



OBJECTIVES

Evergreen Village Centre Architectural Controls

Saskatoon Land's Evergreen Village Centre Architectural Controls are intended to provide a guiding document to facilitate an enhanced level of commercial and mixed-use development in the Evergreen Village Centre. These guidelines shall be used to assist in forming the basis of detailed site planning and building design for the Evergreen Village Centre area. Saskatoon Land's objectives for the Evergreen Village Centre area are outlined below.



- Creating a high-quality, commercial or mixed-use pedestrian-oriented amenity for residents of Evergreen and other nearby neighbourhoods.
- Facilitating the development of a vibrant commercial or mixed-use focal point within the Evergreen Village Centre area.

These guidelines are intended to supplement the City of Saskatoon's (City) Zoning Bylaw. All developments will be governed by the City's zoning regulations.

In the event there are contradictions between these two documents, the Zoning Bylaw shall take precedence.

EXTERIOR BUILDING MATERIALS & COLOUR

The use of a variety of different exterior building materials and colour are encouraged along street-facing building elevations to facilitate a vibrant pedestrian-oriented streetscape.

For developments that include multiple CRUs (commercial retail units), the use of varied material types and colour schemes for each unit is encouraged to give the appearance that each unit was developed separately.

Developments that include multiple CRUs which utilize consistent colour and material detailing for all units will also be permitted at the discretion of Saskatoon Land.



This example uses a combination of exterior building materials and colour schemes giving the appearance that each CRU was developed separately.



This example utilizes three different exterior building materials and three primary colours.



This example utilizes stucco with cedar trim accents and a three tone colour scheme.

BUILDING MASSING

Building massing must avoid long, continuous blank wall surfaces along street-facing building elevations. Building massing must create visual interest by using varied roof lines, heights, pitches and intermittent variances in plan and elevation to encourage shadow lines and to assist in breaking down the apparent mass and scale into well proportioned volumes.



This example demonstrates the use of varied roof lines and dormers which helps to break down the massing of the building.



This example utilizes several canopies and awnings which helps to break down the massing of the building.

BUILDING SETBACKS & ORIENTATION

Buildings must be street-oriented and shall generally be setback no more than 3 metres from the front property line.

Buildings may be setback further than 3 metres from the front property line where pedestrian amenity areas have been included, such as front patios, plazas or seating areas.



Pedestrian amenity areas are encouraged to facilitate a vibrant pedestrian environment.



Buildings should be positioned close to the front property line to help define the street edge, creating a comfortable pedestrian environment.



The use of patio areas are encouraged along street edges to help animate the public realm.

FENESTRATION, WINDOWS & DOORS

Buildings should incorporate frequent door and transparent window openings.

Blank walls without fenestration at street level or upper levels will not be permitted on building elevations that are visible from public space.

Primary building entrances must face Evergreen Square or Evergreen Boulevard. Secondary entrances may be provided off of the rear of the building.



This example utilizes frequent upper and grade level window openings, which provides a high degree of visual interest.



Building entrances are all oriented to the street edge, complementing the Evergreen Village Square Park, which is the neighbourhood's pedestrian focal point.



SITE LANDSCAPING

Boulevard landscaping and construction of the sidewalk adjacent to the site along Evergreen Square will be the responsibility of the successful purchaser.

Landscaping and sidewalk work must be completed to City standards and generally be consistent with the Evergreen Village Square Park.



Evergreen Village Square Park facing south.

PARKING AREAS

All off-street parking is encouraged to be provided at the rear of the building(s).

Off-street parking located along the side wall of a building may be permitted, provided that the parking area is appropriately buffered from the street.

In general, the use of curbed landscaped islands at the mid-points of each parking aisle or the end of each aisle are encouraged.



Curbed landscaped islands help buffer the presence of off-street parking spaces, while creating a more comfortable pedestrian environment.



Grooming & Pet Spa

SUBWAY

SECOND

34 HIGH STREET

726-

 **City of
Saskatoon**
Saskatoon Land

10.2 B1B – Neighbourhood Commercial – Mixed Use District

10.2.1 Purpose

The purpose of the B1B District is to facilitate mixed use development which may include a limited range of commercial and institutional uses, as well as medium density residential uses, that are generally compatible with residential land uses and which are intended to serve the needs of residents within a neighbourhood.

