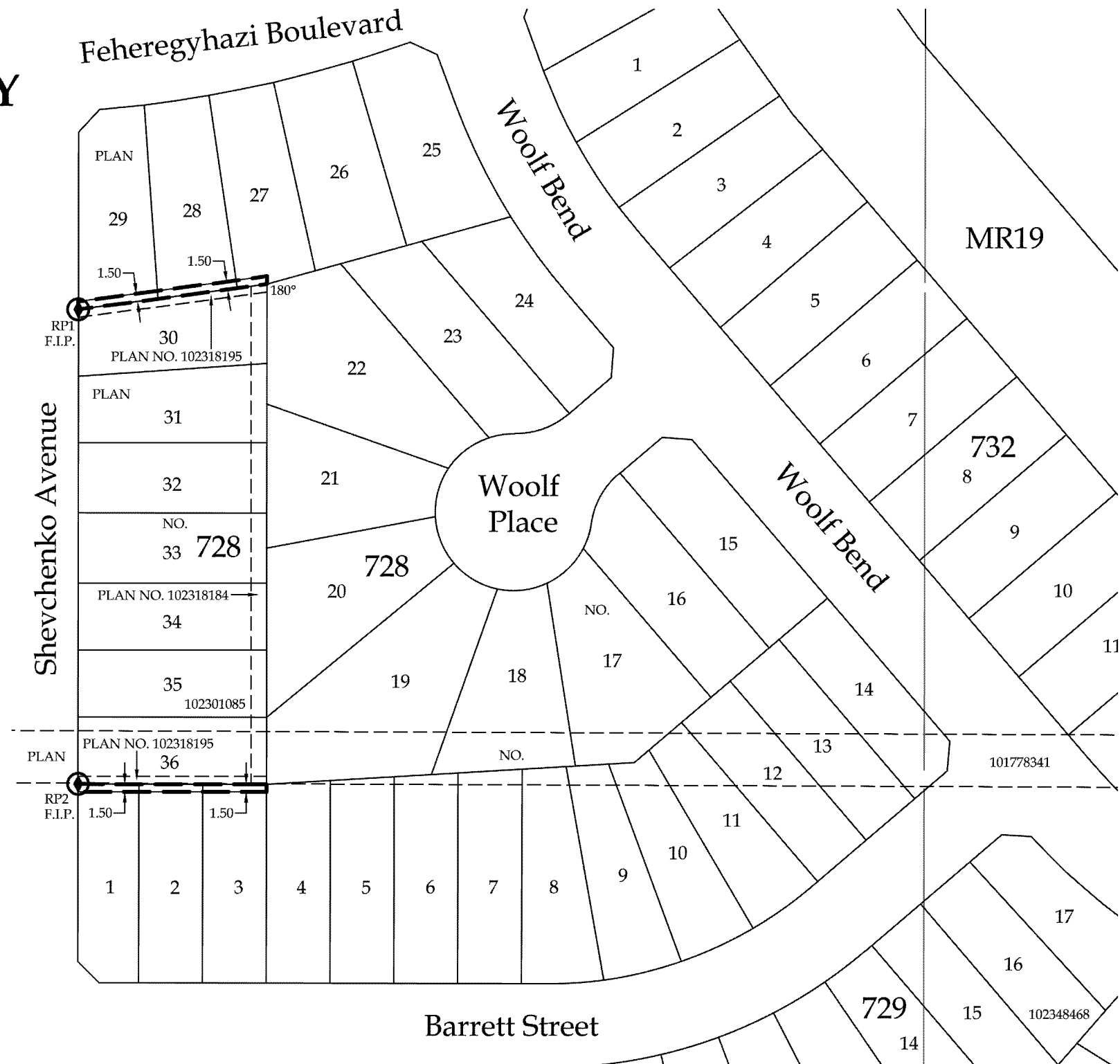
CITY OF SASKATOON

SASKATCHEWAN

BY: BLAKE WAHL, S.L.S.

DATE: MARCH 8TH, 2021

SCALE: 1:1000



LEGEND:

MONUMENTS FOUND ARE SHOWN THUS: ◆

REFERENCE POINTS ARE SHOWN THUS: ○ RP1 ○ RP2

MEASUREMENTS ARE IN METRES AND DECIMALS THEREOF.

AREA TO BE APPROVED IS OUTLINED BY A HEAVY DASHED LINE.

EXTENSIONS OF PARCELS AFFECTED BY THIS FEATURE ARE 0 UNLESS SHOWN OTHERWISE.

