

# ASPEN RIDGE



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## Phase 5 Lot Information Package



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# Terms of Sale

## Individuals

### Deposit

A deposit equal to 13% of the purchase price plus 5% GST on the price of the lot (less the \$3,000 lot draw application fee) and entrance into a Sale Agreement is required at the time of lot selection.

### Residency Requirement

Lots purchased by individuals have a four-year residency requirement. The four-year period will begin the day payment in full is received and Title is transferred into the purchaser(s) name. The original purchaser(s) name must remain on Title to maintain the four-year requirement.

### Forgivable Mortgage

In connection with the residency requirement, a Forgivable Mortgage of \$50,000, held by the City of Saskatoon, will be registered against title. Should the dwelling be completed within the required three years from the date of possession, the mortgage will be forgiven on a monthly basis over the final three years of the four-year residency period.

## Eligible Contractors

### Deposit

A deposit equal to 13% of the purchase price is required at the time of lot selection and entrance into an Agreement for Sale.

Builders will be given 5 business days after confirmation of lot selection to pay the deposit and sign the Agreement. Failure to meet this requirement will result in a loss of the sale, the lot being returned to inventory and a \$500 processing fee per lot will be charged.

### Resale of Lot

Lots are not to be resold. Builders are purchasing City lots to construct homes for potential homebuyers. If a lot is no longer required, please review the Cancellation Policy on Page 6 of this document. Assignments may be permitted with notification and approval by Saskatoon Land.



## **All Purchasers**

### **Payment Terms**

Saskatoon Land is offering competitive payment terms for this phase. Specific terms applicable to these lots include:

- A down payment of 13% of the purchase price (plus GST for Individual Purchasers) is required at the time of lot selection and entrance into an Agreement for Sale;
- Full payment of the lot is due within 24 months of possession with interest at 0% per annum;
- After 24 months, upon request, an extension may be granted with a payment of 5% of the purchase price to extend an additional 4 months at an interest rate of 5% per annum; and
- No further extensions will be granted and full payment of the lot is due within 28 months.

### **Possession of Land**

All lots allocated to the regular lot draw will be sold with immediate possession. Lots allocated during the Multi-Lot Allocation were sold with a delayed possession.

### **Build-Time Requirement**

All lots purchased have a three-year time requirement to complete construction. Construction may begin once possession of the lot is granted, utility servicing is complete and the roadways are at gravel base. The build requirement will commence from the date of possession. Construction includes a build substantially complete and ready for occupancy within the three-year time frame. Builders not meeting this requirement will be suspended from the Eligible Contractors list.

### **Taxes**

Property taxes become the responsibility of the purchaser(s) effective the first of the month following the possession date. For an estimate of the taxes on the land only, please call the Assessment Division at (306)975-3227.

### **Transfer of Title**

The Transfer of Title will be issued in one of the following ways:

- under the appropriate trust conditions, the Transfer will be forwarded to the purchaser's solicitor; or
- upon receipt of payment in full, the Transfer will be forwarded to the purchaser's solicitor.

### **Default or Voluntary Cancellation**

An Agreement for Sale is defaulted when any of the terms are not met within the time of the agreement. In the event of cancellation or default, both prior to or after an Agreement for Sale being signed, a \$500 processing fee is charged plus a restocking fee for the time the purchaser has held the lot. The restocking fee is one percent (1%) of the purchase price of the lot plus GST, multiplied by the number of months (no charge for first 30 days) which have elapsed between the date of the Agreement of Sale and the date of the Quit Claim. The restocking fee is deducted from monies paid (i.e. deposit) and any remaining portion is refunded. Voluntary cancellation cannot occur once construction has begun or Title has been transferred into the purchaser(s) name.

### **Starting Construction**

Possession of the site is granted for construction purposes when the down payment has been received, finalizing the Agreement for Sale.

Lots are sold “**As Is**”. These terms are contained in the Agreement for Sale. The terms may change without notice. Any questions should be asked to ensure you understand the terms of your purchase.

## **Landscaping and Driveway Requirement**

### **Aspen Ridge Phase 5 Rebate\***

Front yard landscaping and hard surfacing of front driveways is required to be completed within 18 months of building permit issuance in Phase 5 to improve the curb appeal of newly built dwellings. Saskatoon Land offers a Rebate Program to lot purchasers to help with these projects.

For lots sold in Phase 5 the following Rebate will apply:

- A rebate of \$5,000 is available for builders or individual lot purchasers for the completion of both the front driveway surfacing and front yard landscaping within 18 months of the building permit issuance date.

Rebate will only be issued once both items have been completed, architectural inspection and approval is granted on both the front driveway surfacing and front yard landscaping.

\*Please visit the [Aspen Ridge Phase 5 Architectural Controls](#) for full information on the Rebate Program.

## General Information

### Architectural Controls

Once a lot is purchased, the purchaser and/or builder will be required to review the Aspen Ridge Phase 5 Architectural Controls. **Building Plans showing compliance with the Architectural Controls must be submitted and approved by Saskatoon Land prior to applying for a Building Permit.** Upon approval, Saskatoon Land will provide an approval package with stamped Building Plans. The purchaser and/or builder needs to submit the approval package to the Building Standards Division as part of the Building Permit package. Complete information and approval by Saskatoon Land before applying for a Building Permit will ensure no Architectural Control delays in the Building Permit Process.

Please be advised that to qualify for Saskatoon Land's Rebate program this dwelling must pass architectural inspection. If the dwelling is constructed in violation of the Architectural Controls as approved and initialled in the Agreement for Sale, the incentives will be withheld, and the City may take legal action to ensure compliance. Issuance of a Building Permit will not absolve the Purchaser from meeting this requirement. Such action could result in the demolition or partial demolition of the building at the expense of the purchaser.

### Zoning

If you require more information on zoning, please visit ([saskatoon.ca/zoning](http://saskatoon.ca/zoning)) and search zoning bylaw, or contact the Planning and Development Division at (306)975-2645.

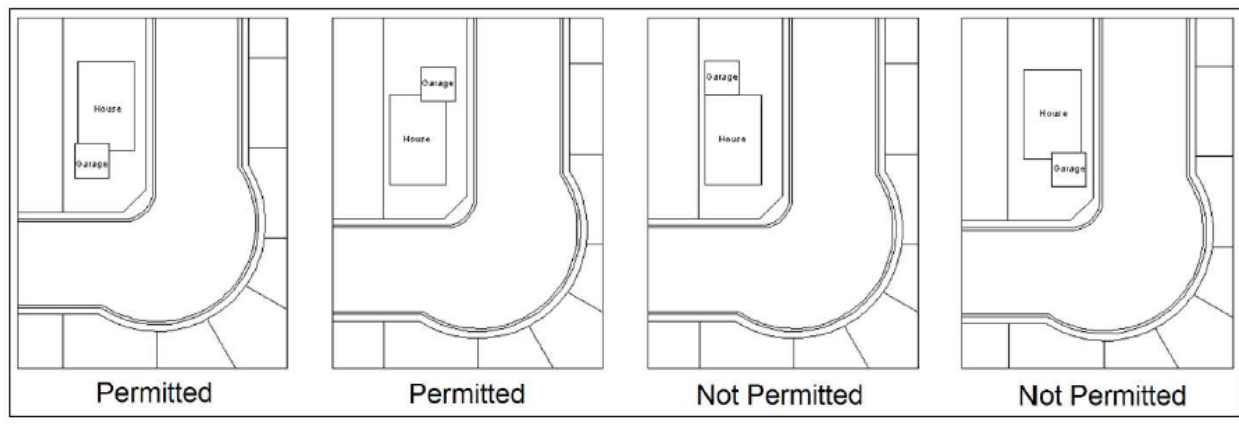
The lots within this phase of Aspen Ridge are zoned R1A, and R1B Districts (see Attachment 4). Please consult the City's Zoning Bylaw for the development standards of these two districts.

### Attached Garage Placement

For lots that require the construction of an attached garage, a garage side is assigned. The garage must be constructed against the required side of the lot as assigned. The intent of this control is to pair garages together against a common property line in order to provide a better streetscape appearance. The garage side placements are shown in the attached Lot Information Map and will be included in the Agreement for Sale.

### Corner Garage Placement

All corner lots that require an attached garage have the following in the Sales Agreement: The garage must be located on the side of the property that is furthest from the intersection. See the figure below.



### Nearby Multi-Unit Sites

Parcel YY, on Feheregyhazi Boulevard

Parcel XX, on Feheregyhazi Boulevard

These sites will be subject to the Architectural Controls contained in the *Architectural Controls for Multiple-Unit Dwelling Districts* document which can be viewed at [saskatoonland.ca](http://saskatoonland.ca).

### Residential Care Homes – Type II, Pre-Schools or Child Care Centres

Sites within the Aspen Ridge neighbourhood have been pre-designated for development as Residential Care Homes – Type II, Pre-Schools, or Child Care Centres. A Residential Care Home –Type II is a care home in which the number of residents under care is more than five, and no more than fifteen. Pre-Schools means a facility which provides a part-time program for pre-school aged children. Child Care Centre means an establishment providing for the care, supervision and protection of children, but does not include the provision of overnight supervision. The locations of sites for these uses have been spread throughout the neighbourhood and among various phases of development. In general, these locations are adjacent to collector streets on corner lots in order to provide access to transit service, and to mitigate any potential parking conflicts.

**Residential Care Home lots in Phase 5 are located on Block 728, Lots 25 & 26.**

### **Disclosure of Adjacent Property Owners**

In order to facilitate discussions between property owners respecting lot grading, fencing and property maintenance, Saskatoon Land will, upon request, disclose the names and phone numbers of purchasers to adjacent property owners.



## Lot Grading

Lot grading is the slope of the lot in order to provide good drainage away from the buildings in such a way that surface runoff from rainstorms or snowmelt is directed toward the storm sewer. Runoff is controlled through the use of side and back of lot swales to eliminate or minimize the impact on adjacent properties and to ensure proper overland drainage.

Complete development of all lots in an area may occur over a number of years and, unfortunately, some purchasers landscape their lot without proper consideration for the designated overland drainage pattern of the area. Early development does not preclude a homeowner's responsibility to maintain this drainage pattern. If a homeowner obstructs drainage in any way, thereby creating a flooding problem for neighbours upstream, that homeowner must correct the situation at their own expense. Similarly, a lot should not be landscaped below design grades otherwise flooding may occur.

In addition to this section please refer to the [Residential Property Lot Grading Guidelines](#).

### **Lot Grade Details**

The following information has been prepared to assist the purchaser and/or builder in setting the dwelling elevations and final lot grades. Lot grade details are shown on Attachment 7 in this package:

- 1) Lot grading types on Attachment 7 – show types A, A-D, and D, including a three-dimensional view and side view of the grading type;
- 2) Lot grade drawings on Attachment 7 – show the final design elevations at property corners and at other points that are deemed critical elevation points. It is important that builders and purchasers match these grades with final landscaping elevations. These elevations are required as a minimum for building plan approval; and
- 3) A drawing showing a cross section of a typical side yard fence and side yard grading that will not impede side yard drainage.

During the initial stages of subdivision development, all streets, easements, lanes, and walkways are pre-graded to design elevations set to accommodate drainage throughout the area. In the case of the utility easements, the grade is constructed approximately 100mm (4 inches) below the final design grade, which allows the homeowner to add topsoil without creating drainage problems for neighbouring yards.

Once dwelling construction is complete, lot grading is a two-step procedure. The first step is the rough grade stage, which includes backfilling the foundation walls and shaping the lot to conform to the pre-grade drainage plan. When rough grading is complete, the lot should be within 7 to 20cm (3 to 8 inches) below the final design grade

to allow for the addition of topsoil (4 to 6 inches). Once the lot is at the final design grade, topsoil and sod, decorative rock, wood chips, or other surface treatments can be installed. **It is strongly recommended that purchasers consult a legal surveyor or other qualified professional to get the final grade elevations to their lot before landscaping is started.**

### Grading Between Lots

A sloped surface is required to effectively drain water away from the foundation walls, including under steps and decks in order to reduce the risk of water entering the basement during rainfalls or snowmelt. See Figure 2. Drainage swales are shallow sloped channels intended to move surface runoff away from lots toward the storm sewers. On Attachment 7, drainage swales are shown on common property lines and should be graded in accordance with the Lot Grade Drawings.

If decorative rock or wood chips are to be used in the drainage swale the grade below this treatment must be at the final grade elevation to facilitate proper runoff to the storm sewer.

### Lot Grading Do's & Don'ts

#### **Do's:**

- 1) Do require construction plans to include finished grade elevations around the dwelling foundation and along property lines. **Do not leave your dwelling and site grading to chance.** Building Standards requires the submission of the lot corner elevations on the site plan

submitted for building permit approval. It is strongly recommended that the plans also include finished elevations along the foundation and garage grade beam, garage slab, foundation windows, side property lines, edge of driveways and sidewalks (particularly along the side of the dwelling), and the top and bottom of any retaining feature.

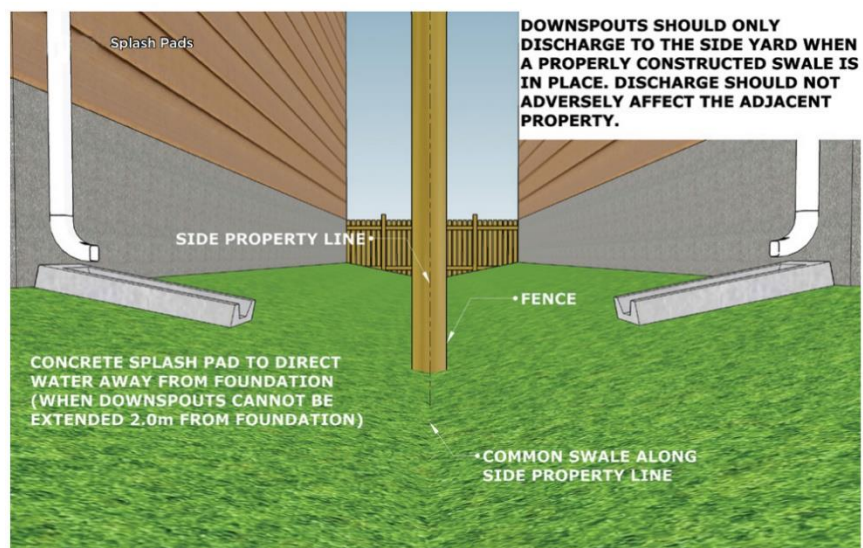


Figure 1: Grading

- 2) Do use a level to set the finished grades along the property line, particularly before installing sidewalks and fencing.
- 3) Do discuss with adjacent property owners' final drainage grades along the property line. Proper lot drainage requires cooperation of adjacent purchasers.
- 4) Do undertake a final site inspection of easements, side yard and sidewalks with each sub-trade prior to releasing final payment.
- 5) **Please disregard any grade elevation information displayed on electrical pedestals and transformer boxes.**

**Don'ts:**

- 1) Don't excavate into the easement or berm. These contain critical utilities vital to the neighbourhood.
- 2) Don't fill the rear easement, as this will block the intended drainage.
- 3) Don't build raised flowerbeds against the fence/property lines without making provisions for drainage (see Attachment 7).
- 4) Don't try to build HIGHER than both adjacent neighbours. This leads to expensive provisions for retaining walls, and frequent flooding of neighbouring properties.

For more information, please contact Gerald Prefontaine, Drainage Inspector, Transportation and Utilities at (306)975-2320.

## Foundation Drainage

In addition to this section please refer to the Residential Property Lot Grading Guidelines.

### 1) Foundation Drainage (Weeping Tile) Requirements

- a) The bottom of every exterior foundation wall shall be drained as per the National Building Code.
- b) Connection of foundation drains of all buildings to the sanitary sewer collection system will not be permitted.

### 2) Discharge of Foundation Drainage Water

- a) All buildings are required to drain foundation water into a sump, which in turn discharges the water to the surface or to a storm sewer.

### 3) Surface Discharge

- a) Sump pumps discharging to surface may not discharge directly onto a pervious ground surface within one metre of any building that has a basement or a level below the finished ground surface.
- b) The location of the point of discharge shall be directed away from adjacent properties.
- c) If the lot is split drainage (Type D), surface discharge may drain either to the front or back yard. If the lot drains from the back to the front (Type A), surface discharge must be to front yard.
- d) The discharge may not be into the area of the required side yard setback unless the side yard is adjacent to a street, park or buffer strip.

### 4) Discharge to Storm Sewer

- a) Sumps discharging to storm sewers shall be pumped to the main by a pressure service connection.