10.2.2 Permitted Uses

The Permitted Uses and Minimum Development Standards in a B1B District are set out in the following chart:

B1B District	Minimum Development Standards (in Metres)					
	Site Width	Site Area (m ²)	Front Yard	Side Yard	Rear Yard	Building Height (Max.)
10.2.2 Permitted Uses						
(1) Restaurants ₂	7.5	225	0	0 ₄	7.5	14 ₅
(2) Dwelling units or multiple unit dwellings in conjunction with and attached to any other permitted use ₁	7.5	225	0	0 ₄	7.5	14 ₅
(3) Retail stores ₂	7.5	225	0	0 ₄	7.5	14 ₅
(4) Personal service trades and health clubs	7.5	225	0	0 ₄	7.5	14 ₅
(5) Offices and office buildings	7.5	225	0	0 ₄	7.5	14 ₅
(6) Financial institutions	7.5	225	0	0 ₄	7.5	14 ₅
(7) Bakeries	7.5	225	0	0 ₄	7.5	14 ₅
(8) Shopping centres	7.5	225	0	0 ₄	7.5	14 ₅
(9) Medical clinics	7.5	225	0	0 ₄	7.5	14 ₅
(10) Dry cleaners	7.5	225	0	0 ₄	7.5	14 ₅
(11) Art Galleries	7.5	225	0	0 ₄	7.5	14 ₅
(12) Adult day care centres – Type I or II	7.5	225	0	0 ₄	7.5	14 ₅
(13) Photography studios	7.5	225	0	0 ₄	7.5	14 ₅
(14) Veterinary clinics	7.5	225	0	0 ₄	7.5	14 ₅
(15) Small animal grooming	7.5	225	0	0 ₄	7.5	14 ₅

10.2.3 Discretionary Uses

The Discretionary Uses and Minimum Development Standards in a B1B District are set out in the following chart:

B1B District	Minimum Development Standards (in Metres)					
	Site Width	Site Area (m ²)	Front Yard	Side Yard	Rear Yard	Building Height (Max.)
10.2.3 Discretionary Uses						
(1) Child care centres and pre-schools	7.5	225	0	0 ₄	7.5	14 ₅
(2) Lounges in conjunction with and attached to a restaurant ₃	7.5	225	0	0 ₄	7.5	14 ₅
(3) Private schools	7.5	225	0	0 ₄	7.5	14 ₅

10.2.4 Notes to Development Standards

- 1 Dwelling units or multiple unit dwellings shall not be located at grade.
- 2 The maximum building floor area of each restaurant or retail store on a site shall not exceed 325 square metres.
- 3 The floor area of a lounge shall not exceed 50% of the public assembly floor area of the adjoining restaurant or 100 square metres, whichever is less.
- 4 Where a B1B District abuts any R District without the intervention of a street or lane, a side yard shall be provided of a width of not less than 1.5 metres for the side yard abutting the R District.
- 5 The maximum building height shall not exceed 14 metres, and shall not exceed 3 storeys.

10.2.5 Signs

- (1) Except as provided in subsection (2), the regulations governing signs in the B1B District shall be those contained in Signage Group No. 2 of **Appendix A - Sign Regulations**.
- (2) Overhanging signs shall be permitted on the front face of a building in the B1B District.

10.2.6 Parking

- (1) The regulations governing parking and loading in a B1B District are contained in **Section 6.0**.
- (2) Notwithstanding any other provision of this bylaw respecting parking in a front yard, where a site has access to a lane, no parking shall be permitted in the front yard.
- (3) The number of parking spaces required in the B1B District may be reduced by the number of parking spaces provided on the street which will primarily serve the subject property. The determination of the number of on-street parking spaces to be credited to the subject property shall be at the discretion of the Development Officer.

10.2.7 Gross Floor Space Ratio

- (1) The gross floor space ratio shall not exceed 2.5:1.

10.2.8 Landscaping

- (1) Where parking is provided in a front yard, a landscaped strip of not less than 3 metres in width throughout lying parallel to and abutting the front site line shall be provided.
- (2) On corner lots a landscaped strip of not less than 1.5 metres in width throughout lying parallel to and abutting the flanking street shall be provided for that portion of the lot not covered by a building.
- (3) Where a site abuts any R District without an intervening lane, there shall be a strip of land adjacent to the abutting site line of not less than 1.5 metres throughout, which shall not be used for any purpose except landscaping.

