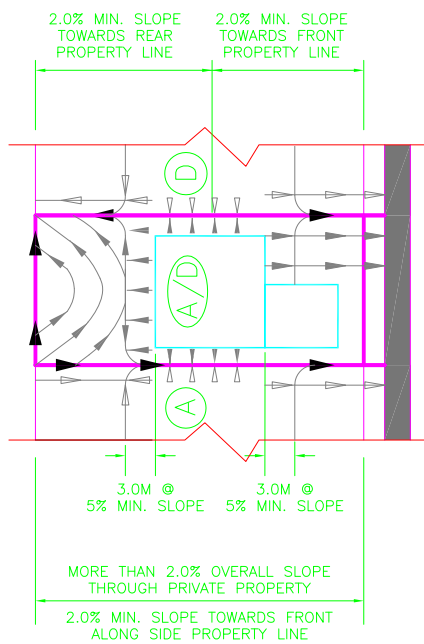
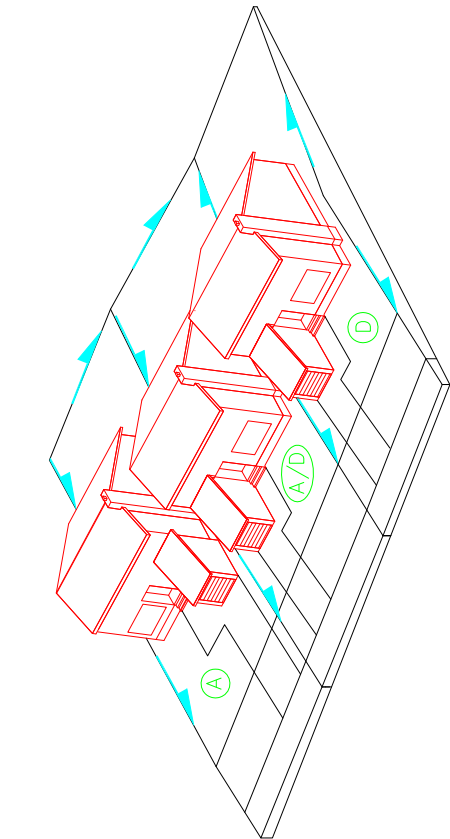
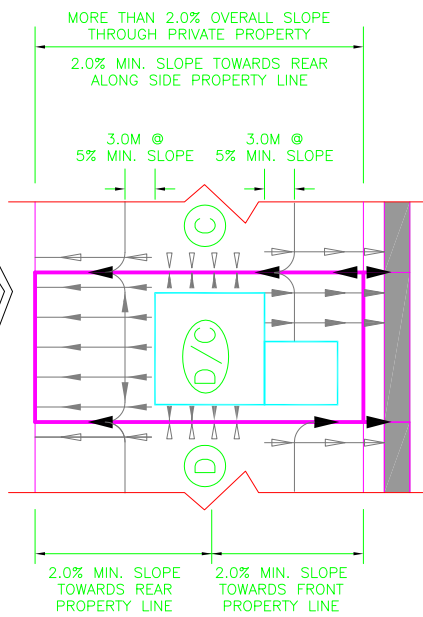
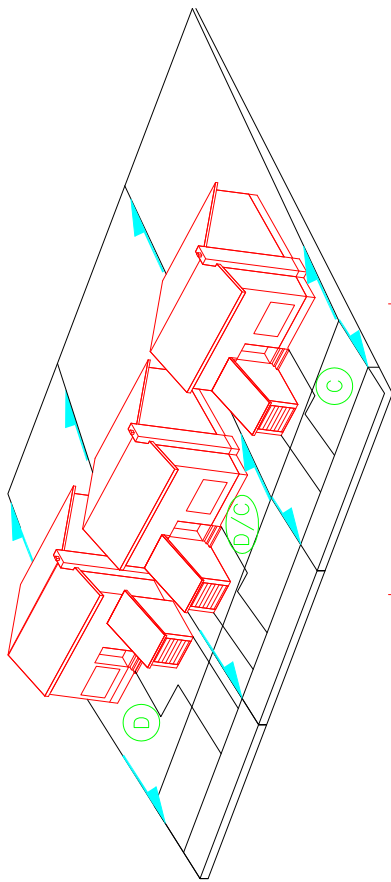


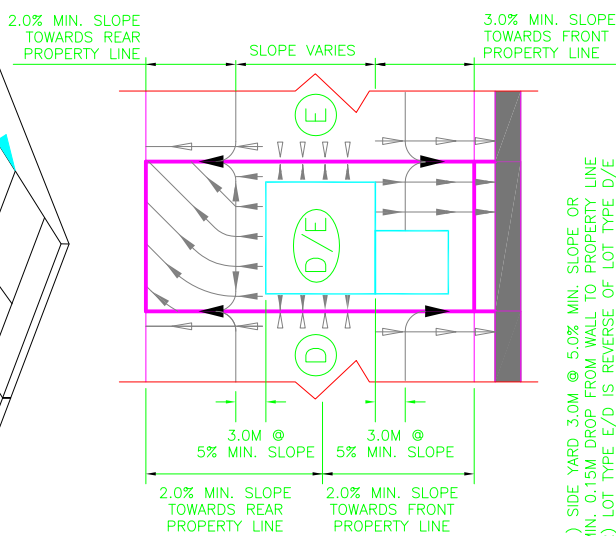
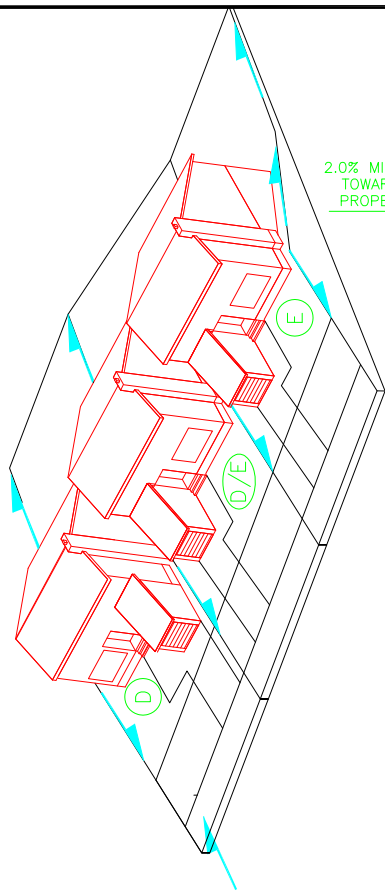
Lot Grading Types



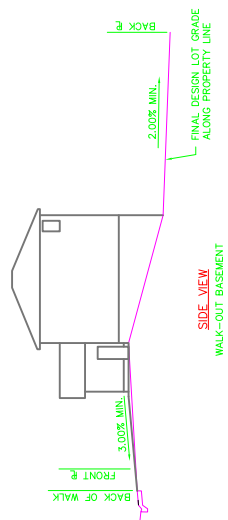
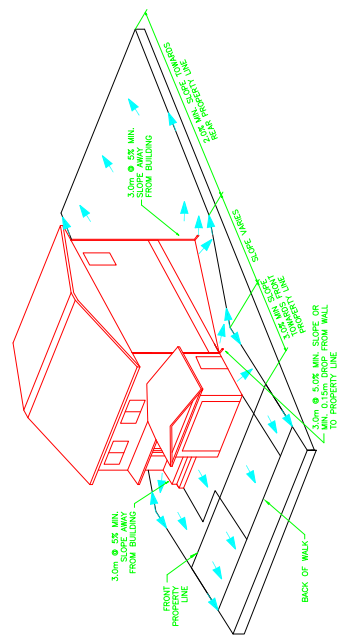
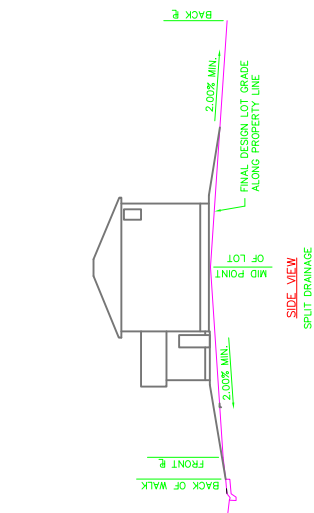
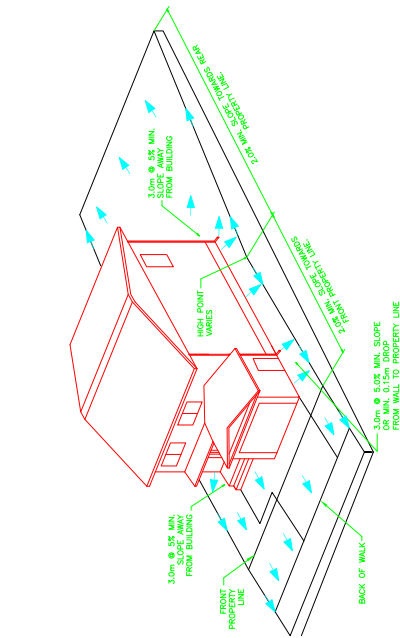
NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE D/A IS REVERSE OF LOT TYPE A/D

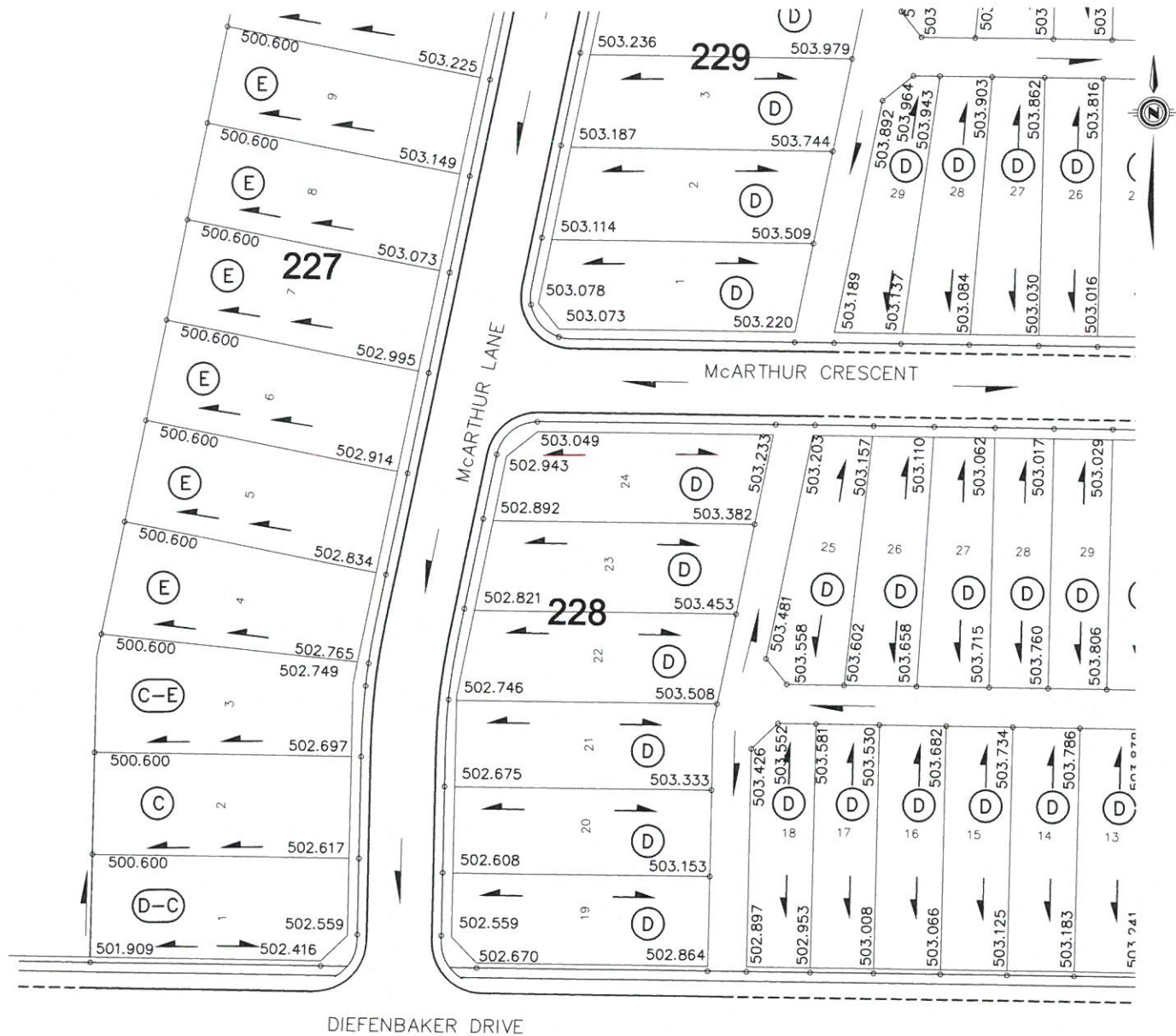


NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE C/D IS REVERSE OF LOT TYPE D/C



NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE E/D IS REVERSE OF LOT TYPE D/E

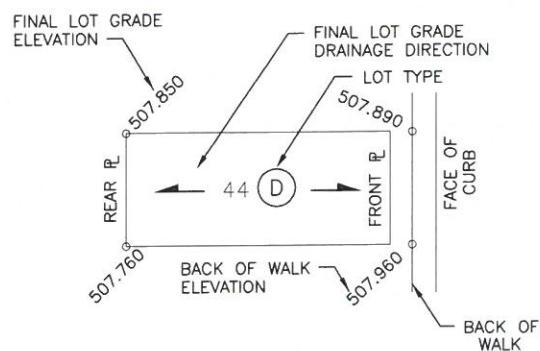




LEGEND

NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)



McARTHUR LANE, McARTHUR CRES. & DIEFENBAKER DR.

DRAWN BY RV DATE 2015-OCT-06

SCALE: 1:1000

PLAN No.:

PAGE: 1 OF 7



**City of
Saskatoon**

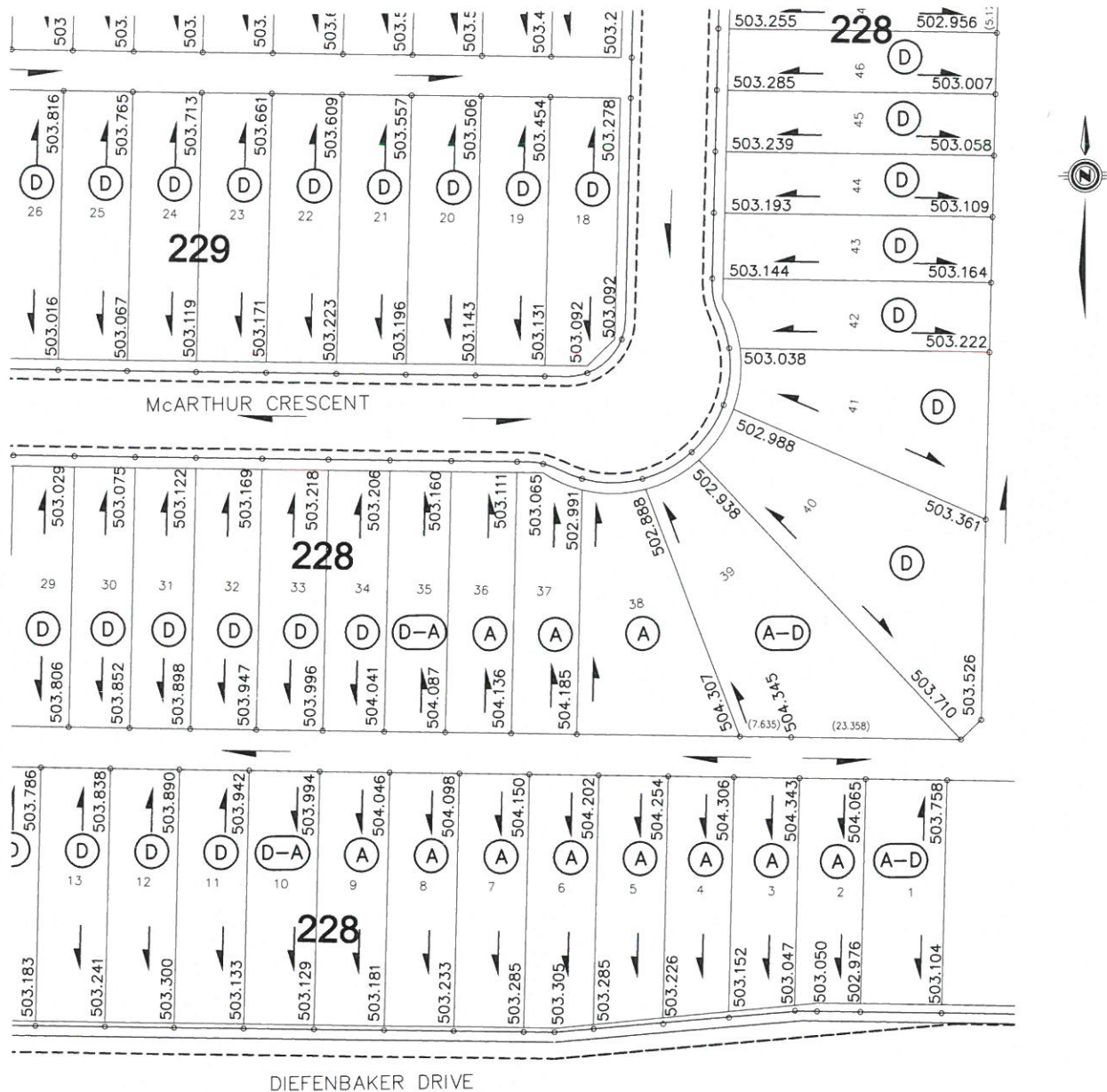
Transportation & Utilities Department

SOURCE DOCUMENT

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APPROVAL DATE:

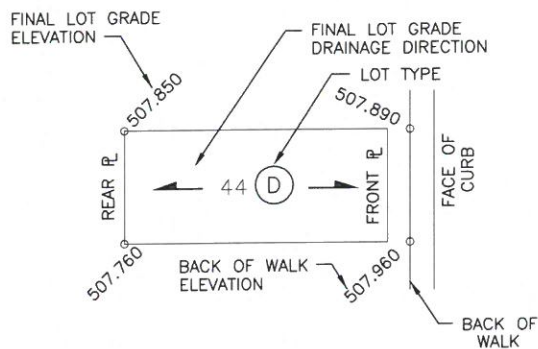
REVISION DATE:



LEGEND

NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.



McARTHUR CRES. & DIEFENBAKER DR.

DRAWN BY RV DATE 2015-OCT-06

SCALE: 1:1000

PLAN No.:

PAGE: 2 OF 7



**City of
Saskatoon**

Transportation & Utilities Department

SOURCE DOCUMENT

PLAN No.: 112-0086-019

APPROVAL DATE:

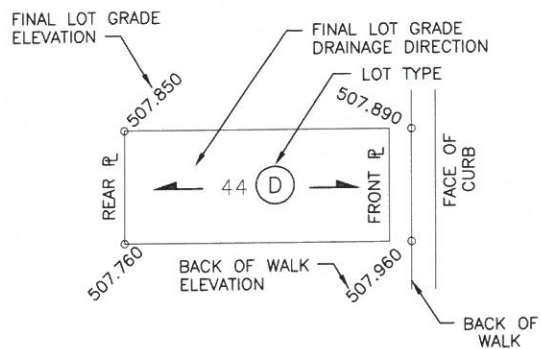
REVISION DATE:



LEGEND

NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)



McARTHUR LANE & NIGHTINGALE ROAD

DRAWN BY RV DATE 2015-OCT-06

SCALE: 1:1000

PLAN No.:

PAGE: 3 OF 7



**City of
Saskatoon**

Transportation & Utilities Department

SOURCE DOCUMENT

PLAN No.: 112-0086-019 & 020

APPROVAL DATE:

REVISION DATE:



McARTHUR LANE, McARTHUR CRES. & NIGHTINGALE ROAD

DRAWN BY RV DATE 2015-OCT-06

SCALE: 1:1000

PLAN No.:

PAGE: 4 OF 7



**City of
Saskatoon**

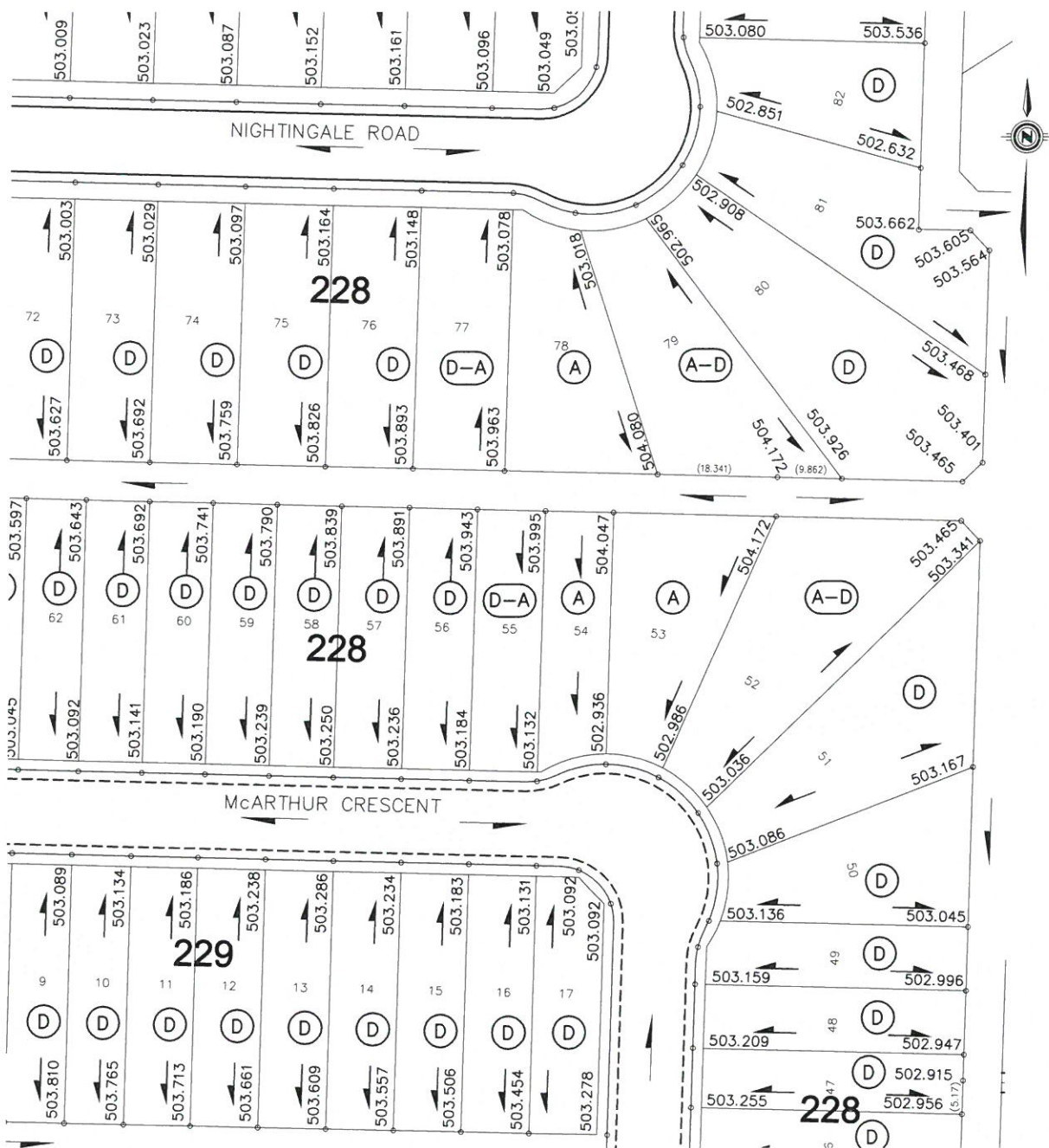
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SOURCE DOCUMENT