### 5) Sump Design Criteria – Sump Pit Details

- a) As per National Building Code 9.14.5.2, sump pits are to be a minimum of 750mm deep and 0.25 square metres in area.
- b) Sump pit is to be fitted with a tight fitting removable cover.
- c) Sump pit will be constructed of concrete, plastic, or non-corrosive metal.
- d) Sump pit is to be fitted with an opening to accept a 100mm drain with the invert of the pipe located above centre of the sump pit height.
- e) Sump pit is to be placed on an even, well compacted surface.

### 6) Foundation Drainage (Weeping Tile) to Sump Pit

- a) A weeping tile collection system shall be provided around the building perimeter and tied to a sump pit using a positively graded, non-perforated, 100mm pipe which discharges into the side of the pit.
- b) Provision shall be made to ensure soil gas is prevented from entering the dwelling unit through the weeping tile and through the sump pit.

## 7) Sump Pump

- a) Provide a sump pump (column of submersible type) capable of pumping 50 L/m at three metres of head.
- b) The pump shall be fitted with an automatic on/off level control.
- c) The pump discharge must have a minimum pipe diameter of 32mm. The pipe must be adequately secured.

Sump pumps connected directly to a storm sewer must be equipped with a spring-check valve and shut-off valve located downstream of the check valve, so that the connection to the main can be isolated from maintenance.

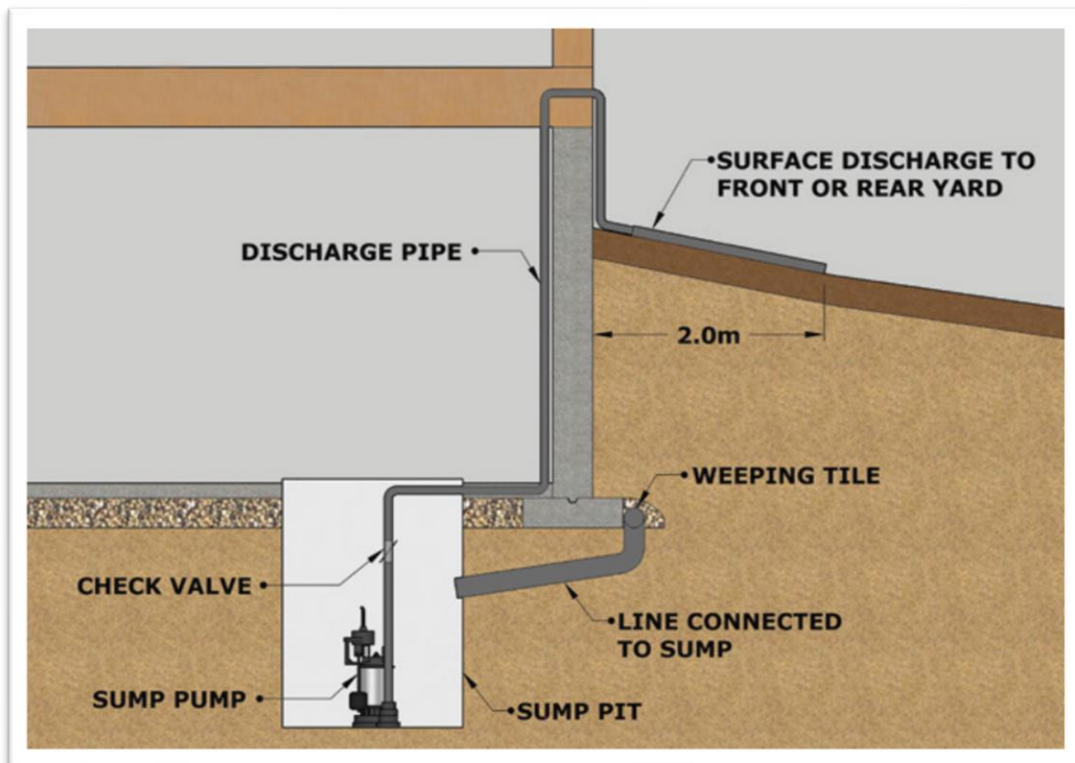


Figure 2: Sump Design - Sump with Pumped Discharge to Surface





## University of Saskatchewan Research Lands

### Research Lands

Across Kalra Street from lots 23-38 Block 729, is the existing University of Saskatchewan Research Lands. This is a neighbouring agricultural parcel that will continue to operate. As per the letter from the University of Saskatchewan (see Attachment 6), the agricultural lands are primarily used for the plant breeding programs in wheat, barley, oats, flax and pulse crops (peas, lentils, chickpeas, and beans). Each year about one-quarter is used for research and the remainder is commercially farmed using the same techniques used on other grain farms in the province.

### Kernen Prairie Lands

The Kernen Prairie consists of 320 acres of natural prairie grassland. It is one of the remaining patches of fescue prairie in Saskatchewan. This site is owned and managed by the University of Saskatchewan as a research conservation area.

Lots 6-20 Block 730 (along Woolf Bend) back the University of Saskatchewan Kernen Prairie lands. Lots backing the Kernen Prairie will retain the four metre drainage channel along the Kernen Prairie's north edge. The drainage channel will collect overland drainage from the Kernen Prairie and direct the stormwater during a major storm event into the Aspen Ridge storm sewer system. This area will be landscaped with native plants and maintained by the City of Saskatoon to reduce the impact of introducing invasive species into the Kernen Prairie. In addition, this drainage channel parcel will provide a physical separation from the Kernen Prairie and residential lots and will limit lots from having direct access to the Prairie, helping preserve it as a naturalized area.

#### Post Development

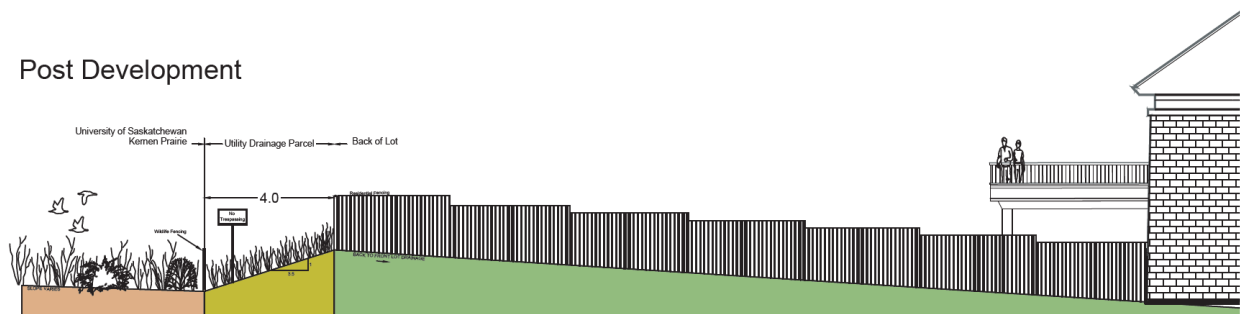


Figure 4: Kernen Drainage Channel

## Construction Notes

### Lot Addressing

In order to provide way finding in the neighbourhood, please post your civic address at the front of the property when construction begins. Civic addresses can be found for each lot using the interactive map at [saskatoonland.ca](http://saskatoonland.ca)

### Landscaping of City Boulevards

Purchasers are encouraged to landscape and maintain the boulevard along the front of their property and along the side of corner lots. Landscaped boulevards can create beautiful and diverse streetscapes, add character to neighbourhoods, and increase feelings of community pride and safety. Boulevards are defined as the landscaping space between the edge of the roadway and the property lines. Where the sidewalk is not attached to the curb, the boulevard is the space between the curb and the sidewalk and the sidewalk and the property line (see Figure 4A). Where the sidewalk is attached to the curb, the boulevard is the space between the sidewalk and the property line (see Figure 4B). These areas are required to be landscaped with a number of materials (for example: sod, established grass seed mix, decorative landscaping rock with geotextile fabric (rock size must be between 25-75mm), paving stones, trees\*, and gardens\*). Please refrain from using materials that have height or mass and could restrict views or damage car doors when opening (for example: boulders). Boulevards must be landscaped and approved in order to receive Saskatoon Land's landscaping incentive rebate.

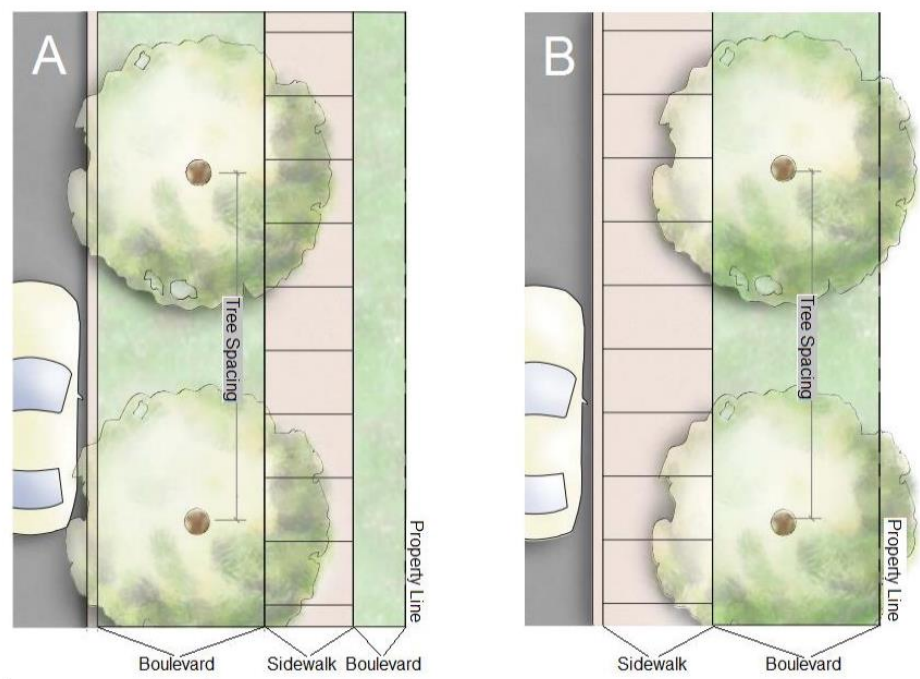


Figure 5: A and B Boulevard Types

### **Boulevard Tree Planting and Gardens\***

The *Plant by Request Program* is available to purchasers to request to have a tree planted in an available planting site on the boulevard. To inquire further regarding the Plant by Request Program, please contact Urban Forestry, Community Services at (306)975-2890 or visit [saskatoon.ca/treerequest](http://saskatoon.ca/treerequest).

The City of Saskatoon allows for gardening on City boulevards. For more information please review the City of Saskatoon's Boulevard Gardening & Maintenance Guidelines and complete the Boulevard Garden Agreement by contacting (306)986-3733 or visiting [saskatoon.ca/gardens](http://saskatoon.ca/gardens).

### **Construction Waste**

As per City of Saskatoon Bylaw No. 8310, The Waste Bylaw, 2004 any purchaser and/or builder carrying out the construction of a building on any property shall place all waste into a waste container or enclosure. The purchaser and/or builder shall dispose of all waste resulting from the construction in a timely manner so as to ensure there is no unreasonable accumulation of waste on the property during the construction.

It is required that a waste disposal bin remain on each building site for the duration of construction in order to ensure that the waste is not dispersed on or around the property or surrounding properties. Upon completion of construction, it is the purchaser and/or builder's responsibility to clear their site of all waste. If the waste is not removed, the City may remove the waste and all associated costs will be charged to the purchaser and/or builder.

### **Temporary Water Circulation Boxes**

To ensure water quality is maintained throughout the initial stages of development in this phase; blue temporary water circulation boxes are installed on some properties. These temporary water circulation boxes are removed during the installation of the water and sewer connection to the dwelling. For more information, please contact the Construction and Design Division at (306)975-2454.

### **Shallow Utility Servicing Information for New Construction**

For further information on your shallow utility services, please contact the appropriate utility agency (SaskPower, SaskEnergy, Sasktel or Shaw Cable).

### **Centralized Community Mail Boxes**

Canada Post will provide mail delivery service to the neighbourhood through centralized Community Mailboxes. For the location of these mailboxes please refer to the Phase 5 Lot Information Map or the interactive map at [saskatoonland.ca](http://saskatoonland.ca).

## **Earth Disposal**

Builders and individuals will be responsible for disposing of their own excess earth material. Currently there is no clean fill site located in Aspen Ridge. Builders can contact the City of Saskatoon Landfill as they may accept clean fill free of charge during normal hours of operation, 7:30 a.m. – 5:30 p.m. daily. If arrangements are made with another landowner to dispose of the material anywhere within the city limits, they are to contact Central Dispatch at 306-975-2491 and they will maintain a log of locations. If disposing of material outside the city limits within the RM of Corman Park, the RM must be notified of those arrangements. Please ensure basement excavations and all other construction waste materials are not deposited on adjacent properties or any other properties in this area without prior arrangements being made. Regular inspections of the area will be done and any individual or company found illegally disposing of materials on properties without the owner's permission shall be liable to fines up to \$25,000 as outlined in the City of Saskatoon Anti-Dumping Bylaw No. 5713.

## **Topsoil for Lot Landscaping**

Builders may contact Saskatoon Land to see if topsoil is available free of charge for their property in the area. Please call Saskatoon Land at (306)975-3278 for up to date information on topsoil availability. Topsoil is not to be removed from other lots, boulevards, parks, or any other open spaces in the neighbourhood.

## **Construction Access**

For those lots adjacent to parks and/or buffer areas, a Bufferstrip/Park Access Approval Form must be completed and approved before access is allowed through any park or easement. This ensures all public property is maintained at a standard acceptable for the public to use and enjoy safely. Repair and clean-up are the responsibility of the Builder or homeowner and are required to be completed according to the City of Saskatoon's landscape standards. Any repairs or clean-ups not satisfying these standards will be completed by the Parks Division and billed back to the property owner. If you wish to access a park or buffer, please contact the City of Saskatoon, Parks Division at 306-975-3300 to arrange for an inspection to be carried out, and, if access is deemed to be appropriate, the completion of a Bufferstrip/Park Access Approval Form.

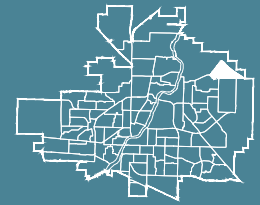


## Attachments



# Phase 5 - Lot Information Map

65 Lots: Woolf Bend, Woolf Place, Woolf Bay & Kalra Street



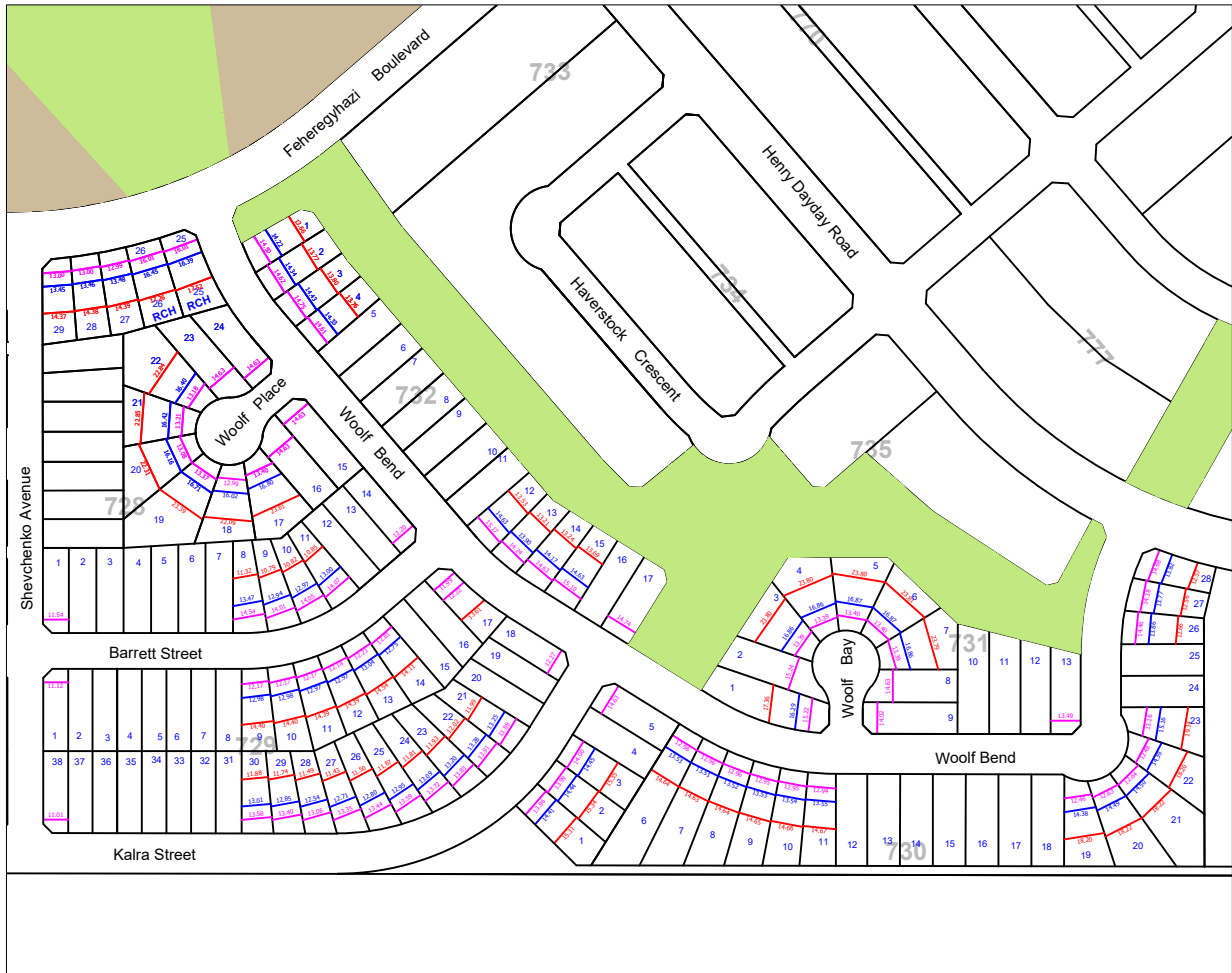
← KERNEN PRAIRIE CONSERVATION LANDS →

## Legend:

- Single Family
- Unavailable Lot
- Residential Care Home
- Multi-Unit Parcel Low/Medium Density
- Multi-Unit Parcel Medium Density
- Open Space Conceptual Design Subject to Change
- Concrete Pad
- Highly Visible Lot Additional Exterior Materials Required as per Architectural Control Req.
- Corner Garage Location
- Easement 2m
- Easement 3m
- Easement 5m
- Easement 6m
- Transformer
- Service Pedestal
- Block Number
- Lot Number
- Civic Address
- Mail Box
- Fire Hydrant
- Wildlife Fence
- Decorative Fence
- Transit Stop
- Vertical Curb



## Attachment 2



### LEGEND

Note: The information contained on this map is for illustrative purposes only and should not be used for legal purposes. All the information was compiled from available sources and the line work is subject to change without notice. Parks and buffer renderings are for illustrative purposes only and does not represent what will be constructed.