10.2.9 Garbage Pickup Area

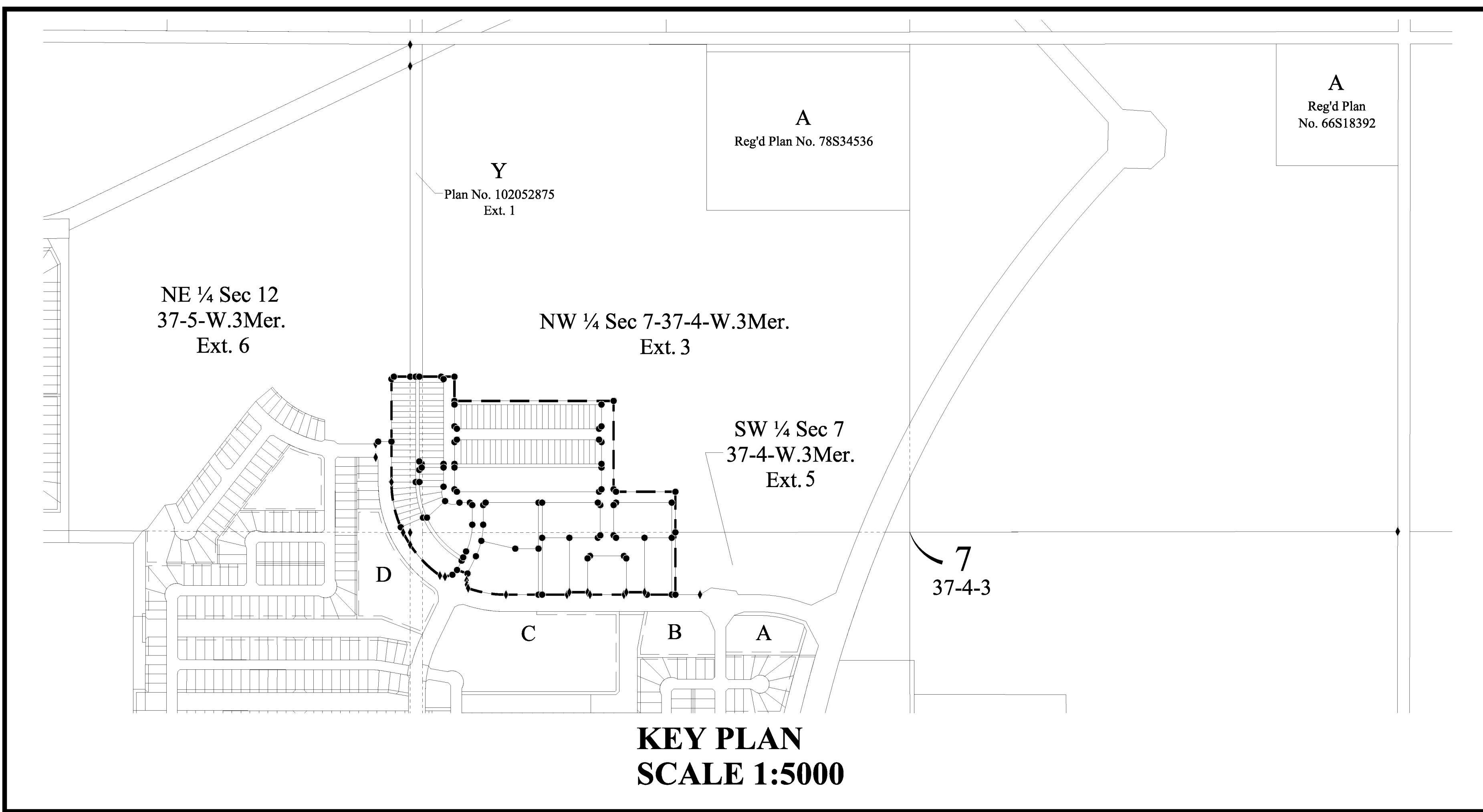
- (1) A space to be used exclusively for garbage storage and pickup, having minimum dimensions of 2.7 metres by 6.0 metres, shall be provided on each site to the satisfaction of the General Manager, Utility Services Department. The required loading and garbage pick up spaces may be combined where considered appropriate by the Development Officer.

10.2.10 Outdoor Storage

- (1) No goods, commodities or other form of materials shall be stored outdoors.

10.2.11 Grade Level Corner Building Cuts

- (1) On corner sites or where sites flank a registered lane, buildings with a front yard setback of 3.0 metres or less shall provide a corner cut at grade level so as to provide an unobstructed corner site triangle of not less than 3 metres.