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APPROVAL DATE:

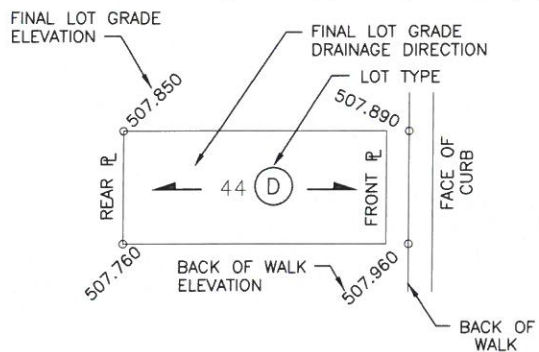
REVISION DATE:



LEGEND

NOTE:

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McARTHUR CRESCENT & NIGHTINGALE ROAD

DRAWN BY RV DATE 2015-OCT-06

SCALE: 1:1000

PLAN No.:

PAGE: 5 OF 7



**City of
Saskatoon**

Transportation & Utilities Department

SOURCE DOCUMENT

PLAN No.: 112-0086-019 & 020

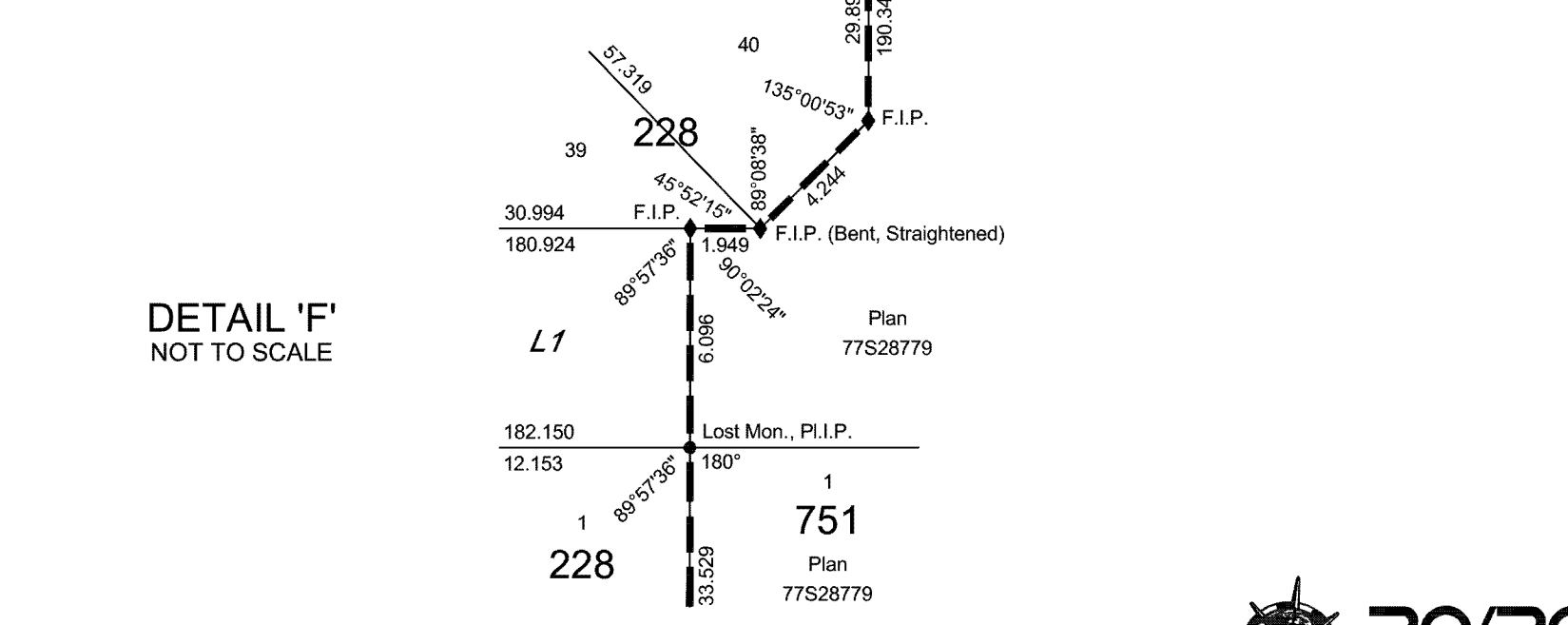
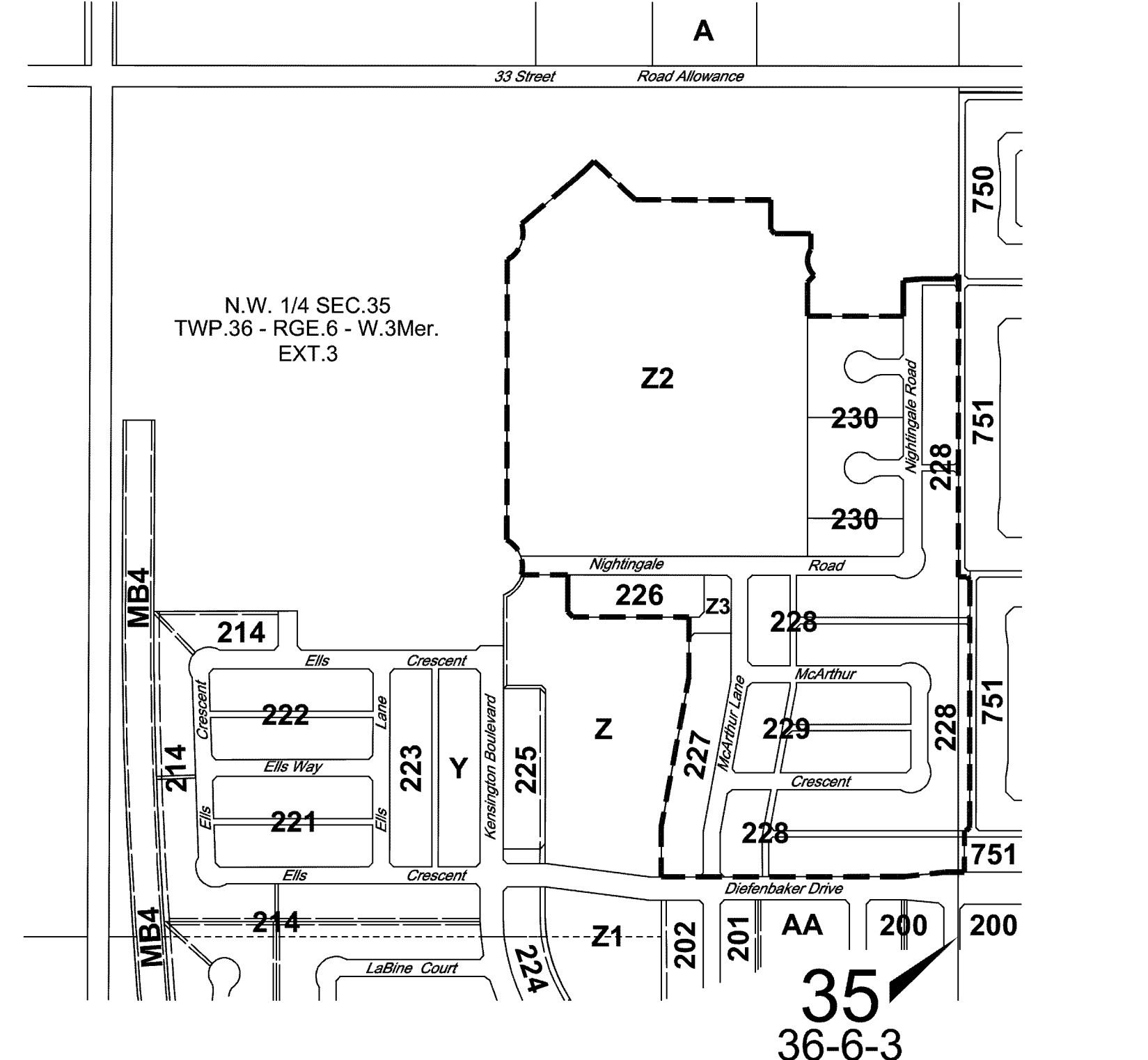
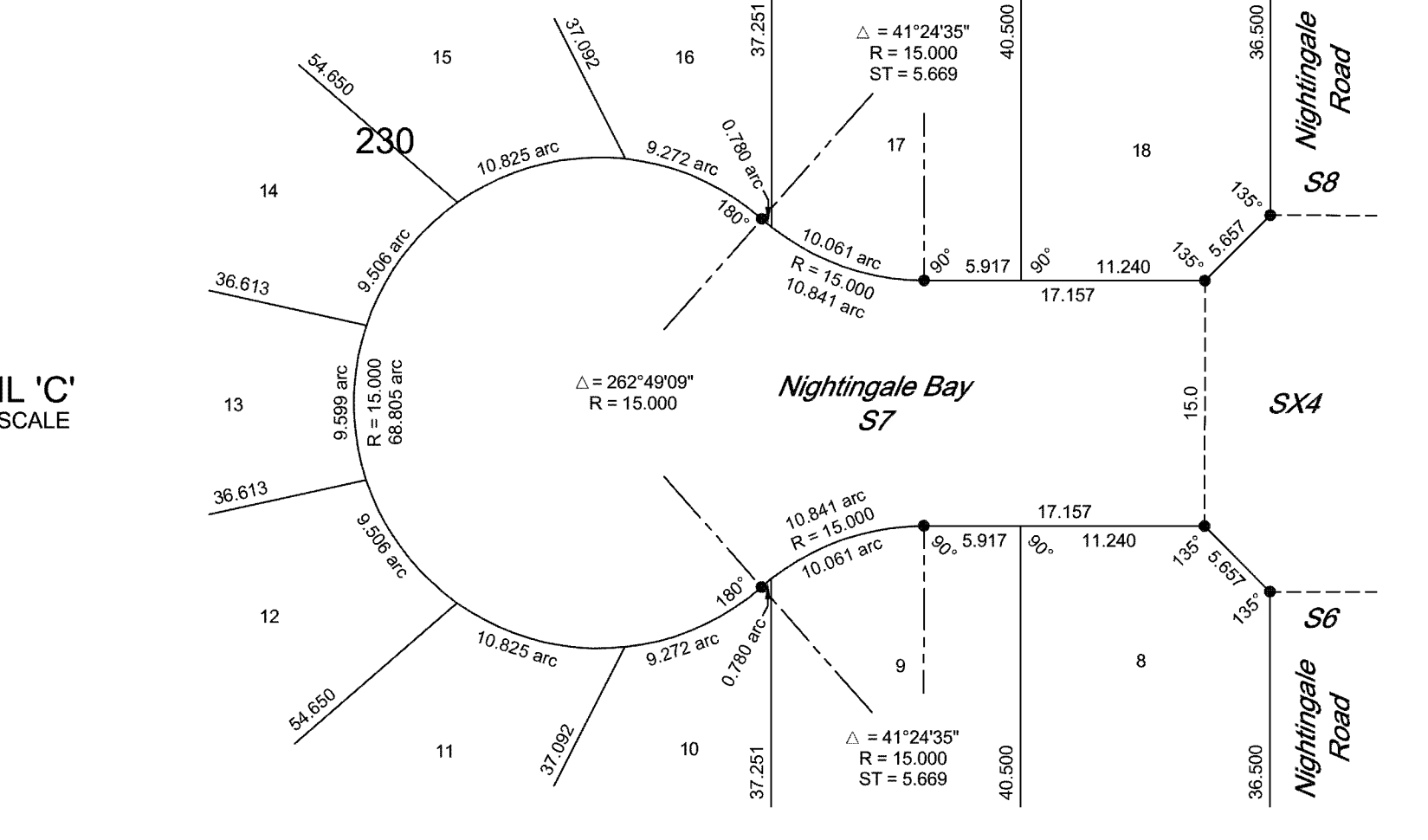
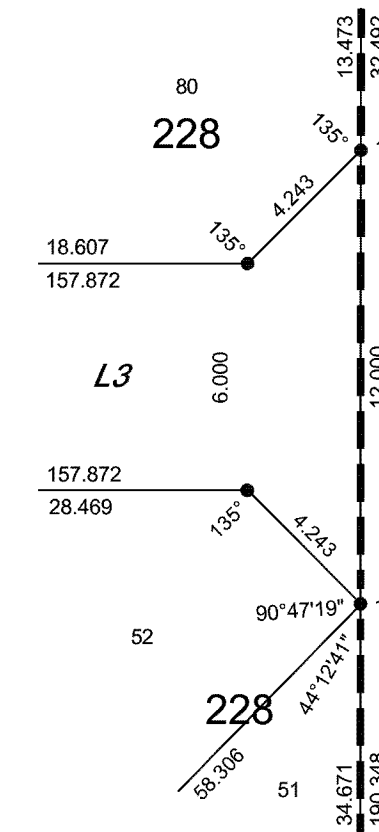
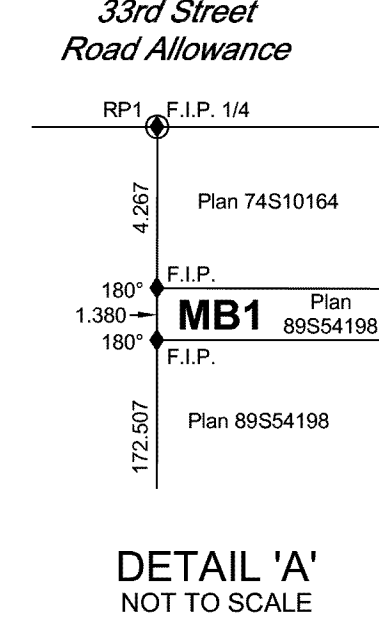
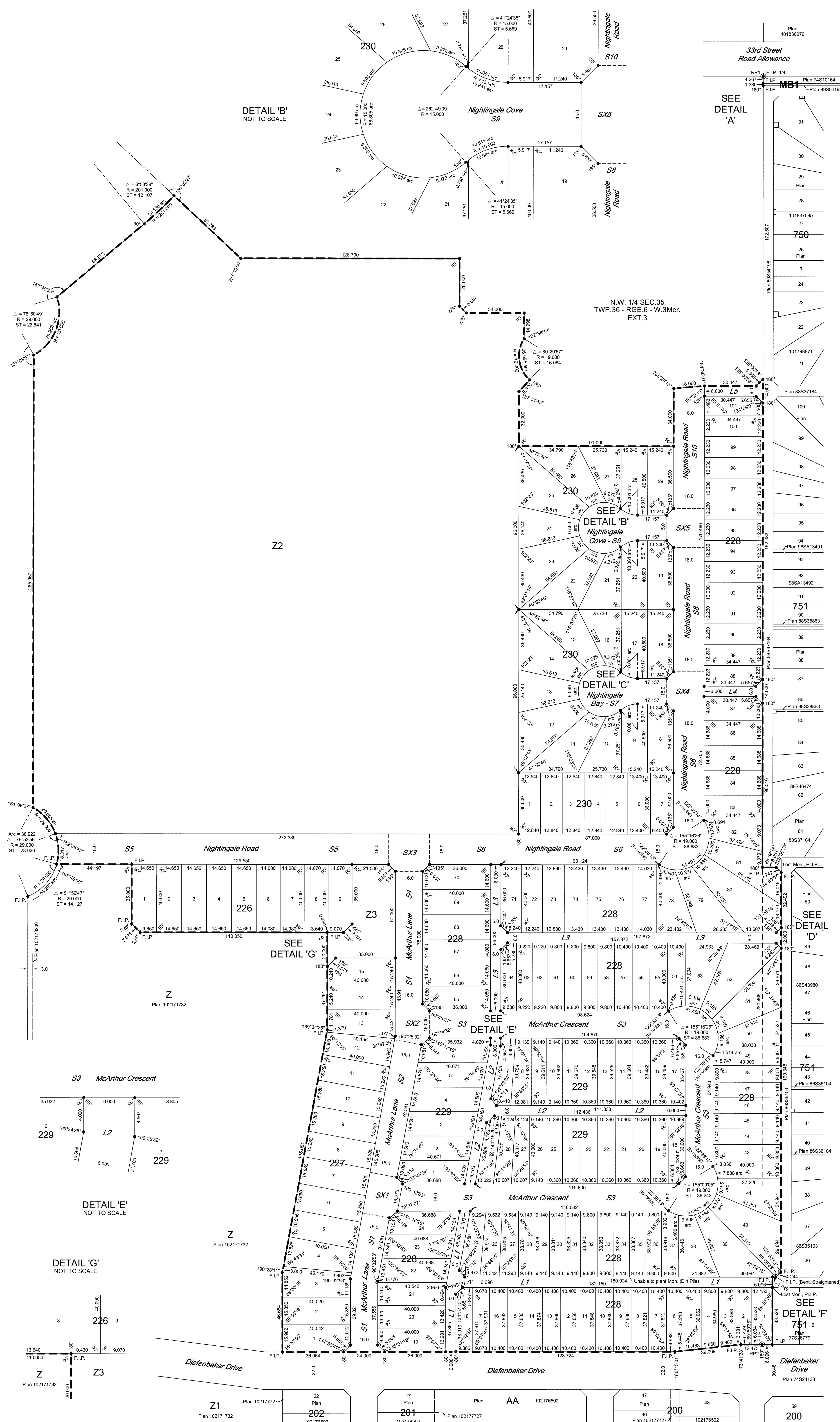
APPROVAL DATE:

REVISION DATE:

PLAN OF SURVEY
SHOWING
SURFACE SUBDIVISION
OF PART OF
NW.1/4 SECTION 35
AND ALL OF
PARCEL D, PLAN 88S37184
WITHIN NE.1/4 SECTION 35
ALL IN TWP.36 - RGE.6 - W.3Mer.
SASKATOON, SASKATCHEWAN
BY: M.M. VANSTONE, S.L.S.
DATE: SEPTEMBER, 2014 - MARCH, 2015
SCALE: 1:1000

LEGEND

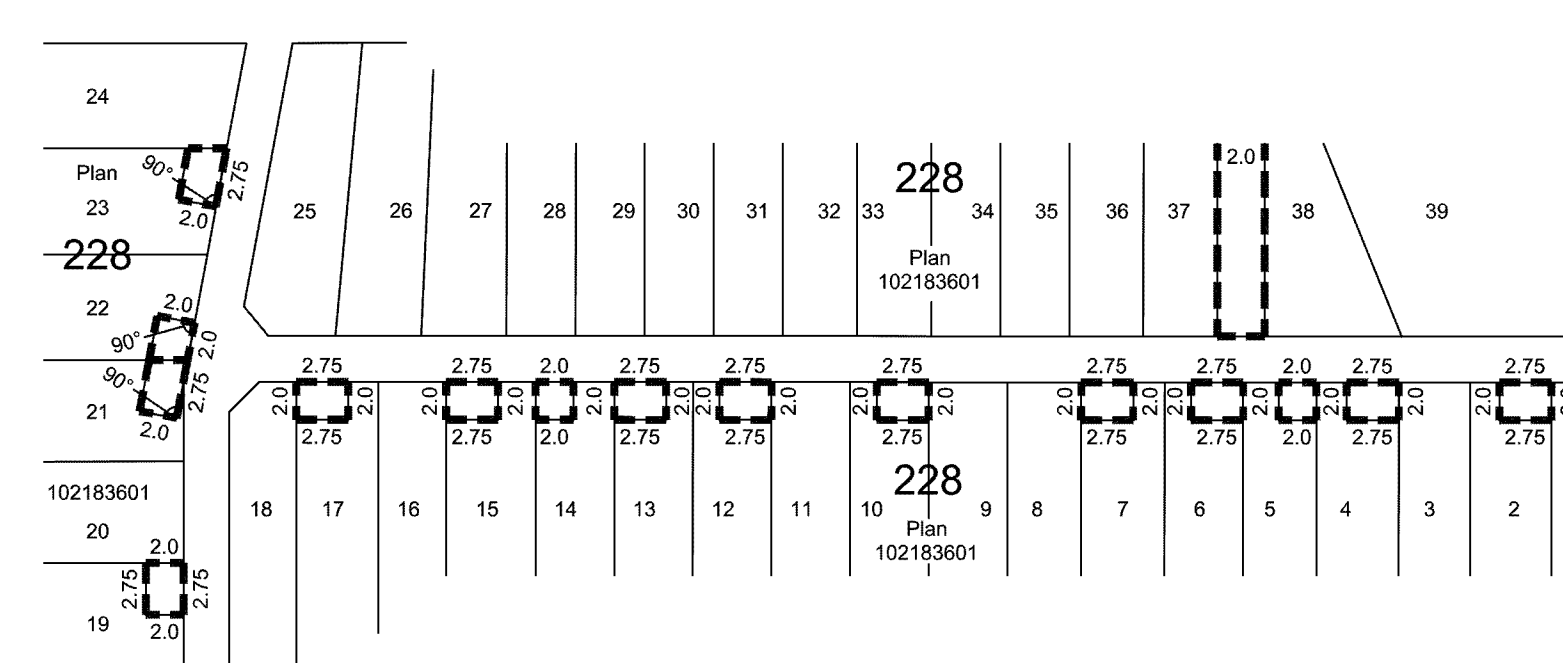
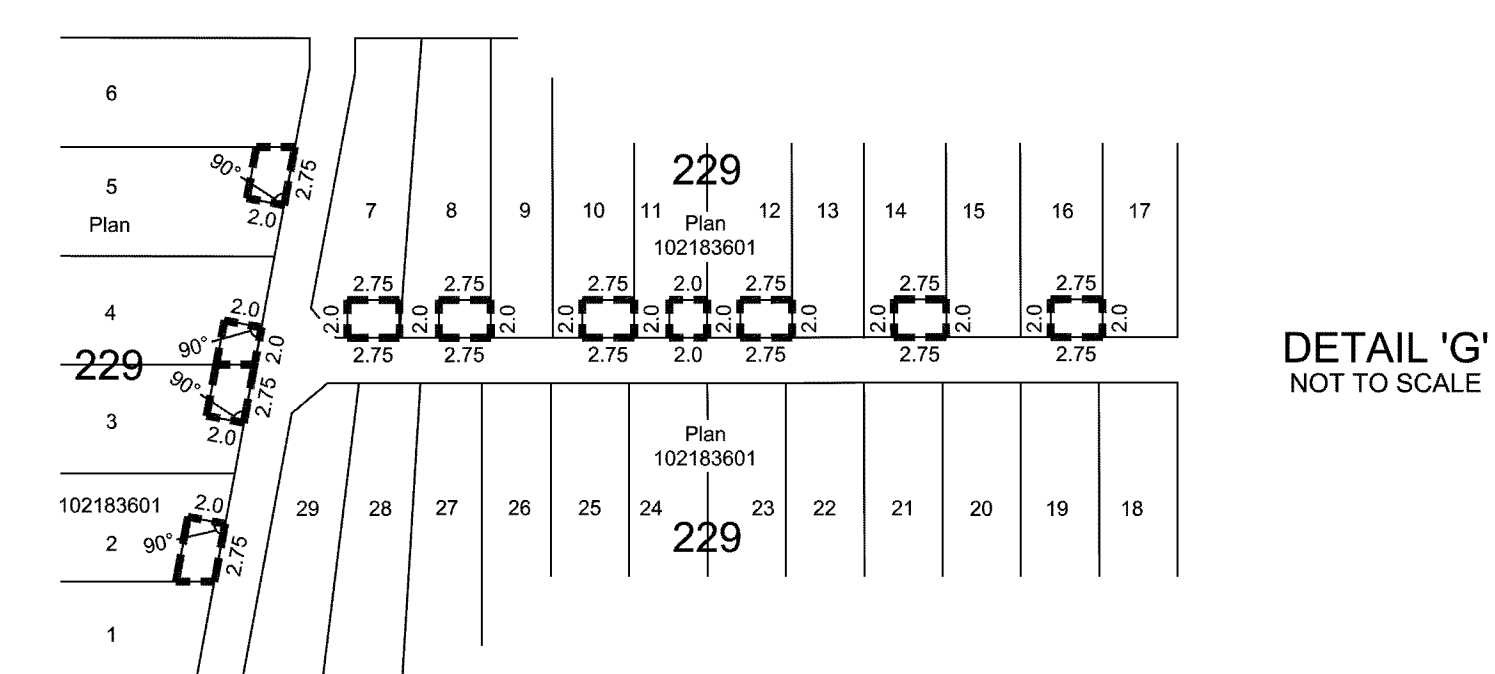
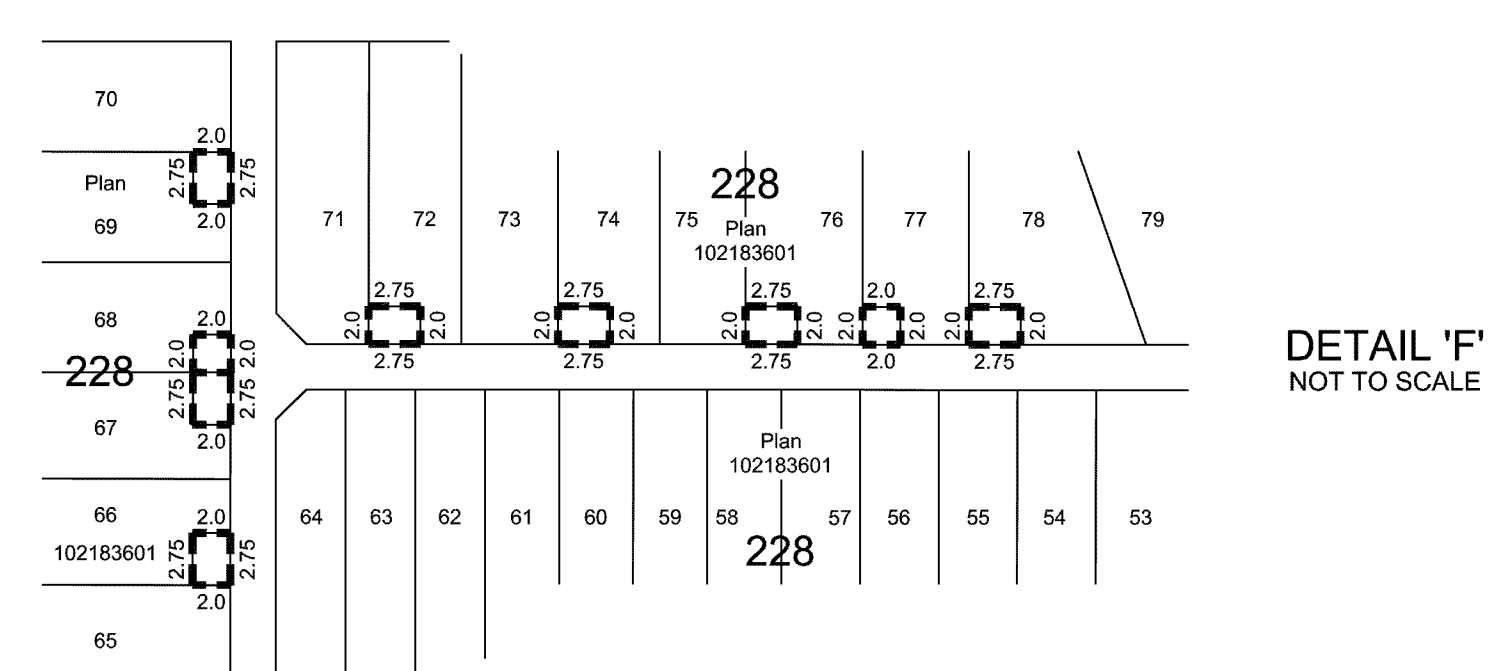
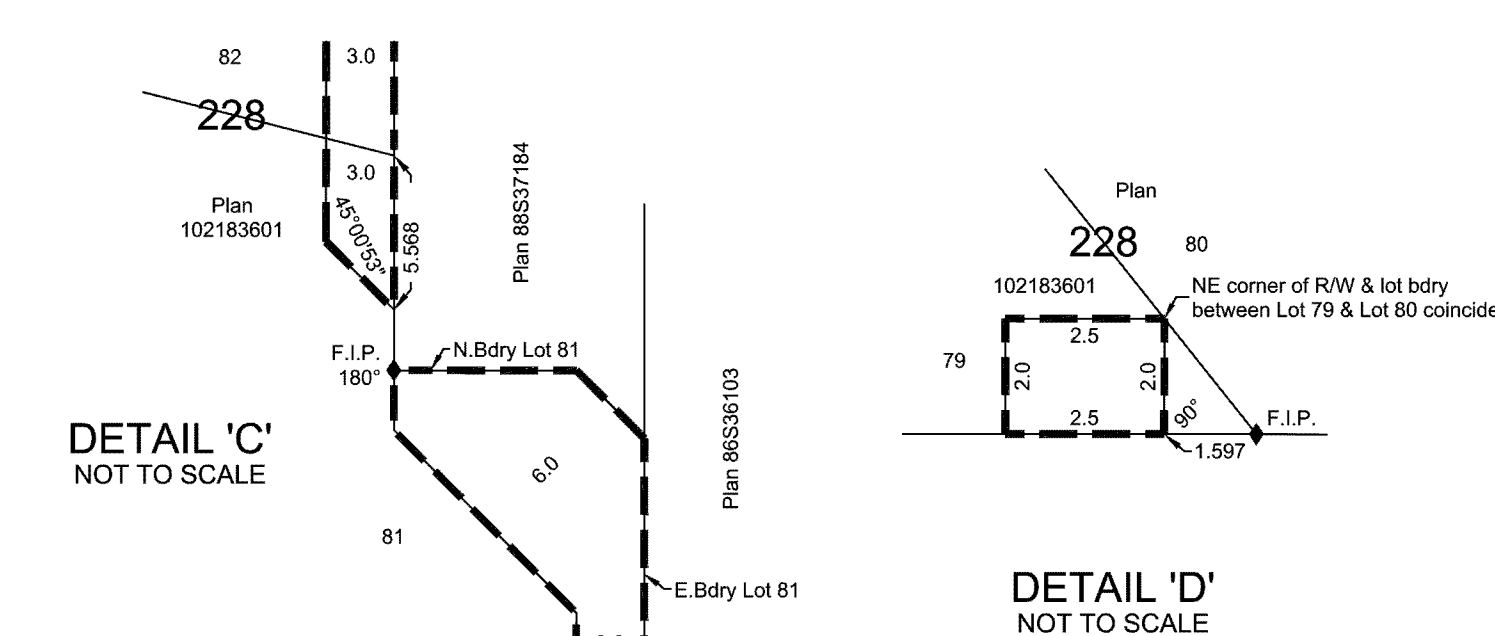
Measurements are in metres and decimals thereof.
The Unique Identifier of 5030 has been stamped on all established standard iron posts.
Area to be approved is outlined by a heavy dashed line.
All parcels within the line of approval have an extension 0 unless otherwise shown.
Standard iron posts planted are shown thus .
Monuments found are shown thus .
All lot corners not marked by a standard post are marked by 0.013 x 0.450 small iron posts.
The Datum used: NAD83 (CSRS)
The Projection used: UTM Zone13N extended
RP1: Northing: 5770480.518; Easting: 3800008.974
RP2: Northing: 5777735.313; Easting: 379990.626
RP coordinates are derived from GNSS as of February 3, 2015 AD
Reference points are shown thus RP1, RP2
Georeferenced points derived from GNSS observations and processed to the NRCAN PPP service.



DESCRIPTIVE PLAN - TYPE II
SHOWING
FEATURE UTILITY RIGHT OF WAYS
IN
PARCEL Z2
PARCEL Z3
LOTS 1 - 9, BLOCK 226
LOTS 1 - 15, BLOCK 227
LOTS 1, 2, 4 - 7, 10, 12 - 15, 17, 19,
21 - 23, 38, 40 - 52, 66 - 69, 72, 74,
76 - 78, 79 - 101, BLOCK 228
LOTS 2 - 5, 7, 8, 10 - 12,
14, 16, BLOCK 229
LOTS 1 - 29, BLOCK 230
PLAN NO. 102183601
ALL IN
NW.1/4 & NE.1/4 SECTION 35
TWP.36 - RGE.6 - W.3Mer.
SASKATOON, SASKATCHEWAN
BY: M.M. VANSTONE, S.L.S.
DATE: SEPTEMBER 3, 2015
SCALE: 1:1000

LEGEND

Measurements are in metres and decimals thereof and are copied.
Area to be approved is outlined by a heavy dashed line.
The extensions of all parcels affected by this feature are 0 unless otherwise shown.
New Right of Way limits are straight lines unless otherwise shown.
Width of Right of Way is 5.0 unless otherwise shown.
Monuments found are shown thus: -----
The Datum used: NAD83 (CSRS98)
The Projection used: UTM Zone 18N
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RP1: Northing: 577735.313; Easting: 379990.626
RP coordinates are derived from GNS5 as of February 3, 2015 AD
Information points are shown as follows:
Georeferenced points derived from Plan No. 102183601