- Conceptual 6m Setback
- Conceptual 12m Setback
- Conceptual 24m Setback



Date:  
MAR. 2021

Scale:  
NTS

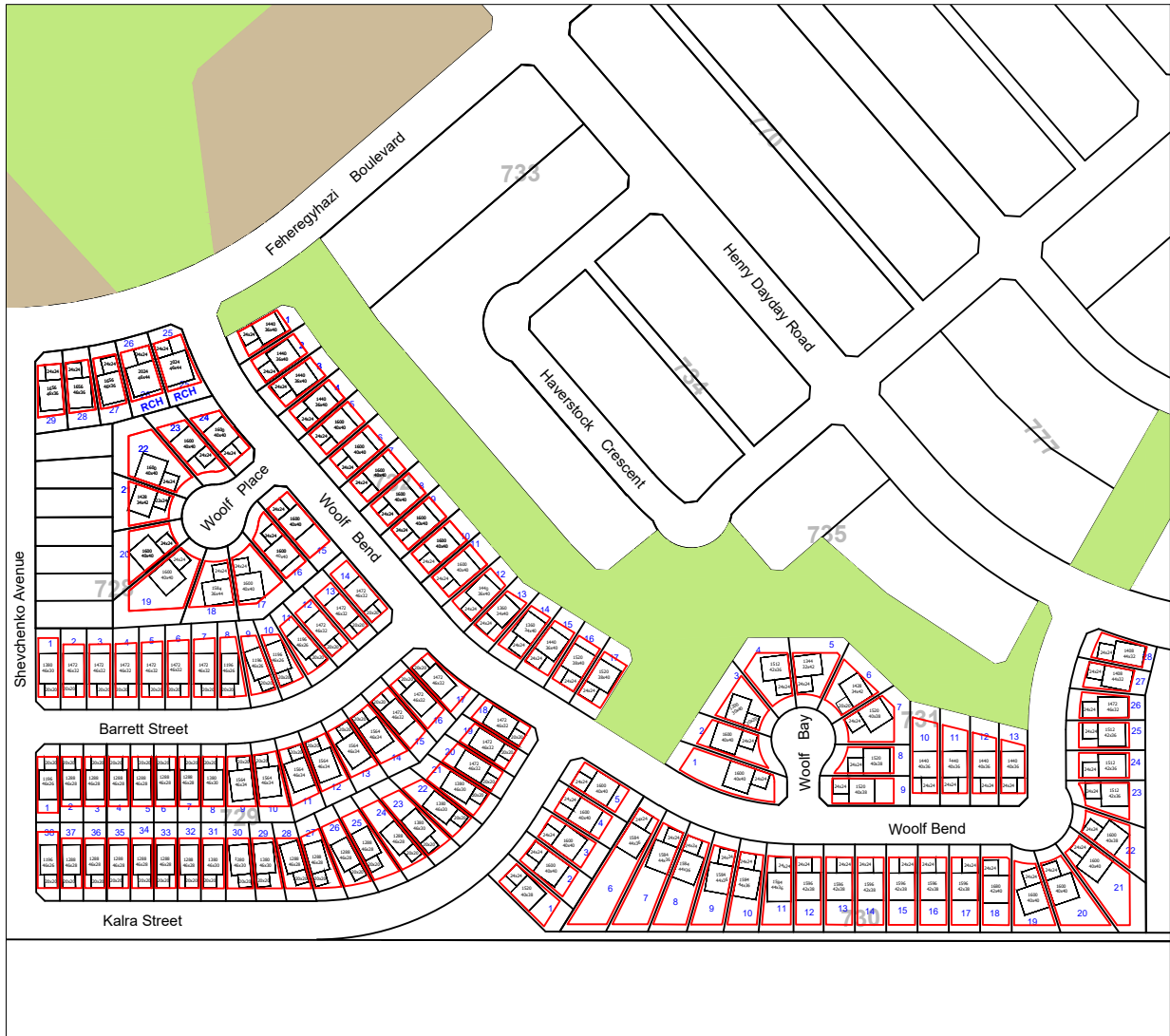
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## ASPEN RIDGE PHASE 5

HOUSE AND GARAGE SETBACK

DIMENSIONS



Note: The information contained on this map is for illustrative purposes only and should not be used for legal purposes. All the information was compiled from available sources and the line work is subject to change without notice. Parks and buffer renderings are for illustrative purposes only and does not represent what will be constructed.



Date:	Scale:
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## ASPEN RIDGE PHASE 5

HOUSING FOOTPRINTS AND  
ZONING BYLAW BUILDING AREA



# Zoning Map of Aspen Ridge

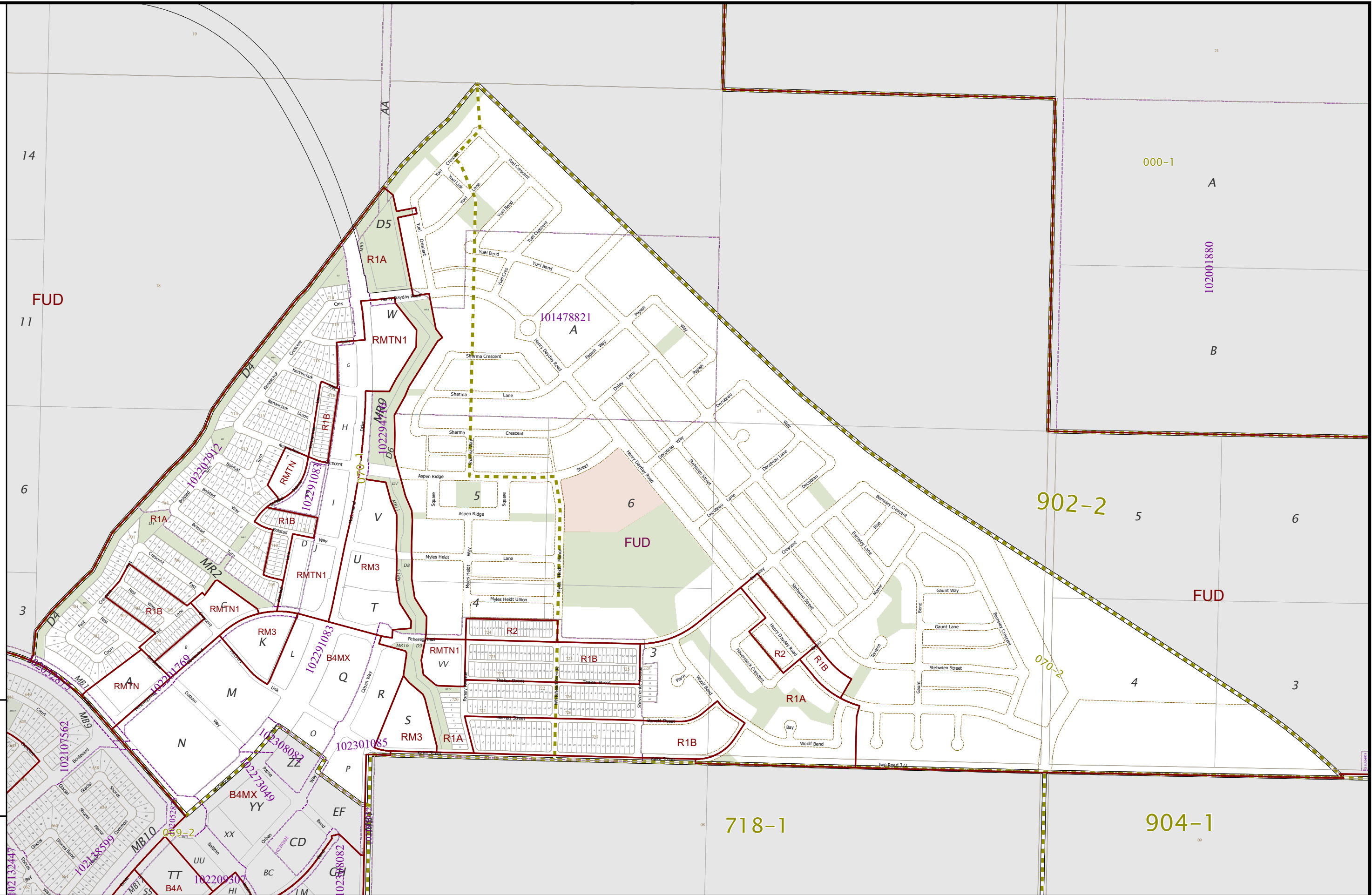
**Note:** The information contained on this map is for reference only and is not to be used for legal purpose

☐ Zoning Area    ☐ ISC Blocks  
☐ ISC Lots    ☐ ISC Plan Boundary

is for  
 purpose

Bylaw 8770

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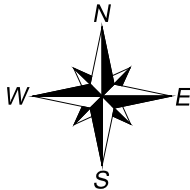
# ASPEN RIDGE CONCEPT PLAN

AMENDED FEBRUARY 22, 2021

Attachment 5

- LOW DENSITY
- LOW DENSITY MULTI-UNIT
- LOW/MEDIUM DENSITY MULTI-UNIT
- MEDIUM DENSITY MULTI-UNIT
- LOW-DENSITY MIXED-USE
- MEDIUM-DENSITY MIXED-USE
- POTENTIAL SCHOOL SITE
- MUNICIPAL RESERVE
- BUFFER STRIP
- SWALE
- GREENWAY
- LANDSCAPED DRAINAGE OPEN SPACE
- URBAN HOLDING AREA
- FUTURE INTERCHANGE
- POSSIBLE ROADWAY EXTENTION
- CONCEPT PLAN BOUNDARY
- SASKATOON FREEWAY ALIGNMENT
- CITY LIMITS
- POTENTIAL CELL TOWER LOCATION
- POTENTIAL RESIDENTIAL CARE HOME SITE

\* ST - STREET TOWNHOUSE  
GT - GROUP TOWNHOUSE



ORIGINAL Aspen Ridge  
CONCEPT PLAN  
APPROVED JUNE 23, 2014



NOTE: The information contained on this map is for reference only and not to be used for legal purposes. All proposed line work is subject to change. This map may not be reproduced without the expressed written consent of Community Services Future Growth, Mapping & Research Section.

DRAWING NOT TO BE SCALED  
April 1, 2021



April, 2021

**A message to current and potential residents of Aspen Ridge  
From the College of Agriculture and Bioresources, University of Saskatchewan.**

Dear neighbours,

This message is shared to provide you with information about the Kernen Crop Research Farm (Kernen Farm), which has been operated by the University's Crop Development Centre since 1977. I ask that you review the following, and if you have questions or concerns, please contact us, using the contact information at the end of this letter.

**About the Kernen Farm**

Kernen Farm is located immediately south of the Aspen Ridge sub-division and includes two sections of land (1280 acres) that were acquired by the University from the late Mr. Fred Kernen on the condition that they be used for crop research. The original farm also includes two quarter sections of unbroken, native prairie that were acquired from Mr. Kernen on the condition that this land be preserved in its unbroken state (Kernen Prairie). Over the years, Kernen Farm has grown to include an additional 480 acres located between the east boundary of the farm and Highway 41. Kernen Farm is an important agricultural field research facility and the cultivated land on the farm is used primarily for support of our world-class plant breeding programs in wheat, barley, oats, flax, and pulse crops (peas, lentils, chickpeas and beans). Over the past 50 years, we have released over 500 new crop varieties for use by Saskatchewan farmers. You see these varieties growing in fields across the Prairies and beyond, and the resulting crops are enjoyed here at home as well as exported to countries around the world. The land is also used for producing breeder seed of crop varieties that have been developed by our plant breeders and for research in agronomy, weed control and plant disease management.

**Farm Activities – What to Expect**

Each year, about one-quarter of the land is used for research and the remainder is commercially farmed using the same techniques used on other grain farms in the province. As on any Saskatchewan farm, weather plays a huge role in dictating the timing of operations. You may see our field crews working irregular hours - very early in the morning or late in the evening - when weather conditions for particular farm operations are more favorable than they are during normal working hours. Whatever the time of day, farm work may sometimes generate noise or increased dust in the air.

In conducting our research and managing our commercial grain crops, we use typical farming practices, including the use of pesticides. For routine applications, we use only products that have been registered for such use and we follow the product label directions. Our research on weed and plant disease control can also involve the evaluation of new pest control products. These materials are applied according to current experimental protocols. Our farm and research staff are trained in the safe use and handling of pesticides, and utilize the appropriate safety clothing and equipment when they are applying pesticides.

Kernen Prairie is used for research into native prairie conservation and management. As part of this research, the Prairie is grazed by livestock. In addition, prescribed fires (also referred to as controlled burns) are regularly set in coordination with the Saskatoon Fire Department. Access to Kernen Prairie is restricted to prevent disturbance of livestock, and to avoid damage to research plots that may arise from public access.

**No Public Access**

Please note that no public access is permitted to the Kernen Farm – including Kernen Prairie – in order to protect the integrity of the research trials that are conducted each year. Protecting these areas from insects, diseases, weeds and disturbances is not only important, it is essential to the validity of research results. It is also important for your safety! Certain areas which are safe for trained farm workers and research staff may be dangerous to the general public. The University is not responsible for warning any unauthorized visitors of potential dangers that may exist on the property, or for any injury or damage suffered as a result of unauthorized visitation to the Kernen Farm.

I hope you have found this message helpful and that you will appreciate and respect the nature of the research activities being conducted at the Kernen Farm. Thank you in advance for your cooperation in keeping control of any pets and educating your family and your visitors about the importance of not disturbing the Kernen Farm.

Enjoy your new home in Aspen Ridge!