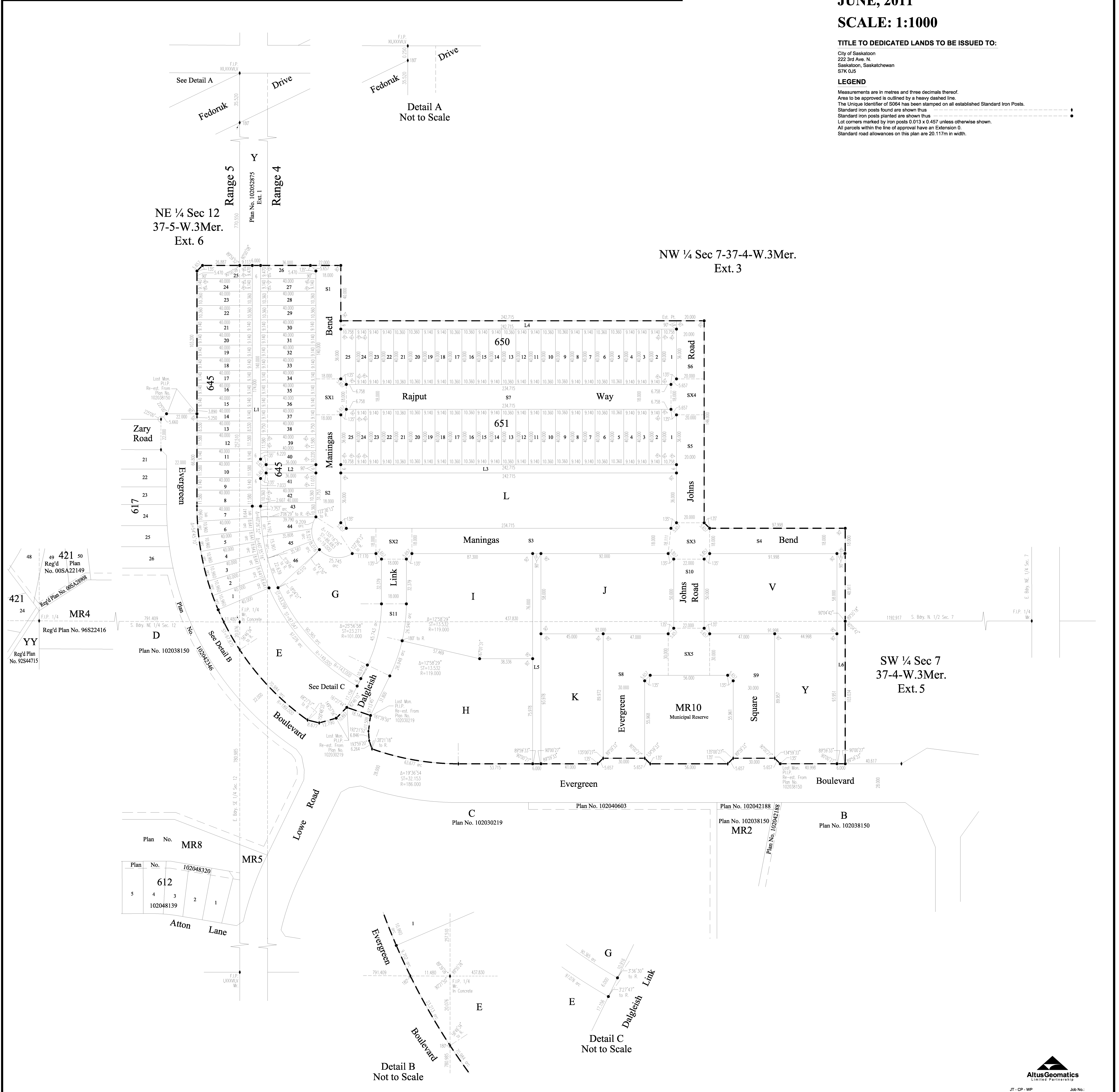
**EVERGREEN - PHASE III
PLAN OF SURVEY
SHOWING SURFACE SUBDIVISION
OF PART OF
PARCEL Y, PLAN No. 102052875,
NW. 1/4 SECTION 7,
& SW. 1/4 SECTION 7
IN TWP.37 - RGE.4 - W.3Mer.
AND
PARCEL B, REG'D PLAN No. 90S28009,
SE. 1/4 SECTION 12,
& NE. 1/4 SECTION 12
IN TWP.37 - RGE.5 - W.3Mer.
SASKATOON, SASKATCHEWAN
W.J. PETERS, S.L.S.
JUNE, 2011
SCALE: 1:1000**

TITLE TO DEDICATED LANDS TO BE ISSUED TO:

City of Saskatoon
222 3rd Ave. N.
Saskatoon, Saskatchewan
S7K 0J5

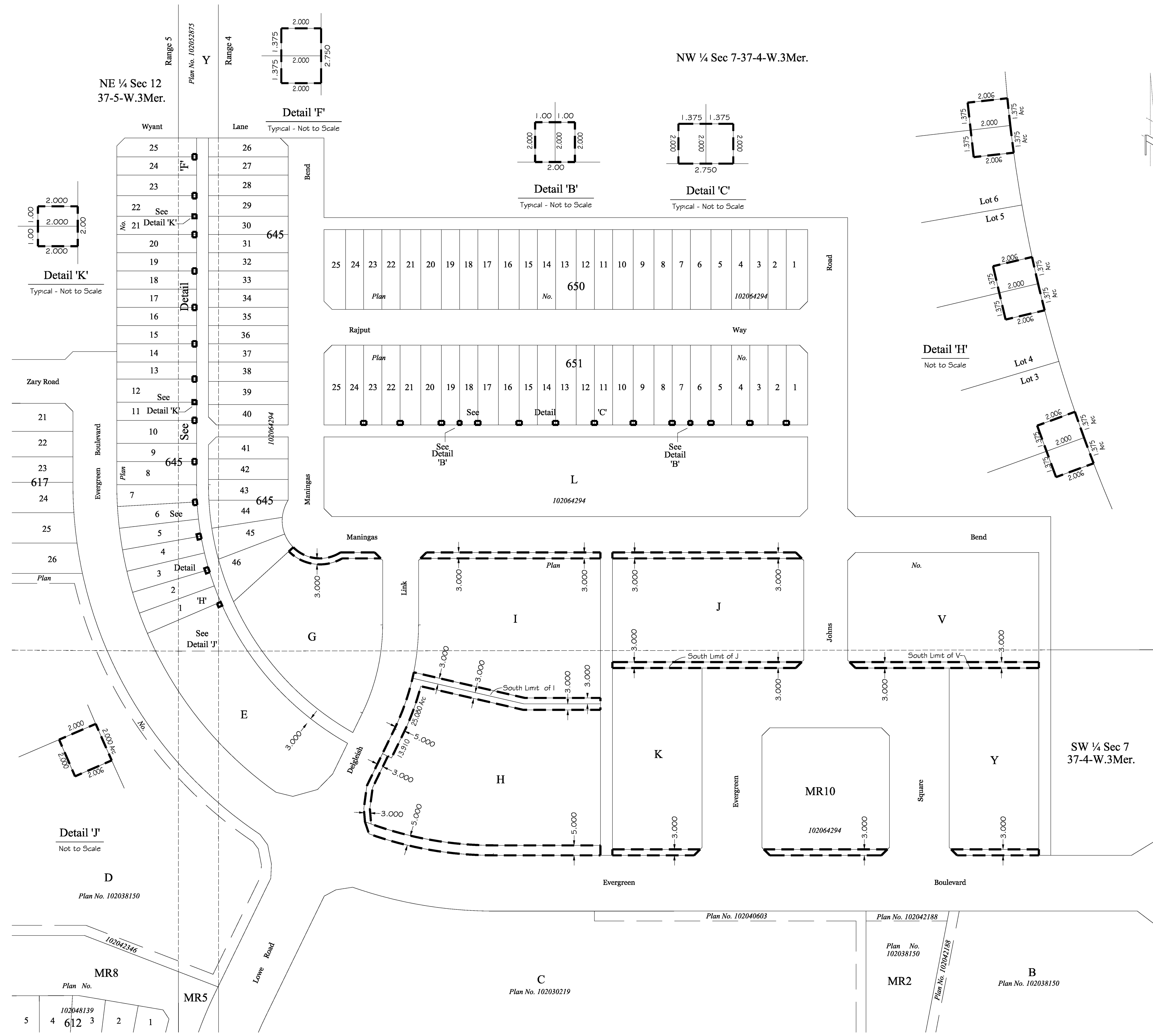
LEGEND

Measurements are in metres and three decimals thereof.
Area to be approved is outlined by a heavy dashed line.
The Unique Identifier of S054 has been stamped on all established Standard Iron Posts.
Standard iron posts found are shown thus
Standard iron posts planted are shown thus
Lot corners marked by iron posts 0.013 x 0.457 unless otherwise shown.
All parcels within the line of approval have an Extension 0.
Standard road allowances on this plan are 20.117m in width.



**DESCRIPTIVE PLAN - TYPE II
SHOWING
FEATURE UTILITY RIGHT OF WAY
THROUGH
LOTS 2-25 - BLOCK 645
LOTS 1-24 - BLOCK 651
PARCELS E, G, H, I, J, K, V, Y & MR10
ALL IN PLAN NO. 102064294
W 1/2 SECTION 7
TWP 37 - RGE 4 - W 3rd MER
SASKATOON, SASKATCHEWAN
ALTUS GEOMATICS
JULY, 2011
SCALE 1:1000**