DETAIL 'H'
NOT TO SCALE

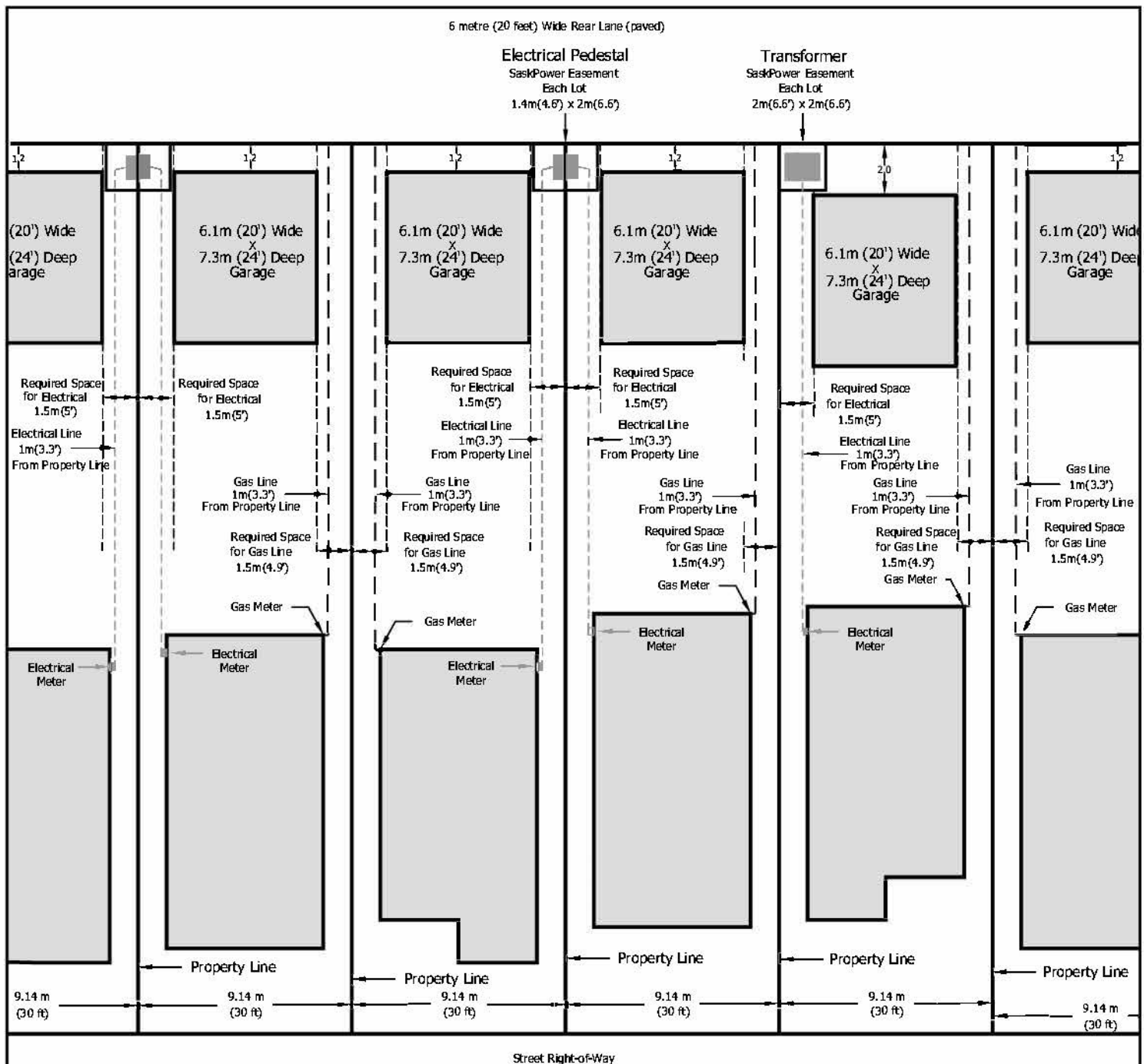




[illegible]

Typical Servicing From Lane

SaskPower and SaskEnergy Underground Lines



Please note:

- This drawing is intended as a guide only. For more accurate and detailed information, specific to your property, please contact the respective utilities and the City of Saskatoon's Building Standards Division.
- For the purpose of this illustration, each lot is shown as 9.14m (30 ft) wide and 38m (125 ft) deep.
- A garage, or other accessory building may not be built over the natural gas line or electrical service.
- Saskatoon Land takes no responsibility regarding the legality of the building layout on your lot.

Joint Servicing Initiative

January 2015



Background of the Joint Servicing Initiative

To support the thriving economy currently being experienced in Saskatchewan; SaskEnergy, SaskPower and SaskTel are working on refining and broadening the process of a “joint service installation” approach for urban residential home builders.

This process will provide a timely, cost-effective and coordinated service to home builders that includes the installation of gas, electric and communications in a common trench from the main line to the dwelling. This collaborative approach will achieve efficiencies for the installation of the urban service lines and address challenges associated with space constraints for new lots.



What You Need to Know About Joint Trench Lots

Joint Trench Lots are for shallow utility services in urban residential areas (single family homes) where the electric, gas, and communication lines are all installed in a common trench. Currently joint trench installation is only being done in Regina, Saskatoon, Warman, Martensville and Dalmeny.

If you have purchased a lot in any of these locations, a contract crew will be installing all shallow utilities in one trench from the main line at the back of the lot to the dwelling.

To prepare for the installation of your shallow utilities please refer to the Site Check Readiness list on the following page.



Index:

-  Background
-  Joint trench lots
-  Site Check Readiness
-  Procedures for applying for services

Site Check Readiness

To ensure installation of your service is completed when scheduled, your site must be ready for the crew on the date you indicate on the application (site ready date). Along with your application, please submit a plot plan for the address or addresses you are applying for.

Site readiness includes the following:

1. Provide a plot plan that indicates the location of the residence within the property.
2. House number must be visible from the street.
3. In order to secure the natural gas bracket, a 24" x 10" pressure treated board must be in place that does not contravene any natural gas codes.
4. You must maintain a .9 metre (3 ft) clearance around the natural gas service regulator with any exhaust vents, opening windows or doors. Please refer to your mechanical contractor for appropriate codes of other intake clearances.
5. The area around the house is backfilled and the lot is to within 150 mm (6") of finished grade. To ensure proper installation routing, customers are asked to ensure that property pins are in place and marked for easy locating by our field staff.
6. Utility access within the site must meet the following requirements:
 - i) Access is required for equipment to get into the yard(s) where the work needs to occur (trencher, mini hoe, etc.), clear of buildings, fences, decks, etc.
 - ii) A clear path is maintained for the trench route from the metering points to the takeoff points. The width needs to be enough to operate small trenchers and mini hoes at a minimum in ideal soil conditions, and larger equipment when frozen or rocky conditions exist. The trench is to be at least 0.6 metres (2 ft) off of the parallel property line (for fencing) and at least 0.6 metres (2 ft) wide to ensure separation of facilities in the trench. Further width is often required at surface to slope trench during installation for safe trenching rules. This will require approximately 2 metres (6.5 ft) clear access along the property line to the meter (electric and gas) boards to allow for construction of the facilities.
 - iii) Be aware that any pads or foundations near this route may slump with settling of the trench.
7. The trench is from the pedestal or pole to the meter location(s) (typically the closest corner from the pedestal or pole to the house). This service route must be clear of debris or obstructions, such as dirt piles and lumber.
 - i) SaskEnergy and SaskPower reserve the right to determine the meter location due to physical impediments that may restrict access for personnel and equipment. Alternate meter locations must be pre-approved prior to construction.
8. If separate trenches are utilized, the natural gas trench (SaskEnergy) must be at least 1 metre (3 ft) in distance from the SaskPower trench.
9. In instances where both gas, electric and communication cables are installed in the same trench (currently only in Regina, Saskatoon, Warman, Martensville and Dalmeny), you must leave a 1.2 metre (4 ft) corridor adjacent to the property line for utilities. If the minimum of 1.2 metres is not maintained, an encroachment over the gas service may occur and you will be responsible for reparation and subsequent cost.
10. Your electrician has attached an energization sticker on the meter socket indicating the service is ready for connection. The sticker ensures:
 - i) An electrical permit has been obtained
 - ii) The main panel is connected and in the open (off) position
 - iii) The service is grounded and ready to be connected to SaskPower's electrical system
11. To facilitate your service connection, please notify SaskPower once your electrician has affixed the energization sticker.





Urban Applications for Services

SaskEnergy and SaskPower have been working on a process to streamline our customers application experience. Beginning February 17, 2015, you will be able to make application for gas and electric urban services by utilizing either one of the Crowns' websites. The information will be shared between the two Crowns using a secure file transfer protocol.

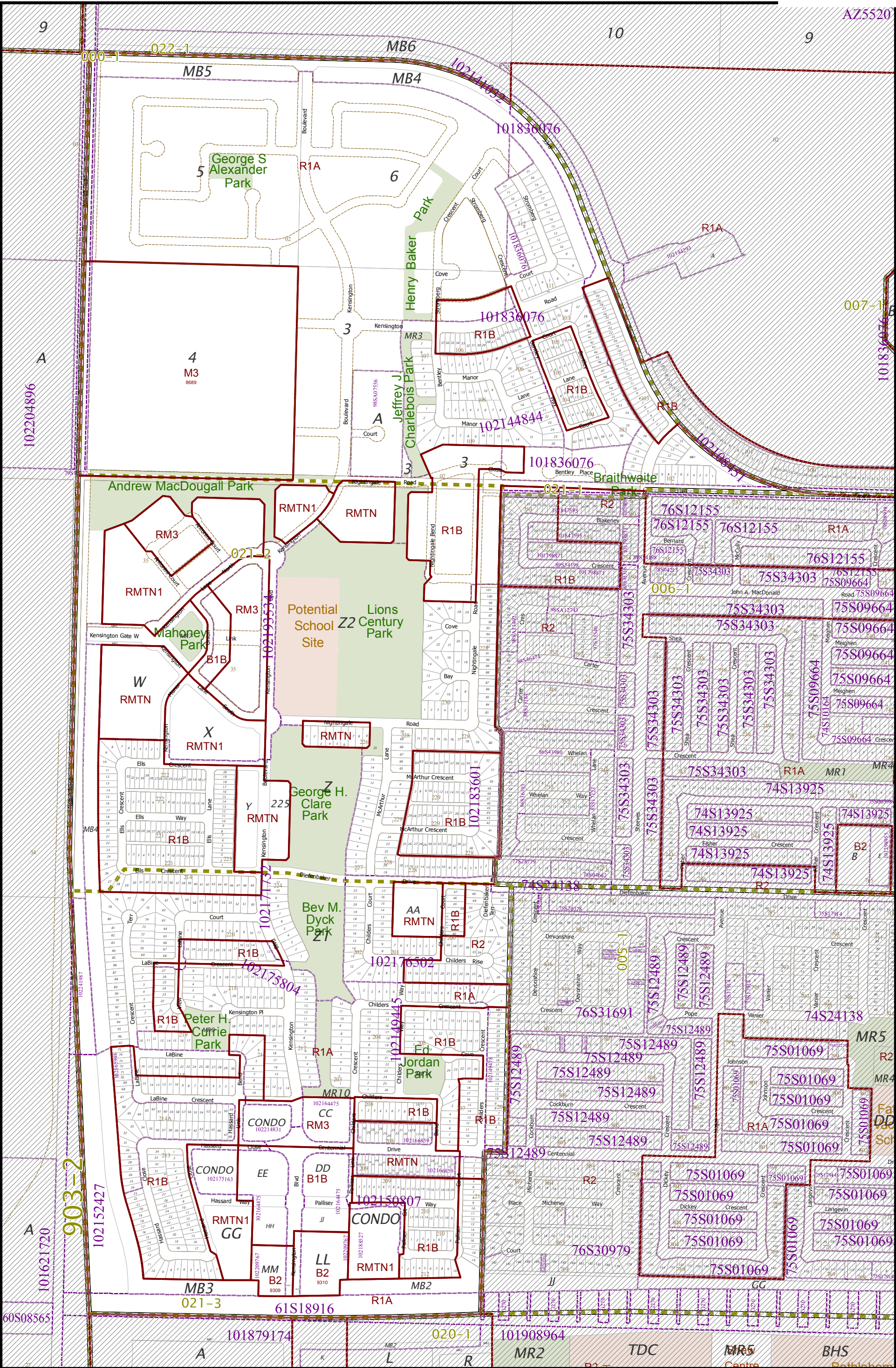
We encourage you to make application via SaskPower's website rather than SaskEnergy's. This will enable the Crowns to eliminate some manual processes that would otherwise occur when applying via SaskEnergy's website.