Sincerely,



Angela Bedard-Haughn, PhD, PAg  
Dean and Professor

Questions or concerns? Contact: Kirk Blomquist, Superintendent – Field Operations, Department of Plant Sciences/Crop Development Centre (306 966-4985)

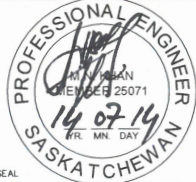




**CONST.**

Kernen Prairie

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1	ISSUED FOR CONSTRUCTION	2014-JUL-11	RWD
	PLAN DESCRIPTION/REVISION	DATE	BY



CHECKED BY:	CHECKED BY:
<i>Bk Sk</i>	<i>HL Hh</i>
DATE 14/07/14	DATE 14/07/18
DRAWN BY: RWD	DATE 2014-MAR-03



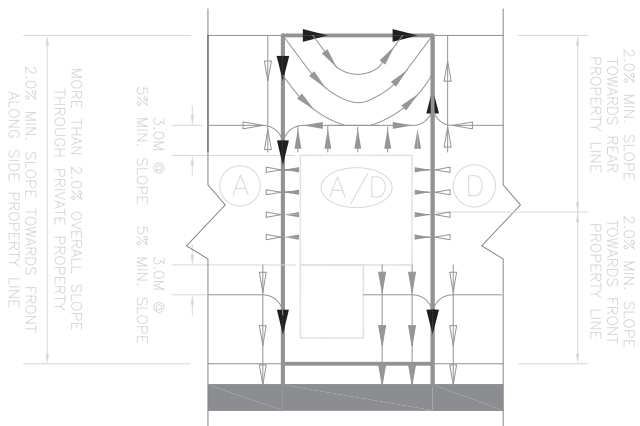
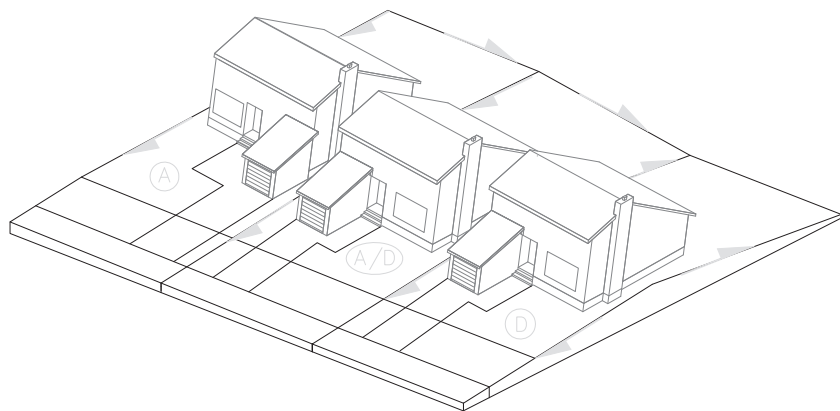
**City of Saskatoon**  
Transportation & Utilities Department

ASPEN RIDGE LAND DEVELOPMENT – PHASE B2

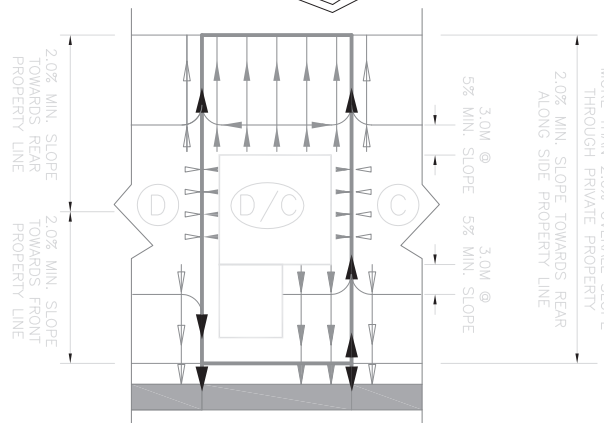
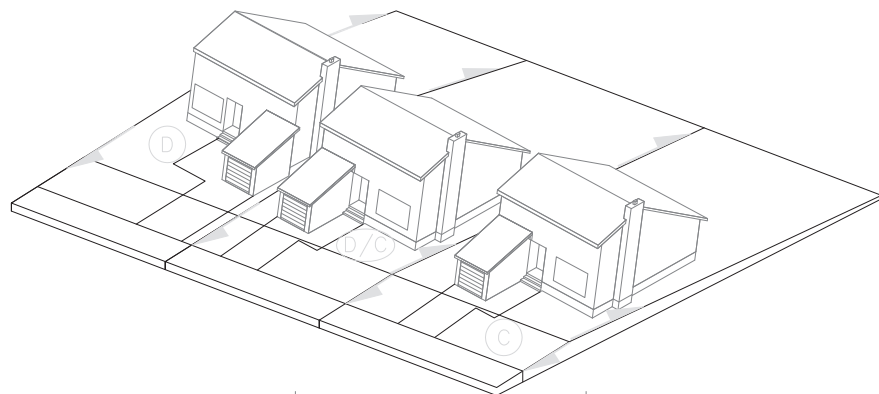
AREA GRADING  
DESIGN CONTOURS

<i>MM</i>	
SHEET NO. 113-0087-306001	
PLAN NO.	
DATE 14/07/14	

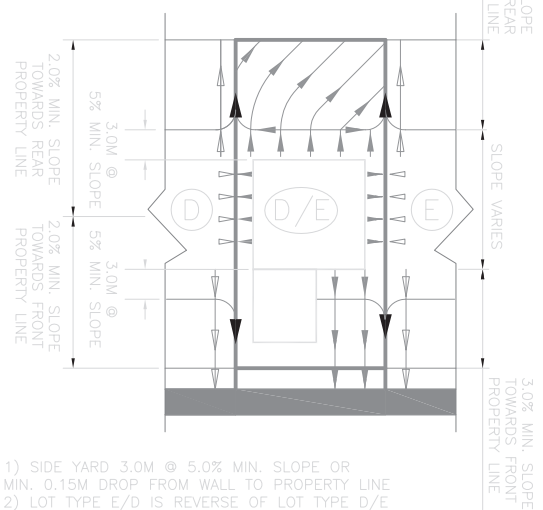
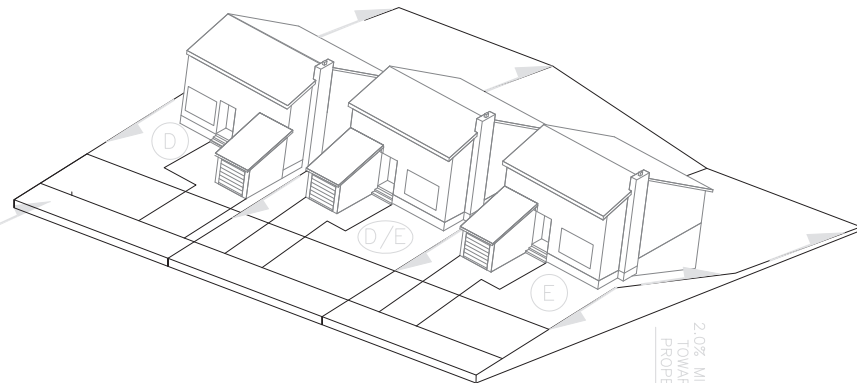
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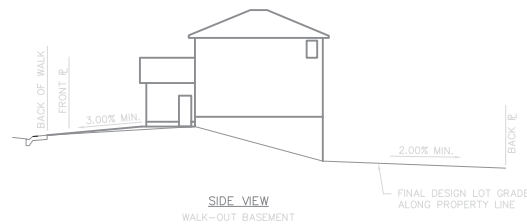
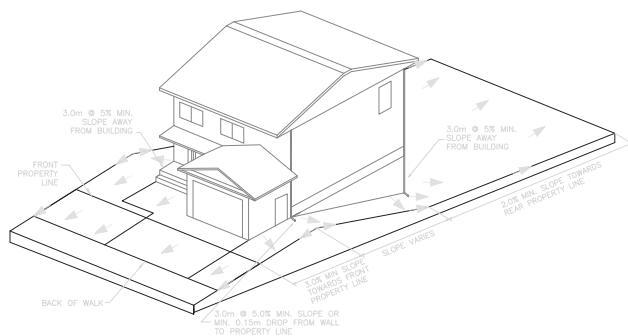
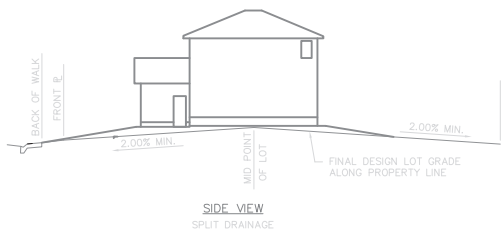
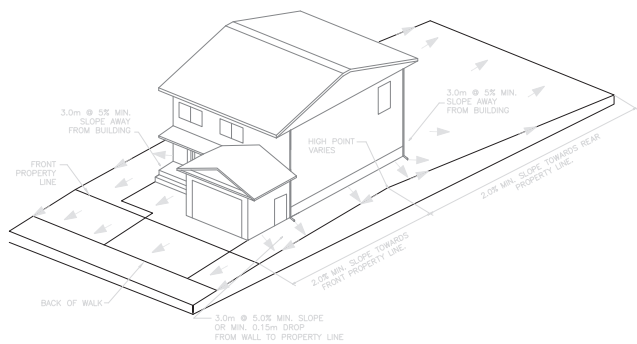
NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE  
2) LOT TYPE D/A IS REVERSE OF LOT TYPE A/D



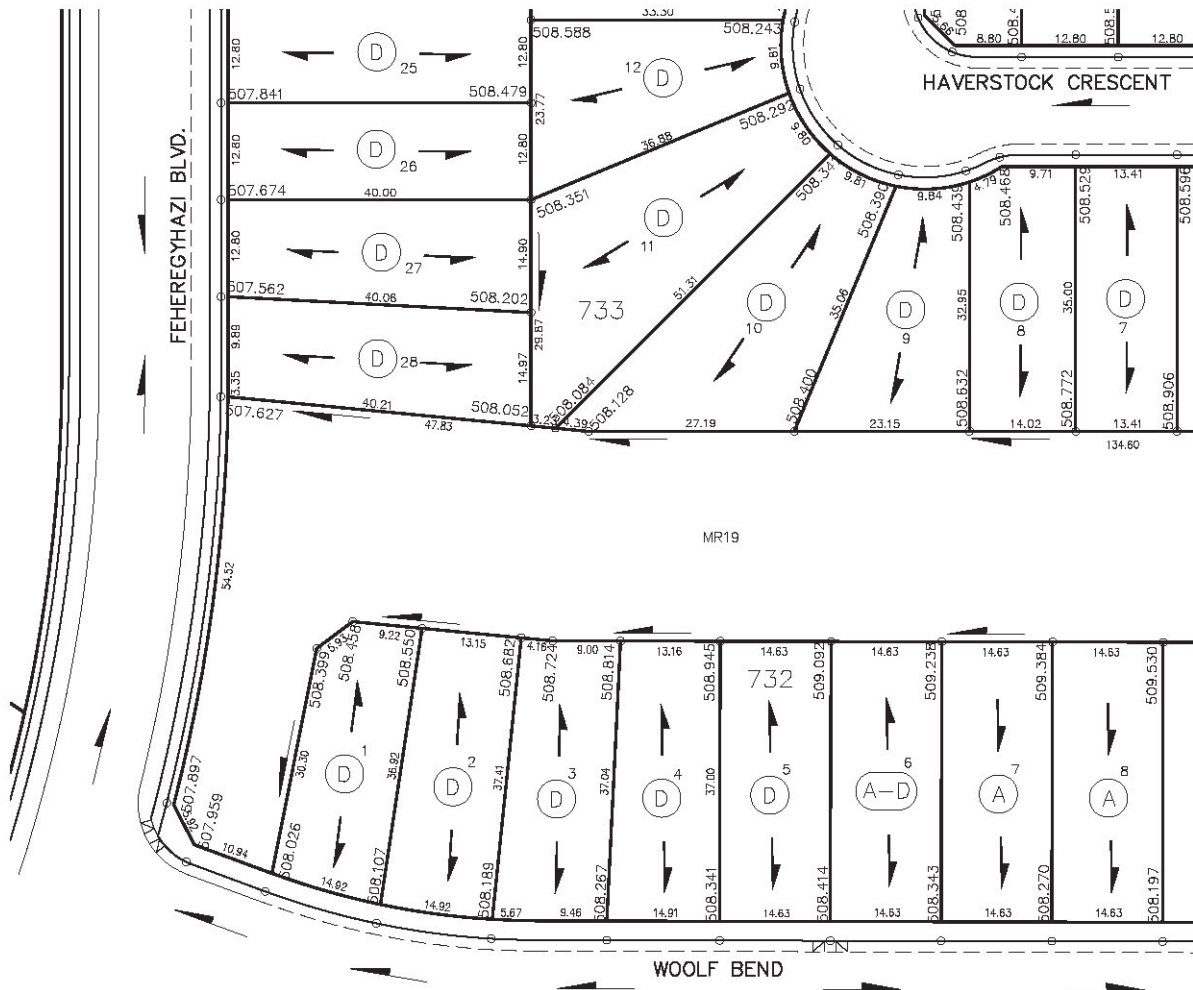
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2) LOT TYPE C/D IS REVERSE OF LOT TYPE D/C



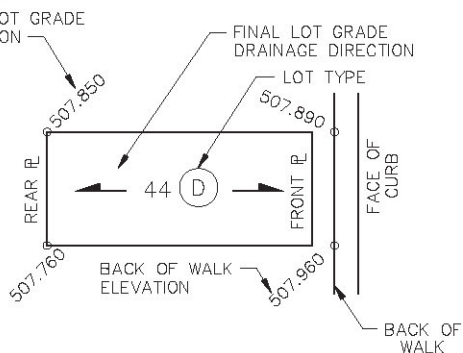
NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE  
2) LOT TYPE E/D IS REVERSE OF LOT TYPE D/E







## LEGEND



## NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

# FEHEREGYHAZI BLVD, HAVERSTOCK CRES & WOOLF BEND

DRAWN BY KDN DATE 2021-JAN-24

SCALE 1:1000

PLAN NO.

PAGE 3 OF 4



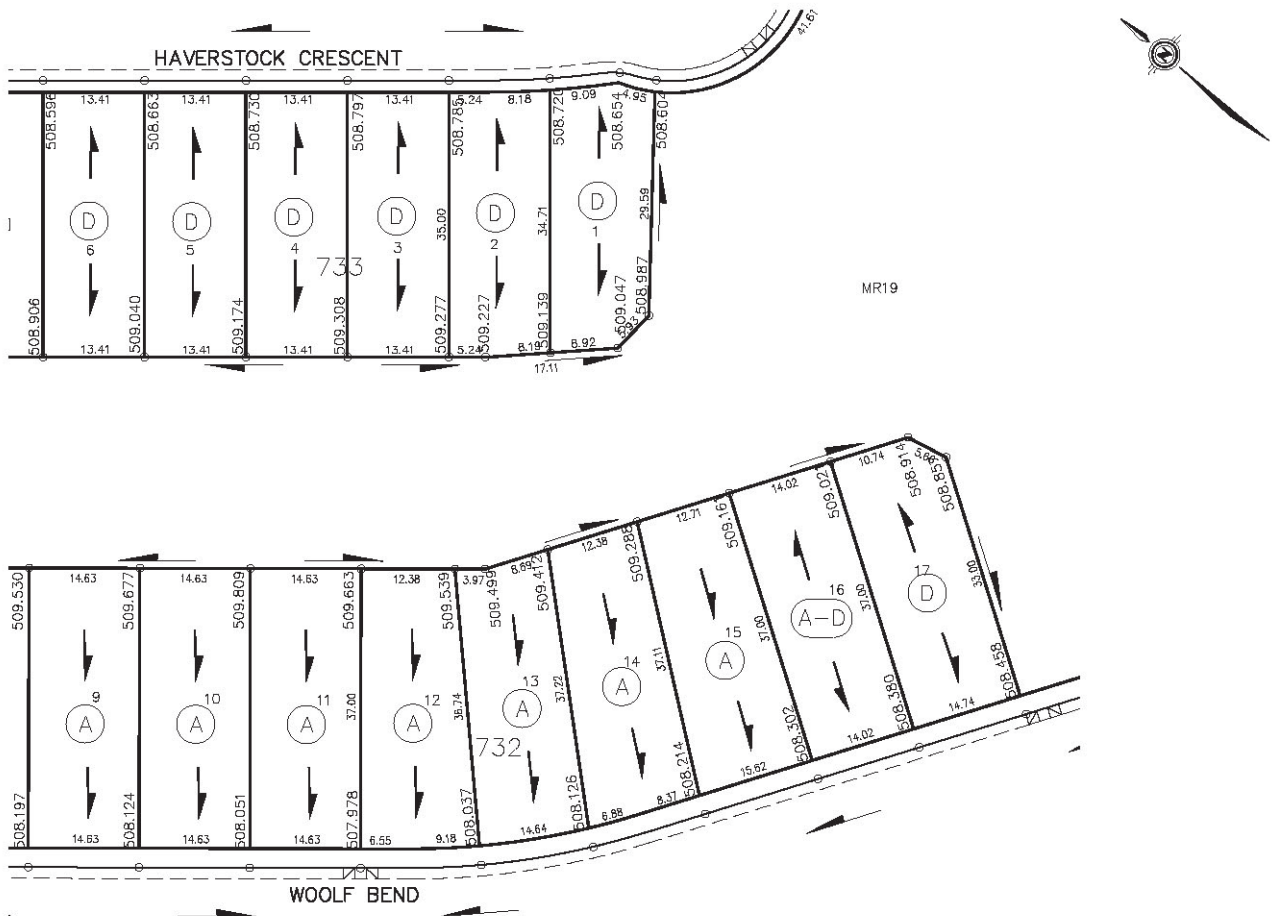
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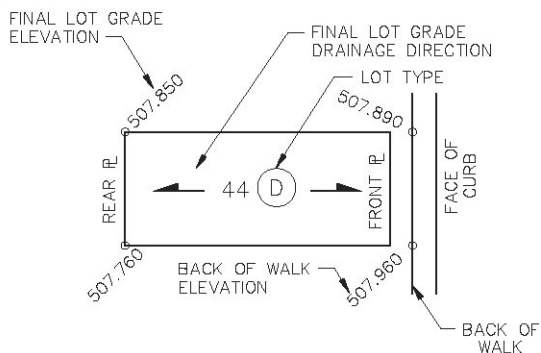
APPROVAL DATE 2021-MAY-19

REVISION DATE





## LEGEND



## NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

## HAVERSTOCK CRESCENT & WOOLF BEND

DRAWN BY KDN DATE 2021-JAN-24

SCALE 1:1000

PLAN NO.