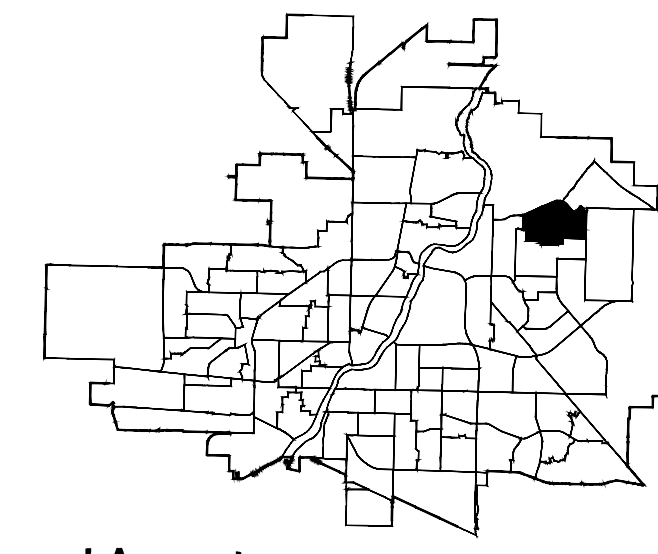
LEGEND
* Measurements are in metres and decimals thereof.
* Area to be approved is outlined by a heavy dashed line.
* All extensions of parcels affected by this feature are 0 unless otherwise shown.