When you know the date that your property will be ready for servicing, you can make application to either SaskEnergy or SaskPower by the following methods:

- If you use SaskEnergy's application, please apply online at saskenergy.com
- If you use SaskPowers application, please apply online to saskpower.com or call 1-888-SKPOWER (1-888-757-6937) and select Option 4.
- For your telephone and cable providers (SaskTel, Shaw or Access) the conduit will be installed in the joint trench along with SaskPower and SaskEnergy. It is the responsibility of the homeowner to apply for telephone and cable service to one of these providers.

Even though Joint Installation is only being offered in Saskatoon, Regina, Warman, Martensville, and Dalmeny all urban applications for service will be shared between the crowns.





Zoning Map of Kensington



Note: The information contained on this map is for reference only and is not to be used for legal purpose

- Zoning Area
- ISC Blocks
- ISC Lots
- ISC Plan Boundary

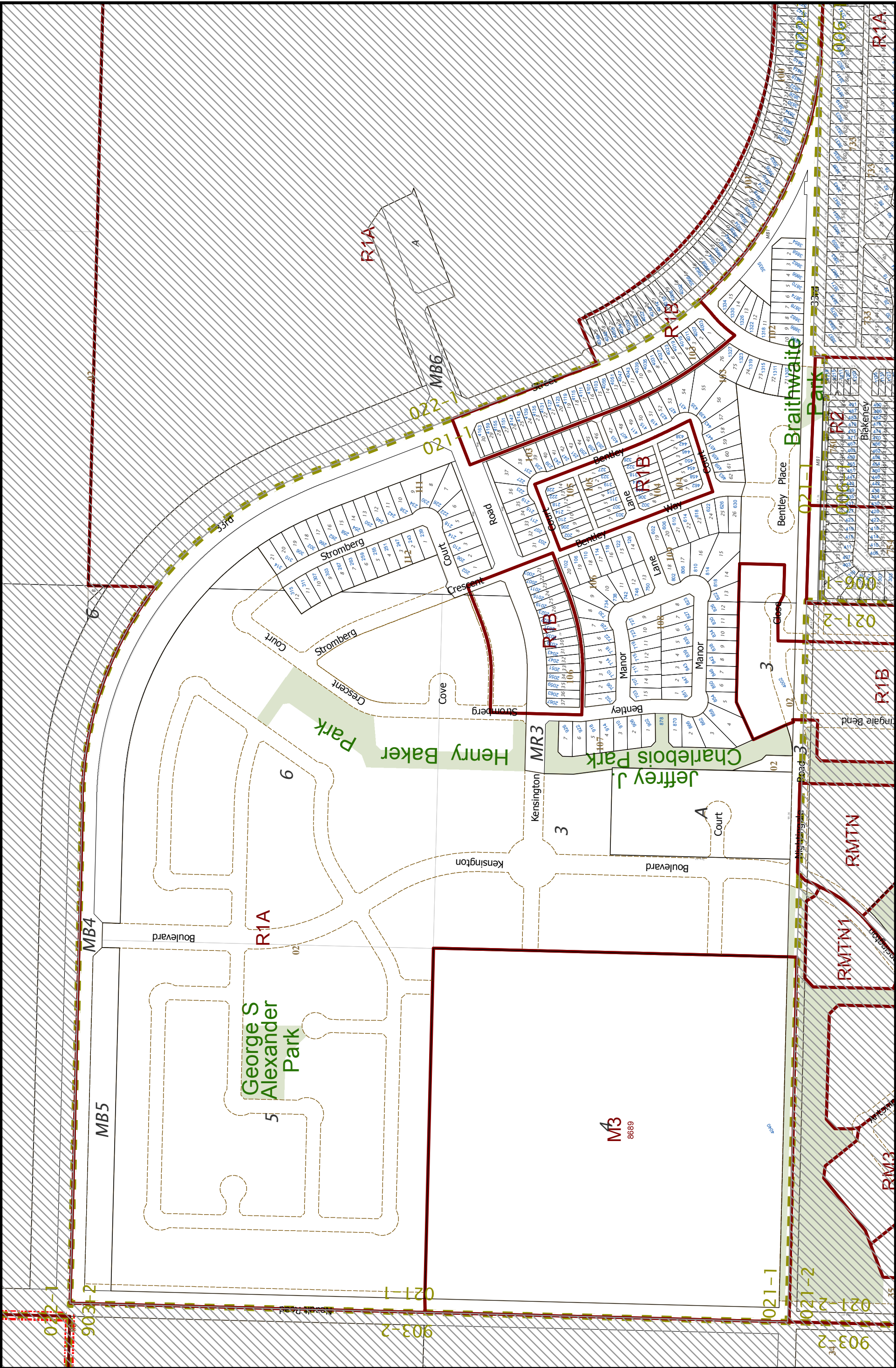
Bylaw 8770

Scale 1:6,800

021-0

Mar 29, 2017





Address Map of Kensington



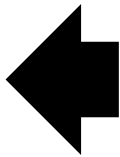
Note: The information contained on this map is for reference only and not to be used for legal purpose

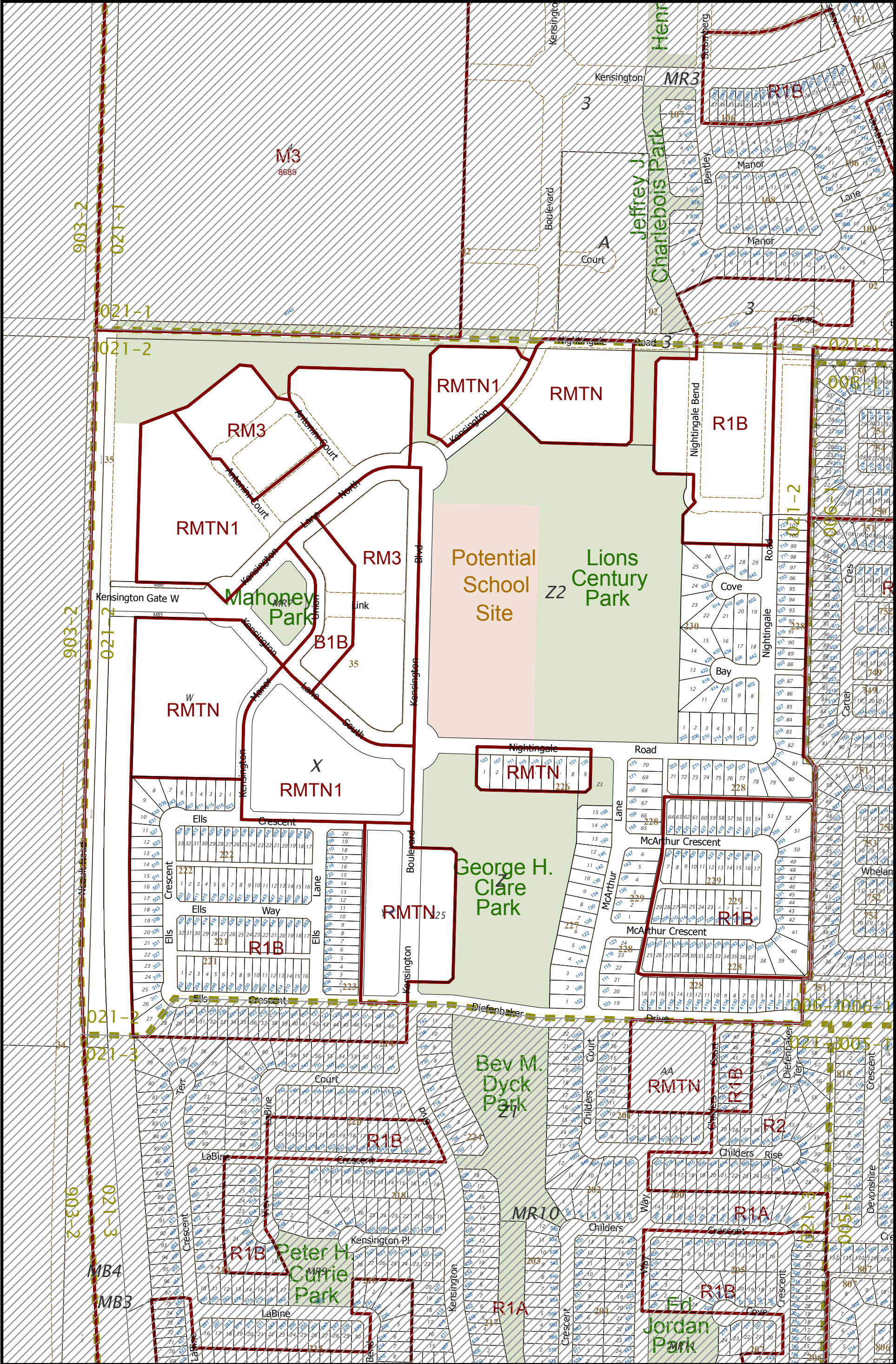
- Zoning Designation
- ISC Lots
- ISC Blocks

Scale 1: 4000

021-1

Mar 28, 2017





Address Map of Kensington



Note: The information contained on this map is for reference only and not to be used for legal purpose

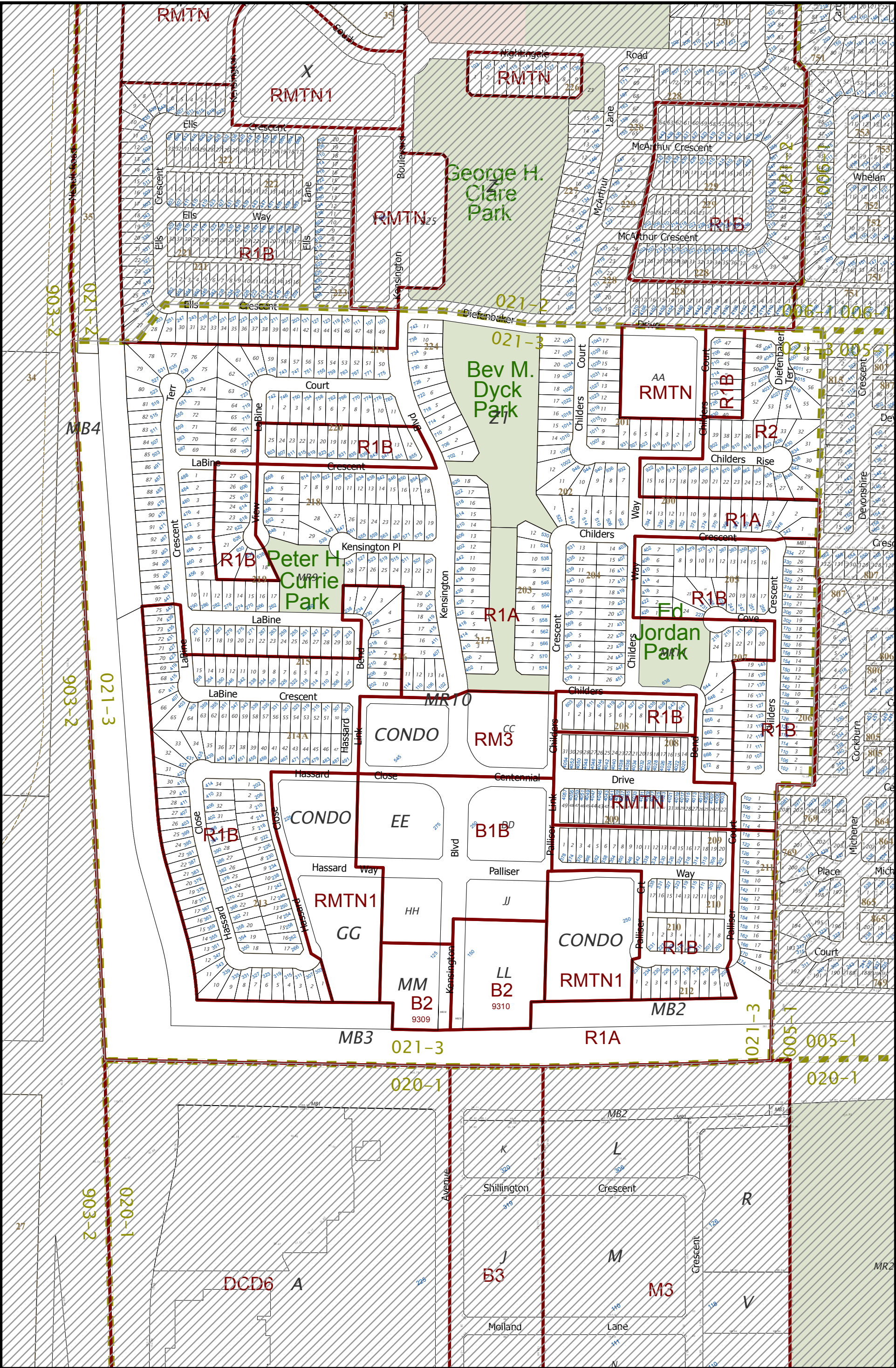
- Zoning Designation
- ISC Lots
- ISC Blocks