PAGE 4 OF 4



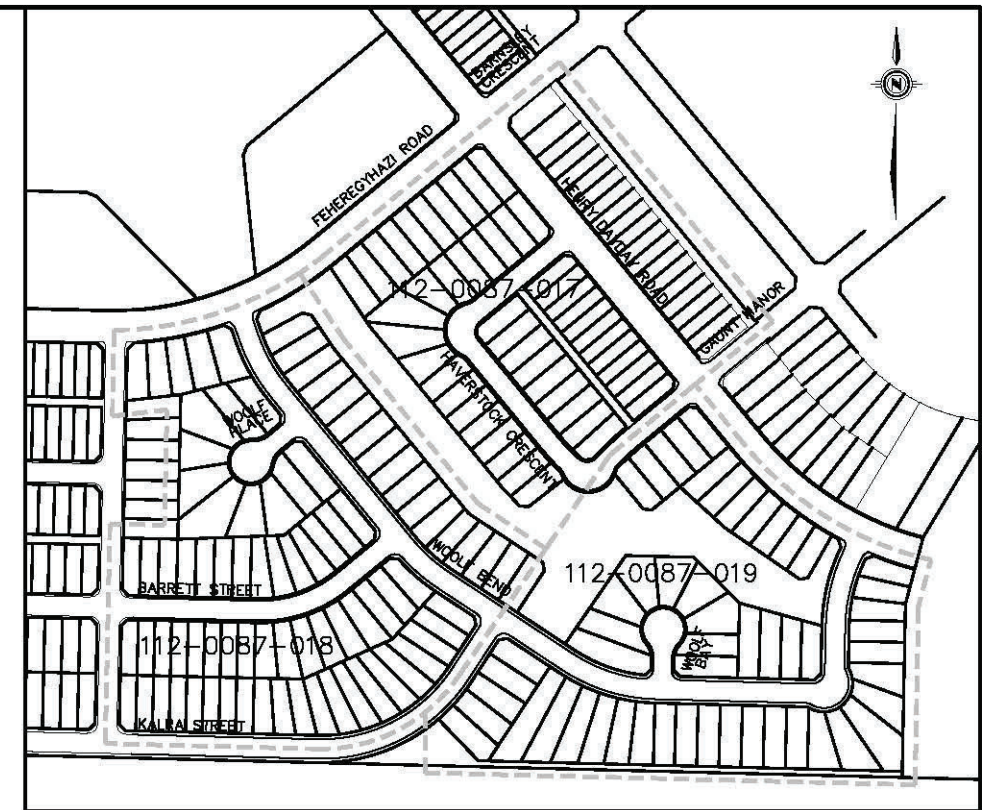
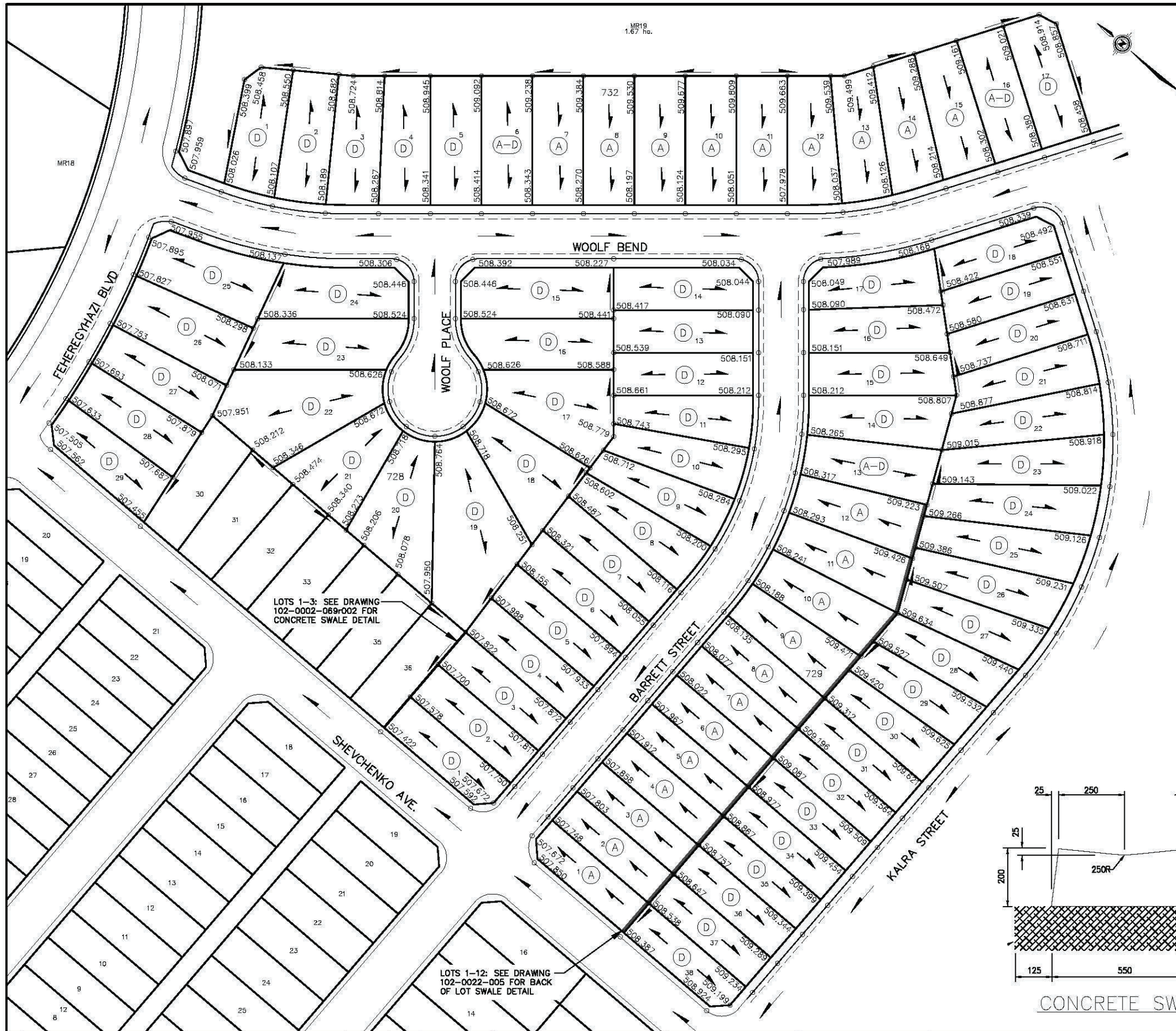
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APPROVAL DATE 2021-MAY-19

REVISION DATE





KEY PLAN

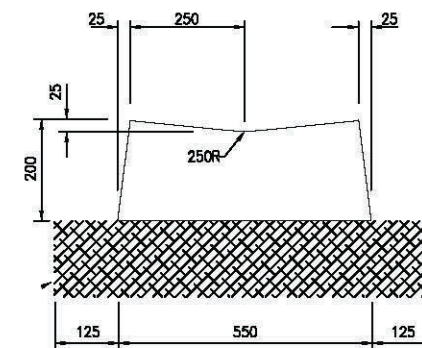
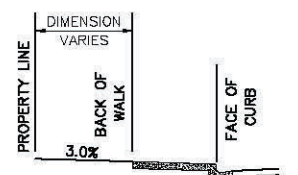
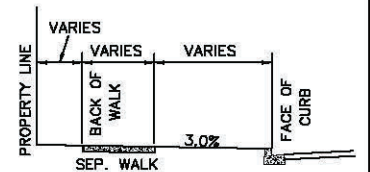
LEGEND

NOTE:

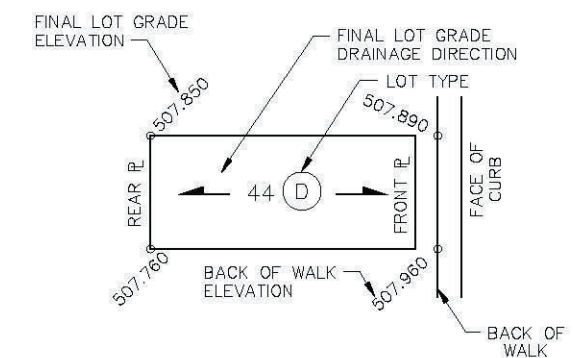
1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

LOT DRAINAGE DETAILS

LOT TYPE 'D' - SEE DRAWING 102-0022-017  
LOT TYPE 'A' - SEE DRAWING 102-0022-016  
LOT TYPE 'A-D', 'D-A' - SEE DRAWING 102-0022-013

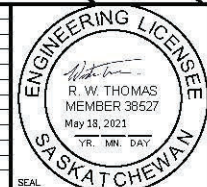


CONCRETE SWALE



**CONST.**  
PROJECT NO. 502-0087-304r001\_CWL

NO.	DATE	BY	DESCRIPTION/REVISION
1	2021-JAN-16	KDN	INITIAL BASE DRAWING SETUP
2	2021-JAN-16	KDN	PLAN DESCRIPTION/REVISION



CHECKED BY:	CHECKED BY:
SIGNATURE M. Nisar Khan	SIGNATURE
NAME May 19, 2021	NAME
DATE	DATE
DWG STDS DATE 2021-JAN-18	DWG STDS DATE 2021-MAR-01