THE DATUM USED: NAD83 (CSRS)

THE PROJECTION USED: UTM ZONE 13N EXTENDED

RP COORDINATES ARE DERIVED AS OF DECEMBER 8TH, 2018

GEO-REFERENCED POINTS DERIVED FROM GNSS OBSERVATIONS AND PROCESSED WITH THE NRCAN PPP SERVICE.

DWG: 00939-13-DPII4-R0

COMPASS
Geomatics Ltd.
REGISTERED LAND SURVEYORS

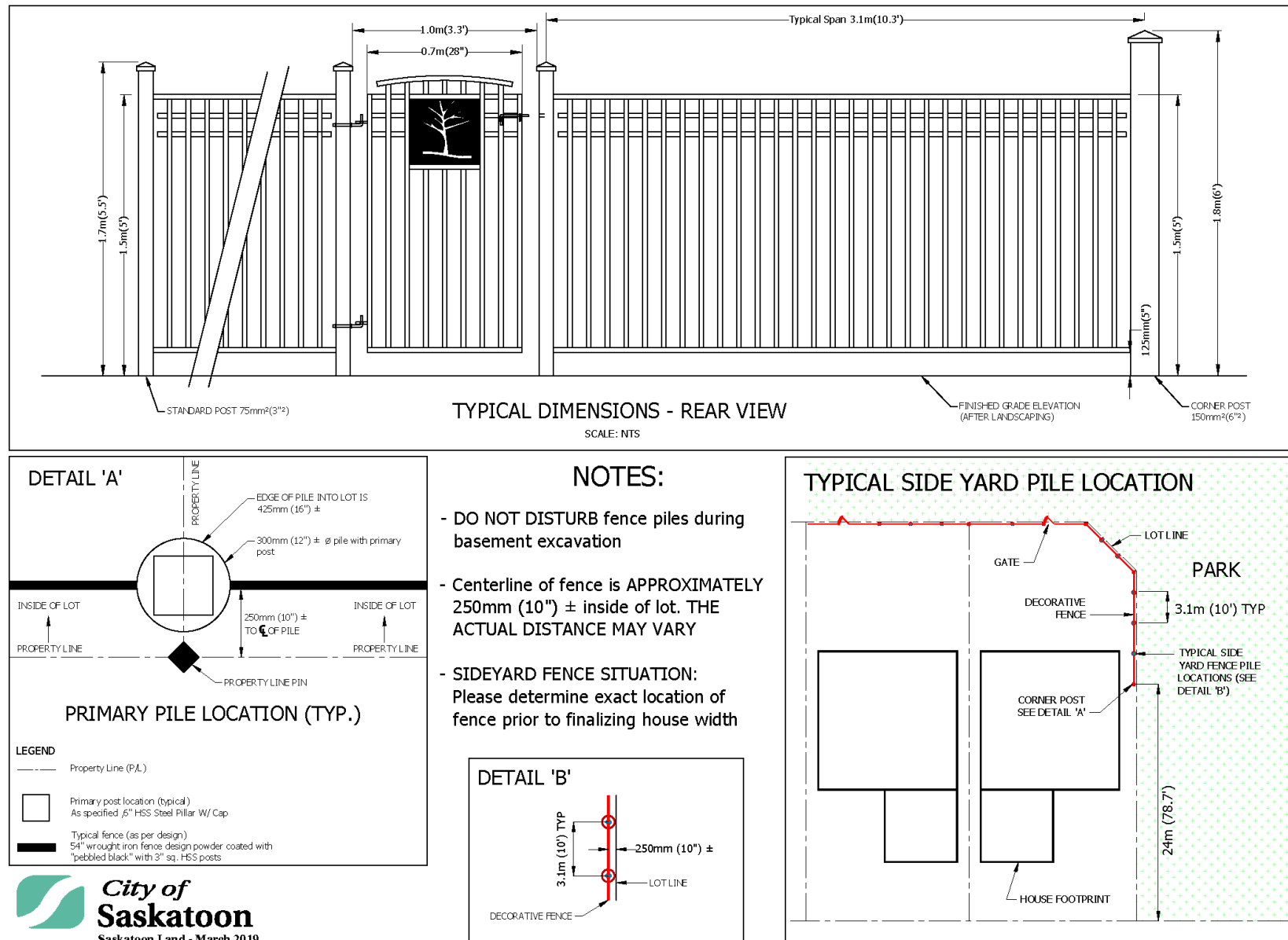


FIGURE 4: ASPEN RIDGE DECORATIVE FENCE DETAILS