Scale 1: 4000

021-2

Mar 28, 2017





Address Map of Kensington



Note: The information contained on this map is for reference only and not to be used for legal purpose

- Zoning Designation
- ISC Lots
- ISC Blocks

Scale 1: 4000

021-3

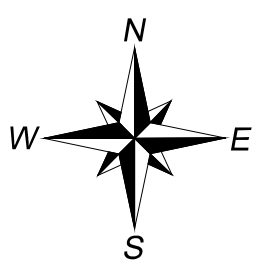
Mar 28, 2017



KENSINGTON CONCEPT PLAN

AMENDED FEBRUARY 29, 2016

ORIGINAL KENSINGTON
CONCEPT PLAN
APPROVED APRIL 2012



- SINGLE FAMILY DETACHED
- SINGLE FAMILY DETACHED (RESIDENTIAL CARE HOME)
- MULTI UNIT (STREET TOWNHOUSE)
- MULTI UNIT (GROUP TOWNHOUSE)
- MULTI UNIT (STACKED GROUP TOWNHOUSE)
- MULTI UNIT MEDIUM DENSITY (APARTMENT STYLE)
- MIXED USE (COMM/RES/INST.)
- COMMERCIAL
- POTENTIAL SCHOOL SITE
- MUNICIPAL RESERVE
- STORM WATER PARCEL
- BUFFER STRIP
- STORM POND
- CONCEPT PLAN BOUNDARY
- CITY LIMITS



NOTE: The information contained on this map is for reference only and should not be used for legal purposes. All proposed line work is subject to change. This map may not be reproduced without the expressed written consent of the Regional Planning, Mapping & Research Section.

DRAWING NOT TO BE SCALED
March 10, 2016

HWY 14

22nd Street



Lot Information Map - Phase 4

114 Lots: Diefenbaker Drive, McArthur Lane,
McArthur Crescent



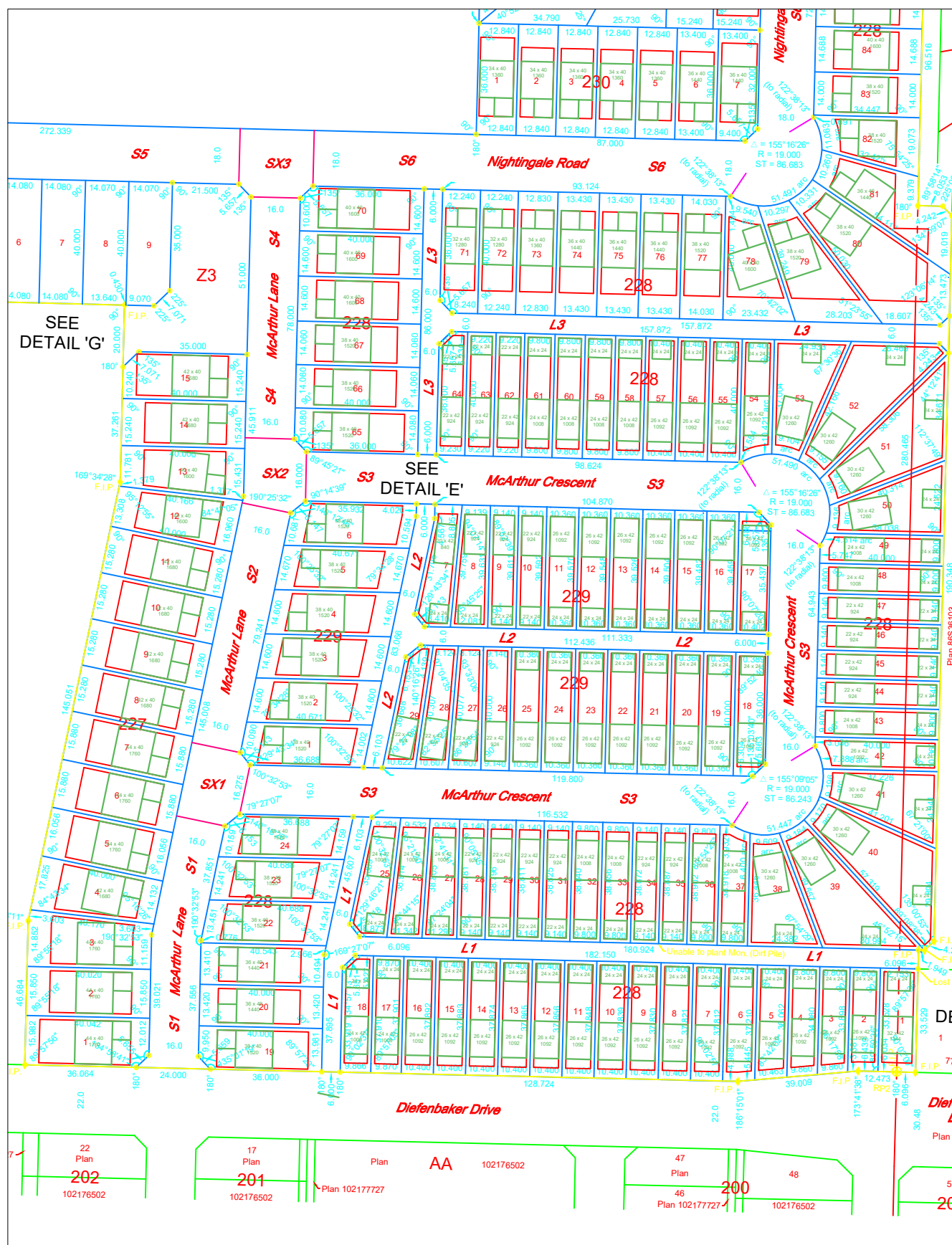
Note: This information is provided for informational purposes only. It is not intended to be used as a legal document. The City of Saskatoon does not warrant the accuracy of this information. The City of Saskatoon is not responsible for any errors or omissions in this information. The City of Saskatoon is not responsible for any damages or losses resulting from the use of this information. The City of Saskatoon is not responsible for any legal action taken against it in connection with this information.



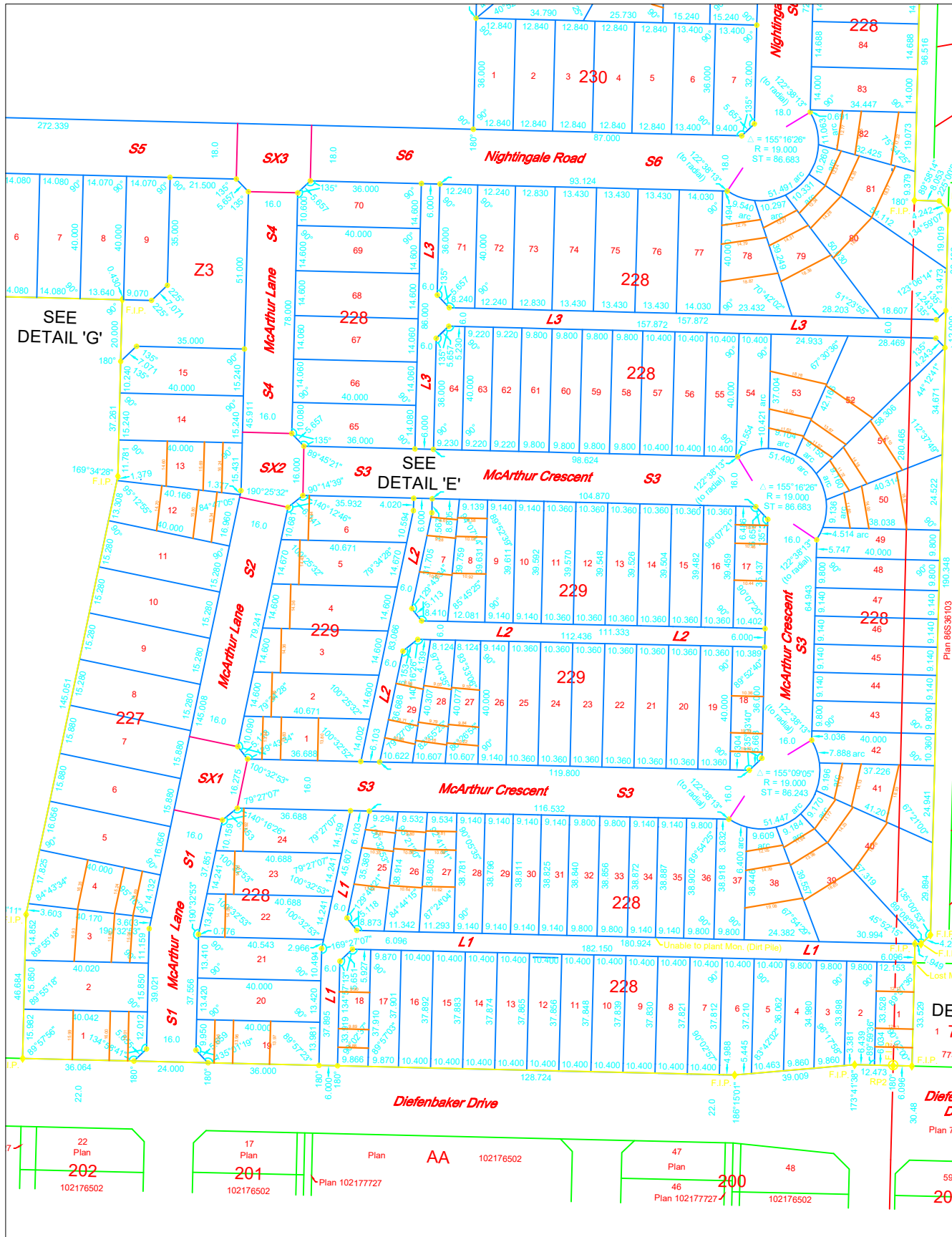
Legend

- | | | |
|---------------------|--------------------|------------------|
| Single-Family | Easement 3m | Fire Hydrant |
| Park | Easement 5m | Transformer |
| Landscaped Drainage | Walkout Basement | Service Pedestal |
| Open Space | Highly Visible Lot | Light Standard |
| School Site | Transit Stop | Lot Price |

Kensington Phase 4 Footprints



Kensington Phase 4 Lot Setbacks



Setbacks (6m, 12m, 24m)