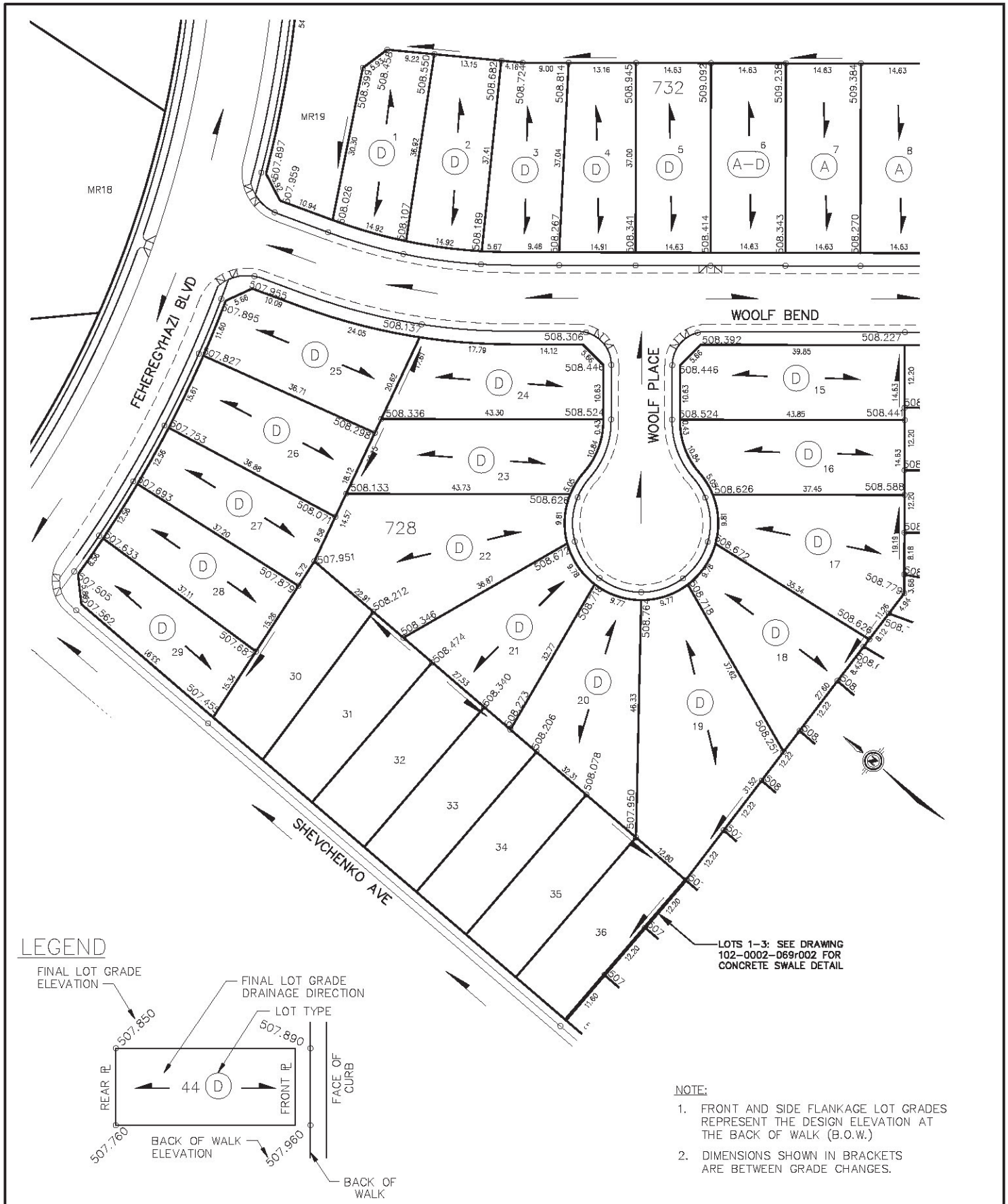


ASPEN RIDGE - PHASE B2

**LOT GRADES**  
FEHEREGYHAZI BLVD, WOOLF BEND, WOOLF PLACE  
SHEVCHENKO AVE, BARRETT STREET & KALRA STREET

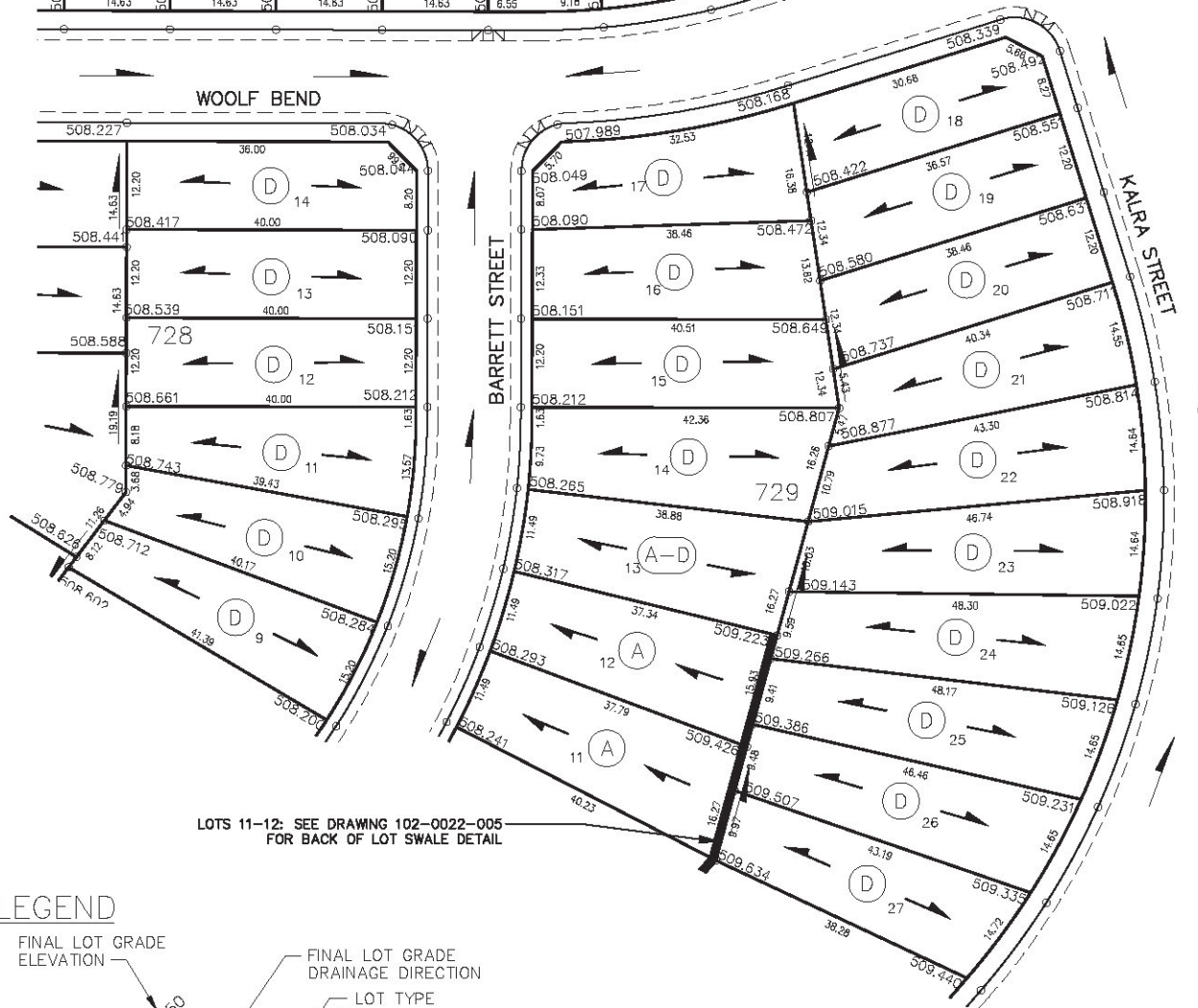
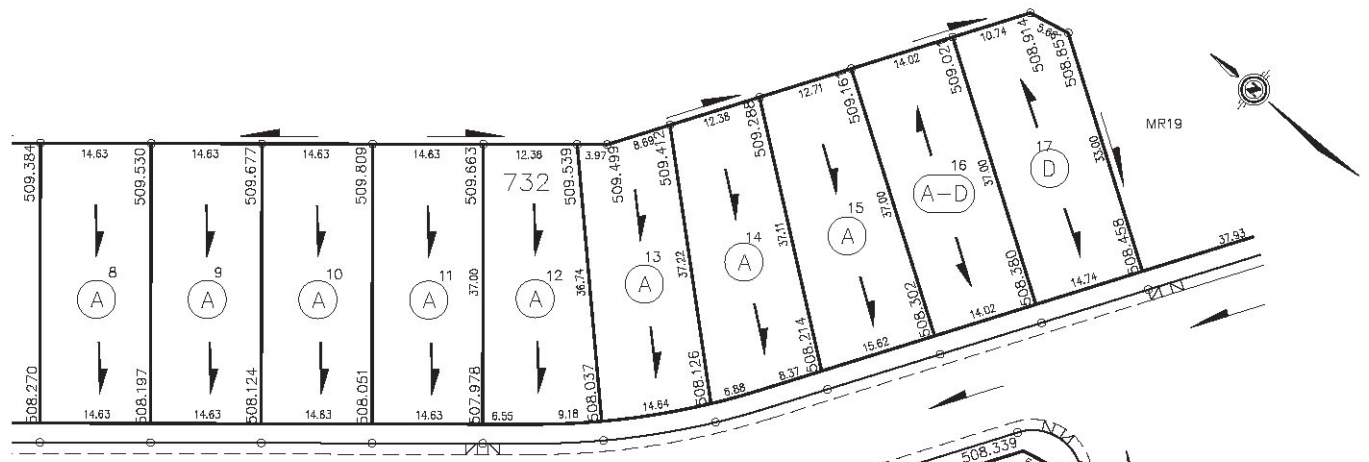
ENGINEERING MANAGER	DATE
SIGNATURE	May 19, 2021
SCALE:	
HOR. 1:1250	
VERT. 1:1250	
SHEET NO.	PLAN NO.
1 OF 1	112-0087-018r001





# FEHEREGYHAZI BLVD, WOOLF BEND & WOOLF PLACE

DRAWN BY <u>KDN</u>	DATE <u>2021-JAN-24</u>	 <b>City of Saskatoon</b> Transportation and Construction Division	SOURCE DOCUMENT
SCALE <u>1:1000</u>			PLAN No. <u>112-0087-01B</u>
PLAN NO.			APPROVAL DATE <u>2021-MAY-19</u>
PAGE <u>1 OF 3</u>			REVISION DATE



LOTS 11-12: SEE DRAWING 102-0022-005  
FOR BACK OF LOT SWALE DETAIL

## LEGEND

FINAL LOT GRADE  
ELEVATION

FINAL LOT GRADE  
DRAINAGE DIRECTION

LOT TYPE

REAR RL  
507.760

BACK OF WALK  
ELEVATION

FACE OF  
CURB

BACK OF  
WALK

## NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

# WOOLF BEND, BARRETT STREET & KALRA STREET

DRAWN BY KDN DATE 2021-JAN-24

SCALE 1:1000

PLAN NO.

PAGE 2 OF 3



**City of  
Saskatoon**

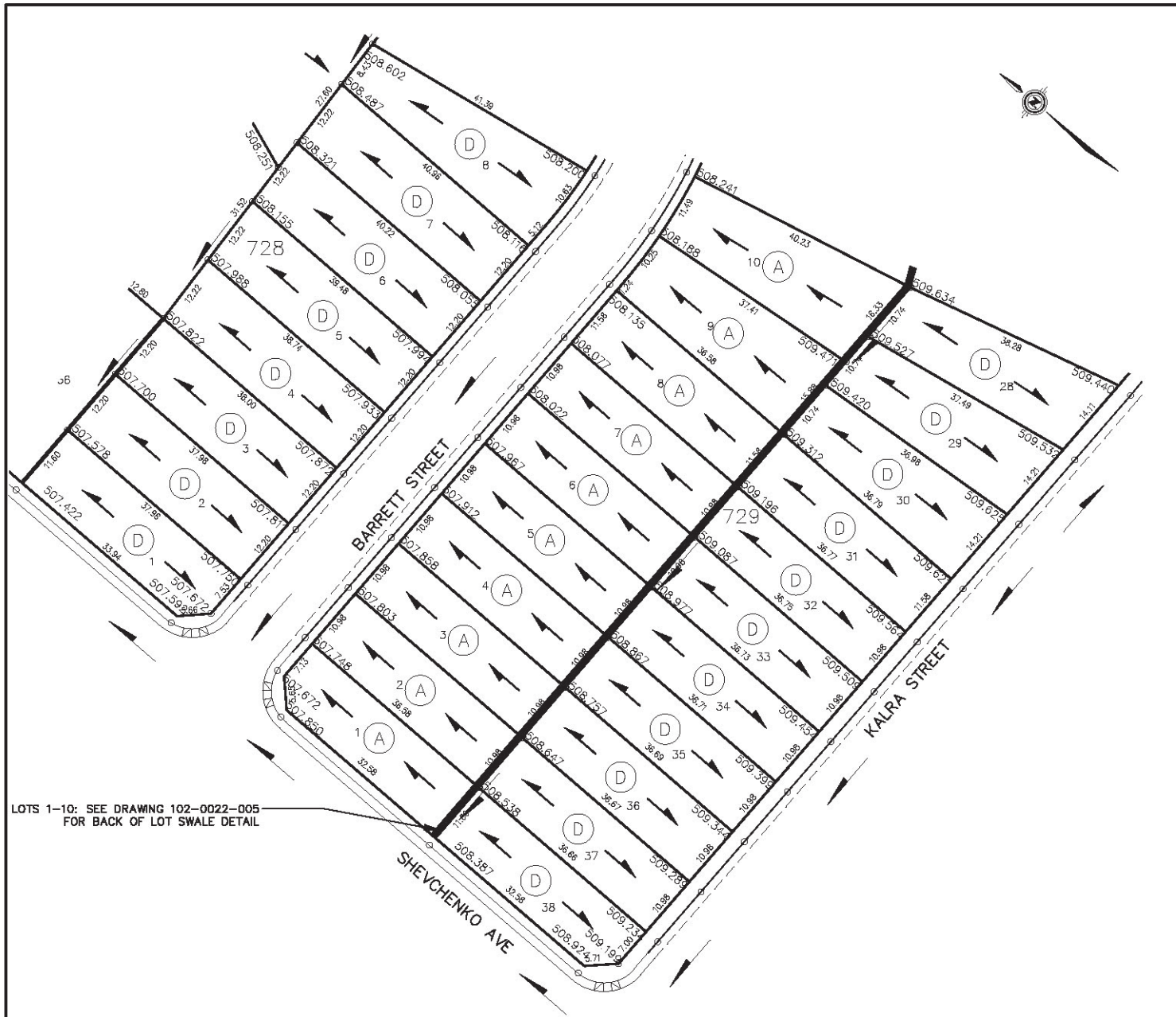
Transportation and Construction Division

SOURCE DOCUMENT

PLAN No. 112-0087-01B

APPROVAL DATE 2021-MAY-19

REVISION DATE



### LEGEND

FINAL LOT GRADE ELEVATION

FINAL LOT GRADE DRAINAGE DIRECTION

LOT TYPE

REAR RL  
507.850  
507.760

BACK OF WALK ELEVATION

FACE OF CURB

BACK OF WALK

### NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

## BARRETT STREET, KALRA STREET & SHEVCHENKO AVE

DRAWN BY KDN DATE 2021-JAN-24

SCALE 1:1000

PLAN NO.

PAGE 3 OF 3



**City of  
Saskatoon**

Transportation and Construction Division

SOURCE DOCUMENT

PLAN No. 112-0087-01B

APPROVAL DATE 2021-MAY-19

REVISION DATE



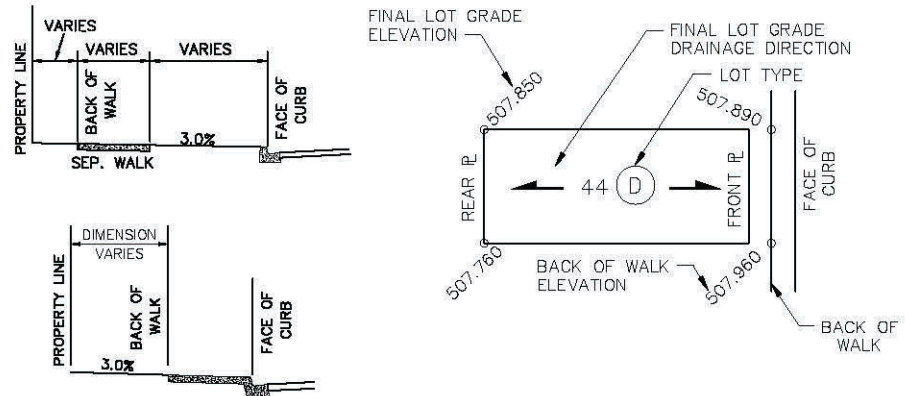
## LEGEND

### NOTE:

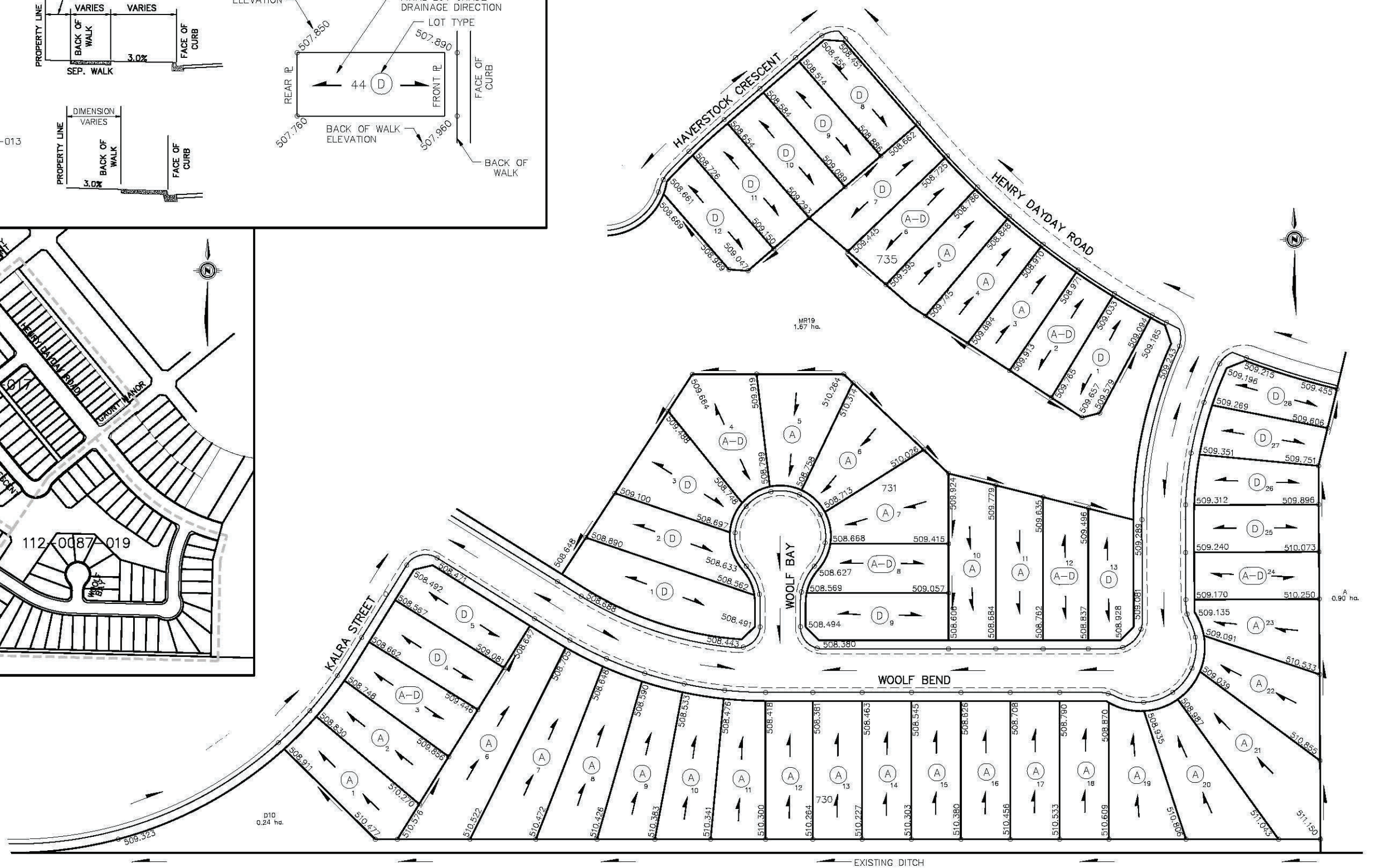
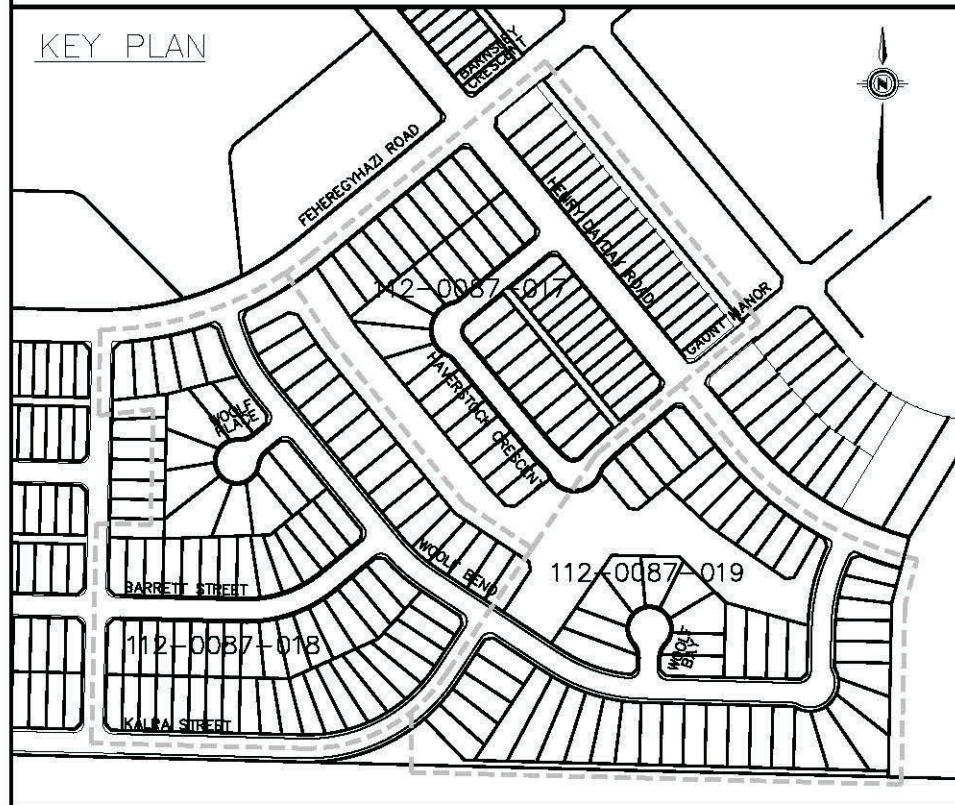
- FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
- DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

## LOT DRAINAGE DETAILS

LOT TYPE 'D' - SEE DRAWING 102-0022-017  
 LOT TYPE 'A' - SEE DRAWING 102-0022-016  
 LOT TYPE 'A-D', 'D-A' - SEE DRAWING 102-0022-013



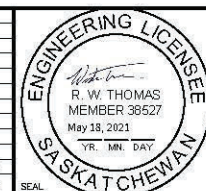
## KEY PLAN



**CONST.**

PROJECT NO. 502-0087-3041001\_CWL

INITIAL BASE DRAWING SETUP	DATE	BY
PLAN DESCRIPTION/REVISION	2021-JAN-16	KDN



CHECKED BY:	CHECKED BY:
SIGNATURE M. Nisar Khan	SIGNATURE
NAME May 19, 2021	NAME
DATE	DATE
DRAWN BY: KDN DATE 2021-JAN-16	DWG STDS CHECKED BY: JUL DATE 2021-MAR-01

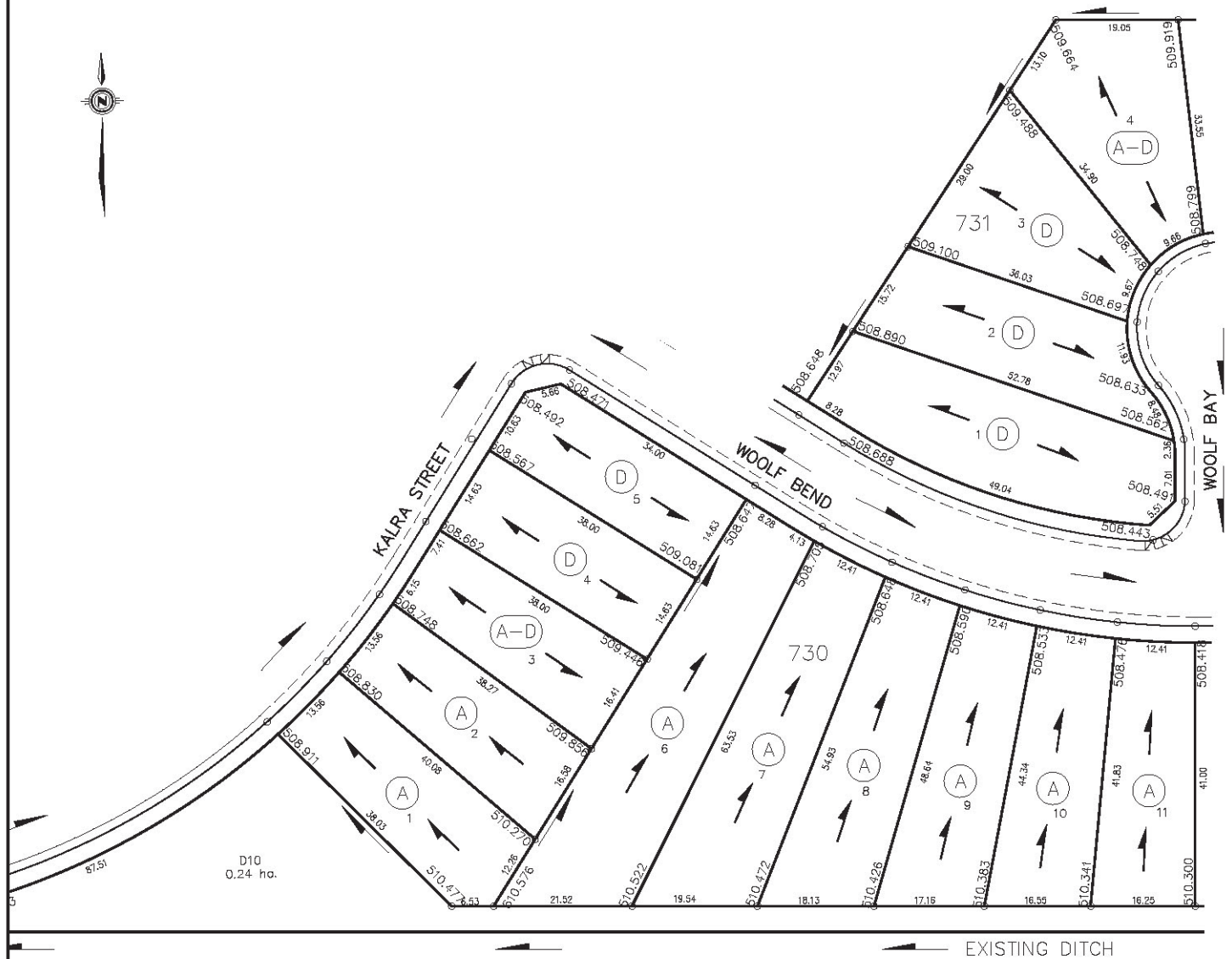


ASPEN RIDGE - PHASE B2

LOT GRADES  
 KALRA STREET, WOOLF BEND, WOOLF BAY  
 HAVERSTOCK CRESCENT & HENRY DAYDAY ROAD

ENGINEERING MANAGER	DATE
SIGNATURE	May 19, 2021
SCALE: HOR. 1:1250	DATE
VERT. 1:1250	DATE
SHEET NO. 1 OF 1	PLAN NO. 112-0087-019r001





### LEGEND

FINAL LOT GRADE  
ELEVATION

FINAL LOT GRADE  
DRAINAGE DIRECTION

LOT TYPE

REAR RL  
507.850  
507.760

BACK OF WALK  
ELEVATION

507.890

FACE OF  
CURB

BACK OF  
WALK

### NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

## KALRA STREET, WOLF BEND & WOLF BAY

DRAWN BY KDN DATE 2021-JAN-24

SCALE 1:1000

PLAN NO.

PAGE 1 OF 3



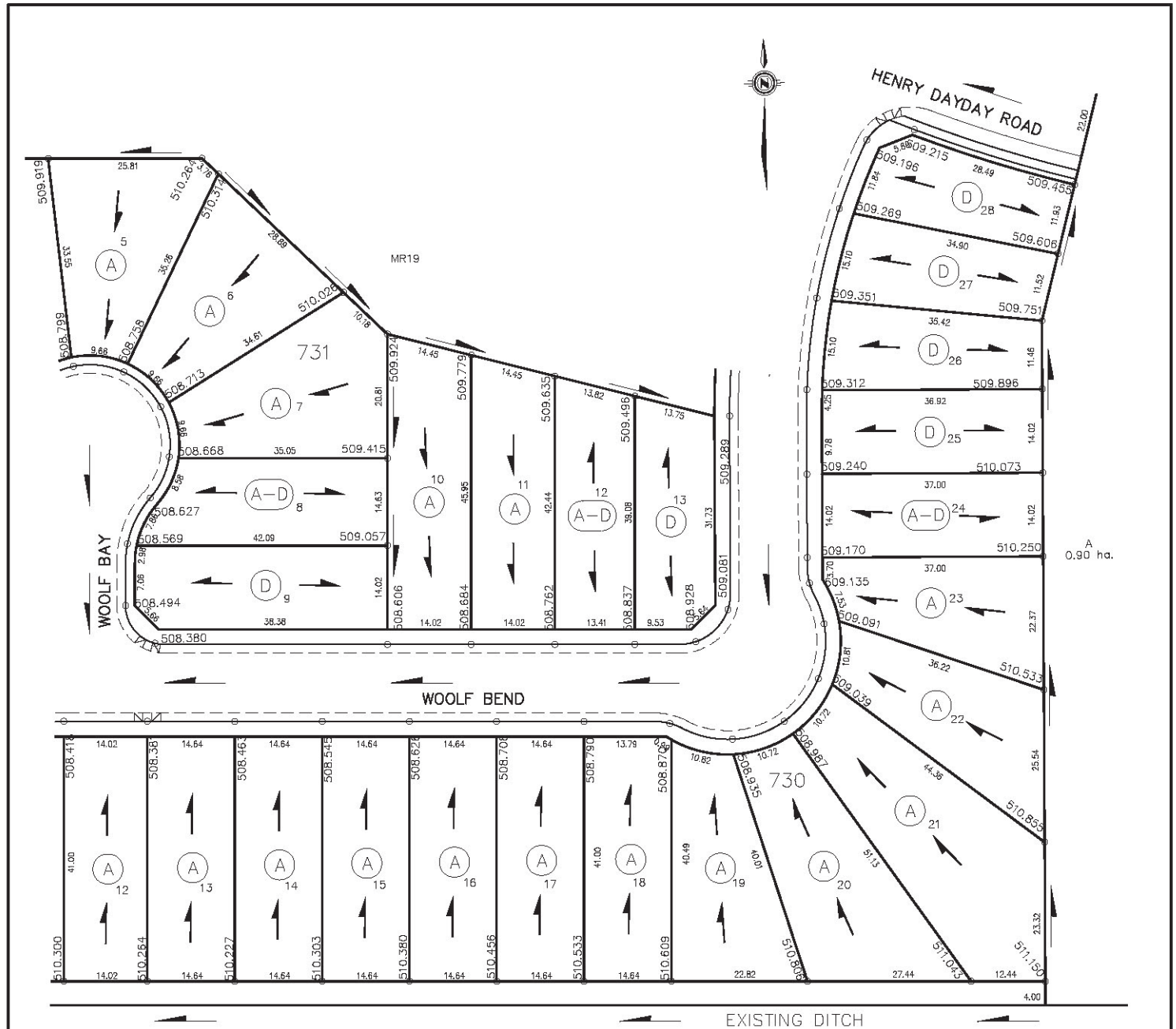
**City of  
Saskatoon**  
Transportation and Construction Division

SOURCE DOCUMENT

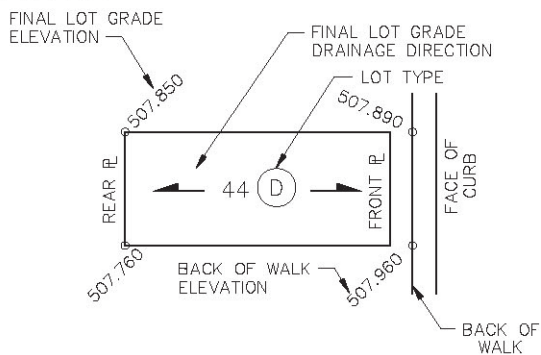
PLAN No. 112-0087-019

APPROVAL DATE 2021-MAY-19

REVISION DATE



## LEGEND



## NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

# WOOLF BAY, WOOLF BEND & HENRY DAYDAY CRESCENT

DRAWN BY KDN DATE 2021-JAN-24

SCALE 1:1000

PLAN NO.

PAGE 2 OF 3



SOURCE DOCUMENT

PLAN No. 112-0087-019

APPROVAL DATE 2021-MAY-19

REVISION DATE

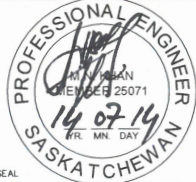




**CONST.**

Kernen Prairie

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1	ISSUED FOR CONSTRUCTION	2014-JUL-11	RWD
	PLAN DESCRIPTION/REVISION	DATE	BY



CHECKED BY:	CHECKED BY:
<i>Bk Sk</i>	<i>Al Kl</i>
DATE 14/07/14	DATE 14/07/18
DRAWN BY: RWD	DATE 2014-MAR-03



**City of Saskatoon**  
Transportation & Utilities Department


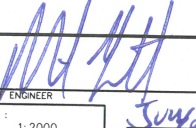
ASPEN RIDGE LAND DEVELOPMENT - PHASE B2

AREA GRADING  
DESIGN CONTOURS

CHIEF ENGINEER	
SCALE: 1:2000	DATE 14/07/14
SHEET NO.	PLAN NO.
	113-0087-306r001





<div>11</div> <div>10</div> <div>9</div> <div>8</div> <div>7</div> <div>6</div> <div>5</div> <div>4</div> <div>3</div> <div>2</div> <div>1</div>		<div>ISSUED FOR CONSTRUCTION</div> <div>2014-JUL-11</div> <div>RWDT</div> <div>PLAN DESCRIPTION/REVISION</div> <div>DATE</div> <div>BY</div> <div>SEAL</div>		<div>PROFESSIONAL ENGINEER</div> <div>MEMBER 25071</div> <div>14 07 14</div> <div>YR. MON. DAY</div> <div>SASKATCHEWAN</div>	<div>CHECKED BY:</div> <div>Bh Sk</div> <div>14/07/14</div> <div>DATE</div> <div>DRAWN BY:</div> <div>RWDT</div> <div>DATE</div> <div>2014-MAR-03</div>	<div>CHECKED BY:</div> <div>Alan Kula</div> <div>14/07/18</div> <div>DATE</div> <div>DATE</div>	<div>Kernen Prairie</div> <div> <b>City of Saskatoon</b></div> <div>Transportation &amp; Utilities Department</div>	<div>ASPEN RIDGE LAND DEVELOPMENT - PHASE B2</div> <div>AREA GRADING</div> <div>CUT &amp; FILL CONTOURS</div>	<div>CONST.</div> <div></div> <div>CHEF ENGINEER</div> <div>SCALES:</div> <div>HOR. 1:2000</div> <div>VERT. 1:2000</div> <div>DATE</div> <div>July 29, 14</div> <div>SHEET NO.</div> <div>PLAN NO.</div> <div>113-0087-307r001</div>
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DESCRIPTIVE PLAN - TYPE II  
SHOWING  
**FEATURE UTILITY RIGHT OF WAY**

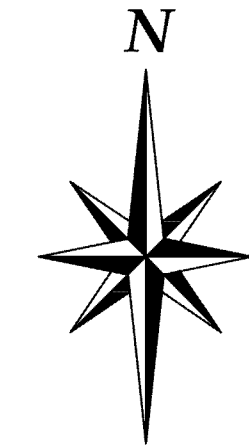
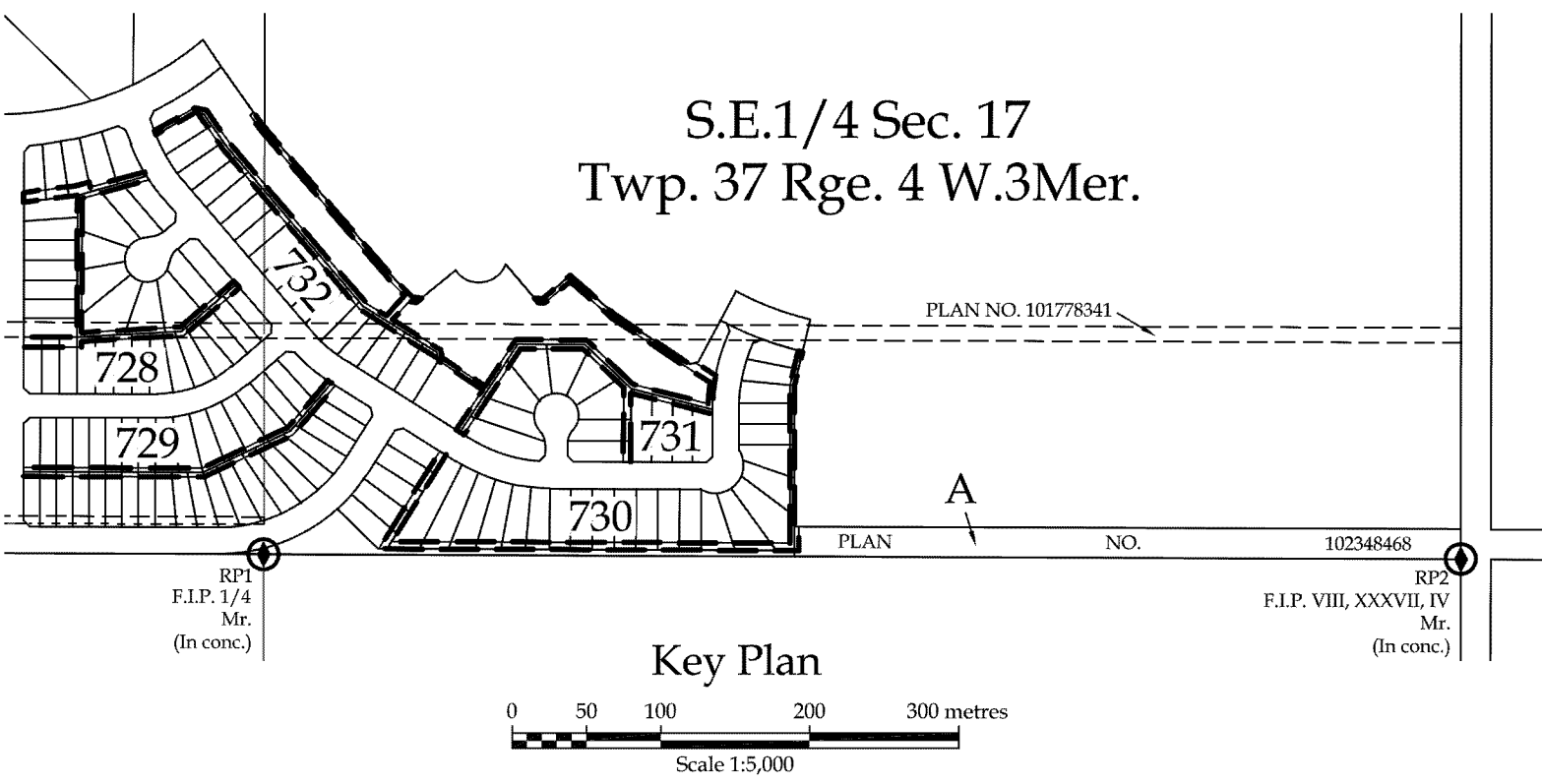
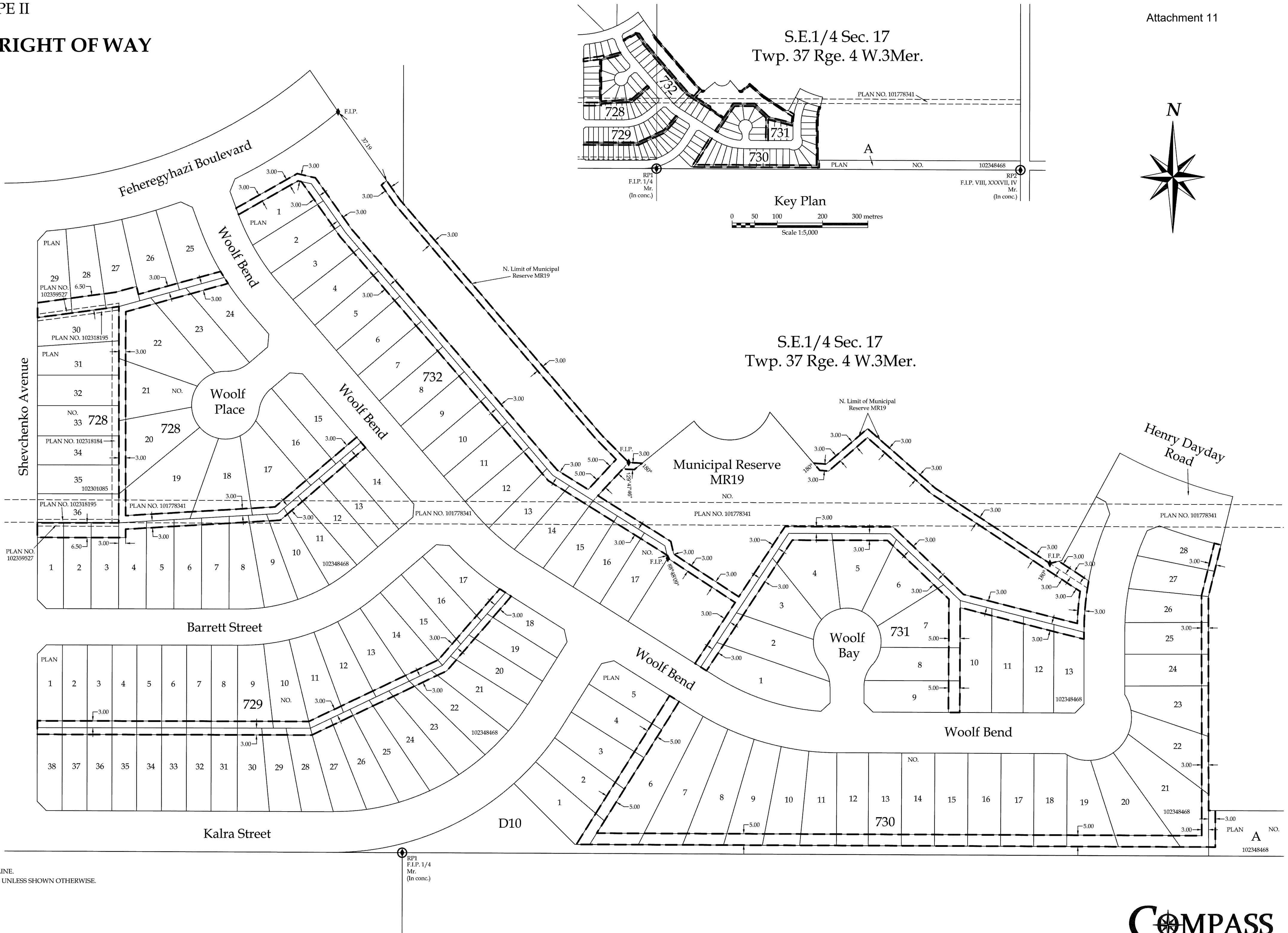
WITHIN  
LOTS 1-29, BLOCK 728,  
LOTS 1-38, BLOCK 729,  
LOTS 1-28, BLOCK 730,  
LOTS 1-13, BLOCK 731,  
LOTS 1-17, BLOCK 732,  
PARCEL A,  
MUNICIPAL RESERVE MR19  
PLAN NO. 102348468  
L.S.3, SEC. 17 &  
S.E.1/4 SEC. 17  
TWP. 37 RGE. 4 W.3 MER.  
CITY OF SASKATOON  
SASKATCHEWAN  
BY: BLAKE WAHL, S.L.S.  
DATE: MARCH 8TH, 2021  
SCALE: 1:1000

**LEGEND:**  
MONUMENTS FOUND ARE SHOWN THUS: ♦  
REFERENCE POINTS ARE SHOWN THUS: ○ RP1 ○ RP2

MEASUREMENTS ARE IN METRES AND DECIMALS THEREOF.  
AREA TO BE APPROVED IS OUTLINED BY A HEAVY DASHED LINE.  
EXTENSIONS OF PARCELS AFFECTED BY THIS FEATURE ARE 0 UNLESS SHOWN OTHERWISE.  
THE DATUM USED: NAD83 (CSRS)  
THE PROJECTION USED: UTM ZONE 13N EXTENDED

RP COORDINATES ARE DERIVED AS OF DECEMBER 8TH, 2018  
GEO-REFERENCED POINTS DERIVED FROM GNSS OBSERVATIONS AND PROCESSED WITH THE NRCAN PPP SERVICE.

DWG: 0939-13-DP13-R0





DESCRIPTIVE PLAN - TYPE II  
SHOWING  
**FEATURE UTILITY RIGHT OF WAY**

WITHIN

LOTS 1-3 & 27-29, BLOCK 728,

PLAN NO. 102348468

L.S.3, SEC. 17

TWP. 37 RGE. 4 W.3 MER.

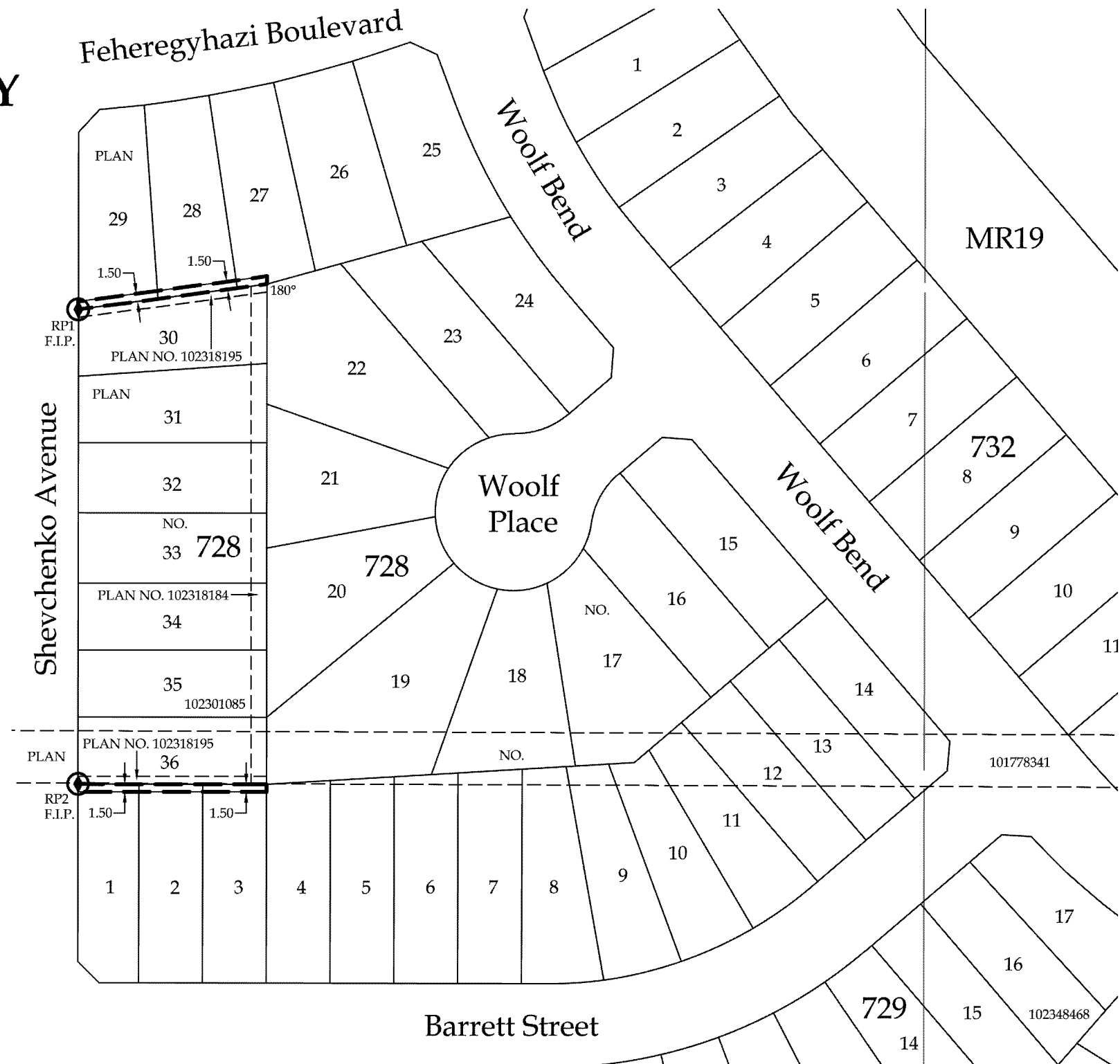
CITY OF SASKATOON

SASKATCHEWAN

BY: BLAKE WAHL, S.L.S.

DATE: MARCH 8TH, 2021

SCALE: 1:1000



**LEGEND:**

MONUMENTS FOUND ARE SHOWN THUS: ◆

REFERENCE POINTS ARE SHOWN THUS: ○ RP1 ○ RP2

MEASUREMENTS ARE IN METRES AND DECIMALS THEREOF.

AREA TO BE APPROVED IS OUTLINED BY A HEAVY DASHED LINE.

EXTENSIONS OF PARCELS AFFECTED BY THIS FEATURE ARE 0 UNLESS SHOWN OTHERWISE.

THE DATUM USED: NAD83 (CSRS)

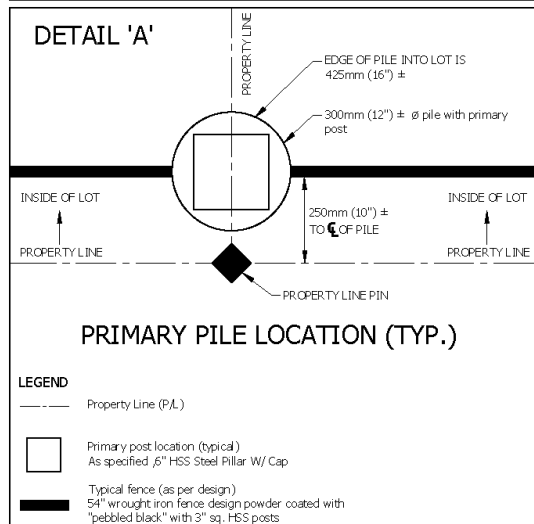
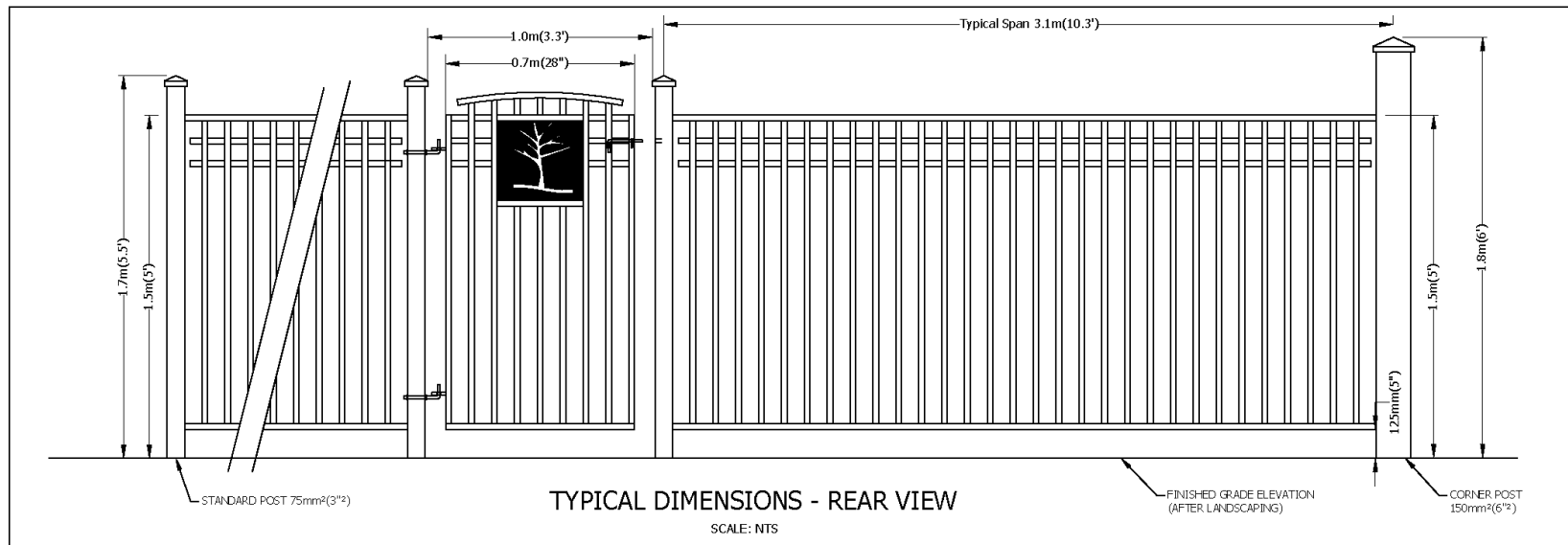
THE PROJECTION USED: UTM ZONE 13N EXTENDED

RP COORDINATES ARE DERIVED AS OF DECEMBER 8TH, 2018

GEO-REFERENCED POINTS DERIVED FROM GNSS OBSERVATIONS AND PROCESSED WITH THE NRCAN PPP SERVICE.

DWG: 00939-13-DPII4-R0

**COMPASS**  
Geomatics Ltd.  
REGISTERED LAND SURVEYORS



**NOTES:**

- DO NOT DISTURB fence piles during basement excavation
- Centerline of fence is APPROXIMATELY 250mm (10")  $\pm$  inside of lot. THE ACTUAL DISTANCE MAY VARY
- SIDEYARD FENCE SITUATION: Please determine exact location of fence prior to finalizing house width