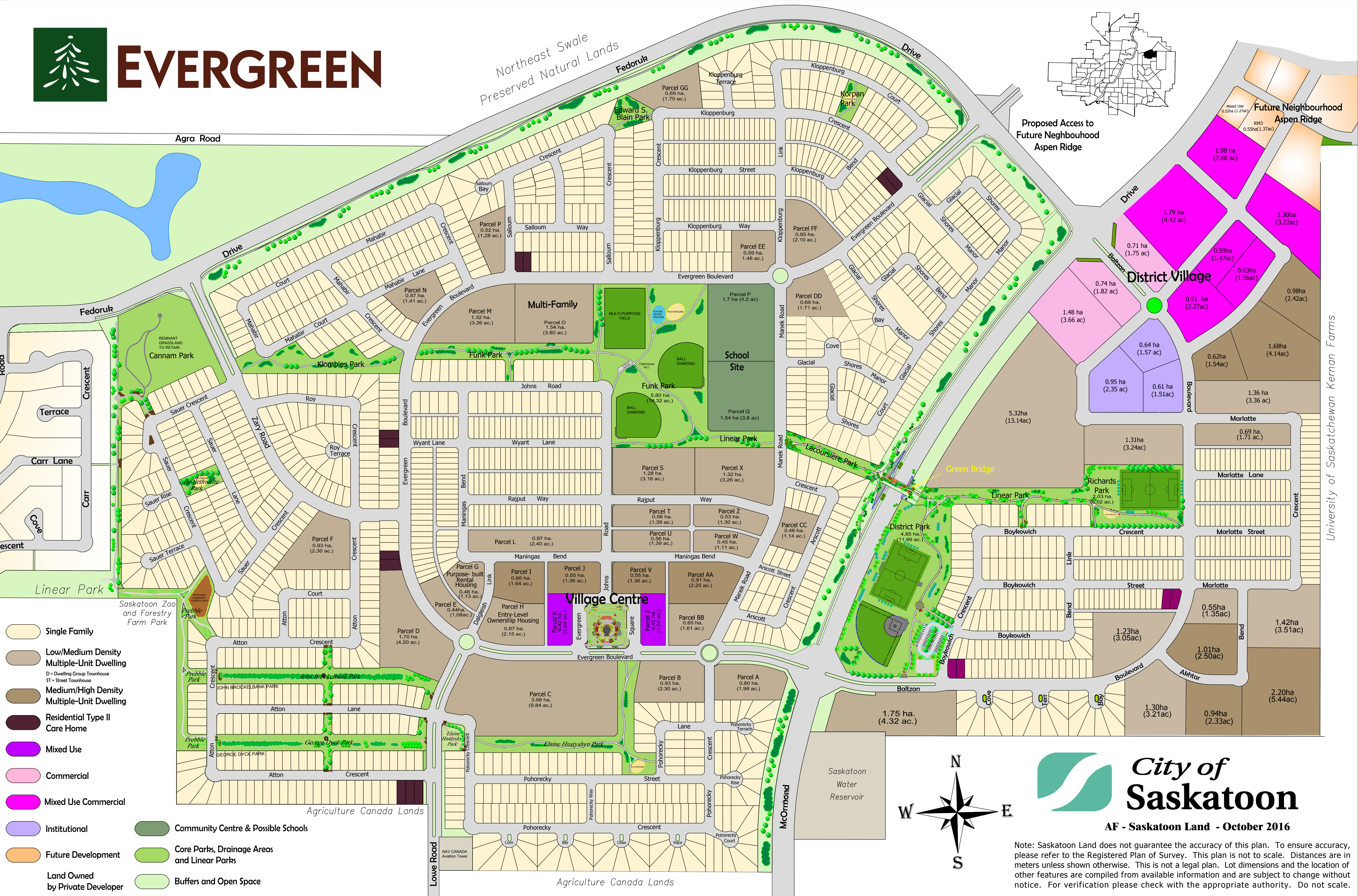


EVERGREEN

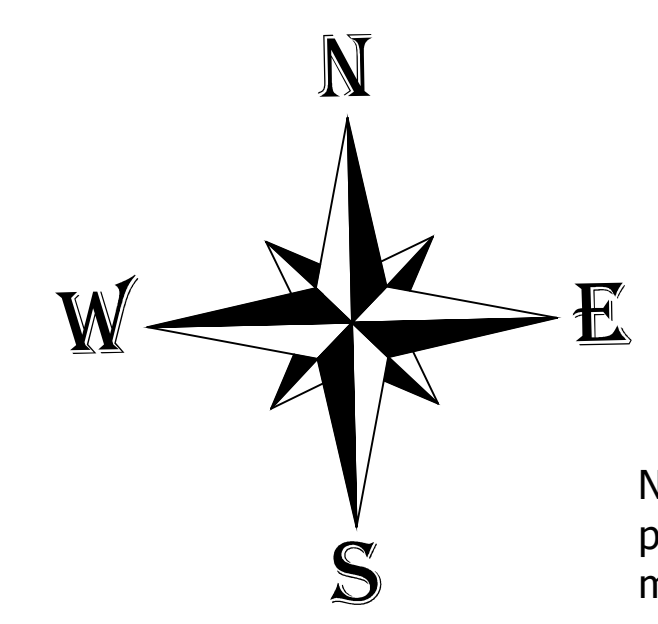
Northeast Swale
Preserved Natural Lands



Proposed Access to
Future Neighbourhood
Aspen Ridge



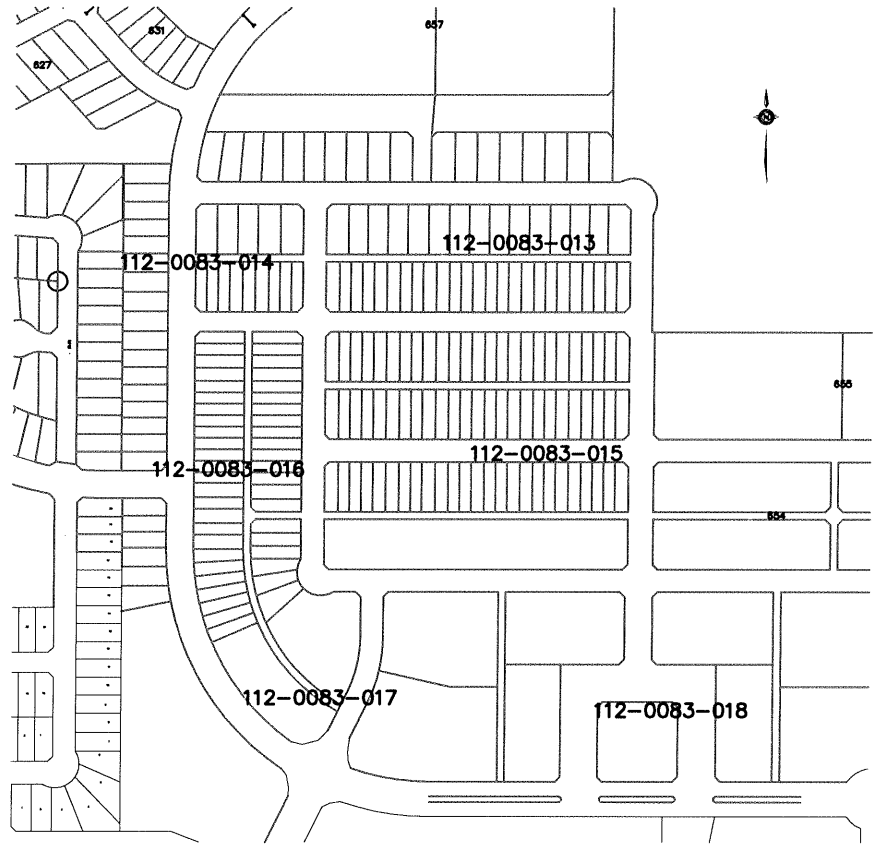
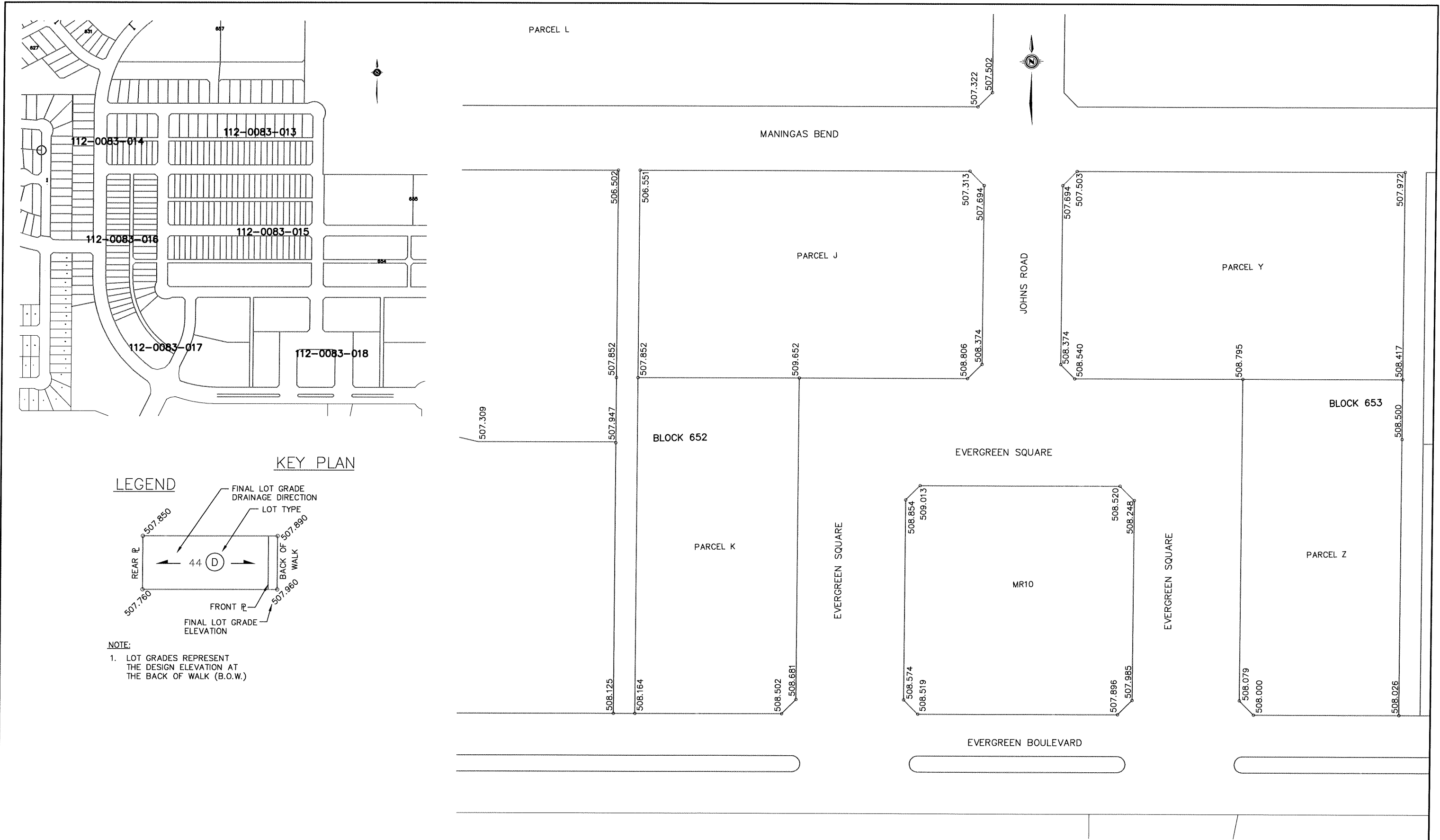
- Single Family
- Low/Medium Density Multiple-Unit Dwelling
- Medium/High Density Multiple-Unit Dwelling
- Residential Type II Care Home
- Mixed Use
- Commercial
- Mixed Use Commercial
- Institutional
- Future Development
- Land Owned by Private Developer
- Community Centre & Possible Schools
- Core Parks, Drainage Areas and Linear Parks
- Buffers and Open Space



AF - Saskatoon Land - October 2016

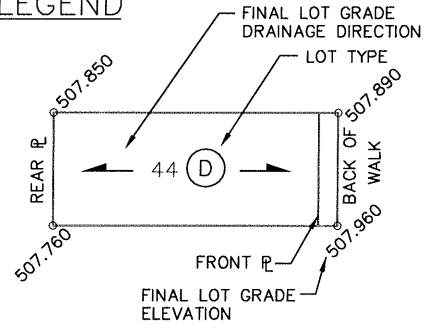
Note: Saskatoon Land does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Plan of Survey. This plan is not to scale. Distances are in meters unless shown otherwise. This is not a legal plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. For verification please check with the appropriate authority. Do not scale.

University of Saskatchewan Kernan Farms



KEY PLAN

LEGEND



NOTE:

- 1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

11			
10			
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2	REVISE LOT GRADE - PARCEL Z	2013-JUN-20	MJ
1	UPDATED STREET NAMES	2011-NOV-04	KAS
	PLAN DESCRIPTION/REVISION	DATE	BY

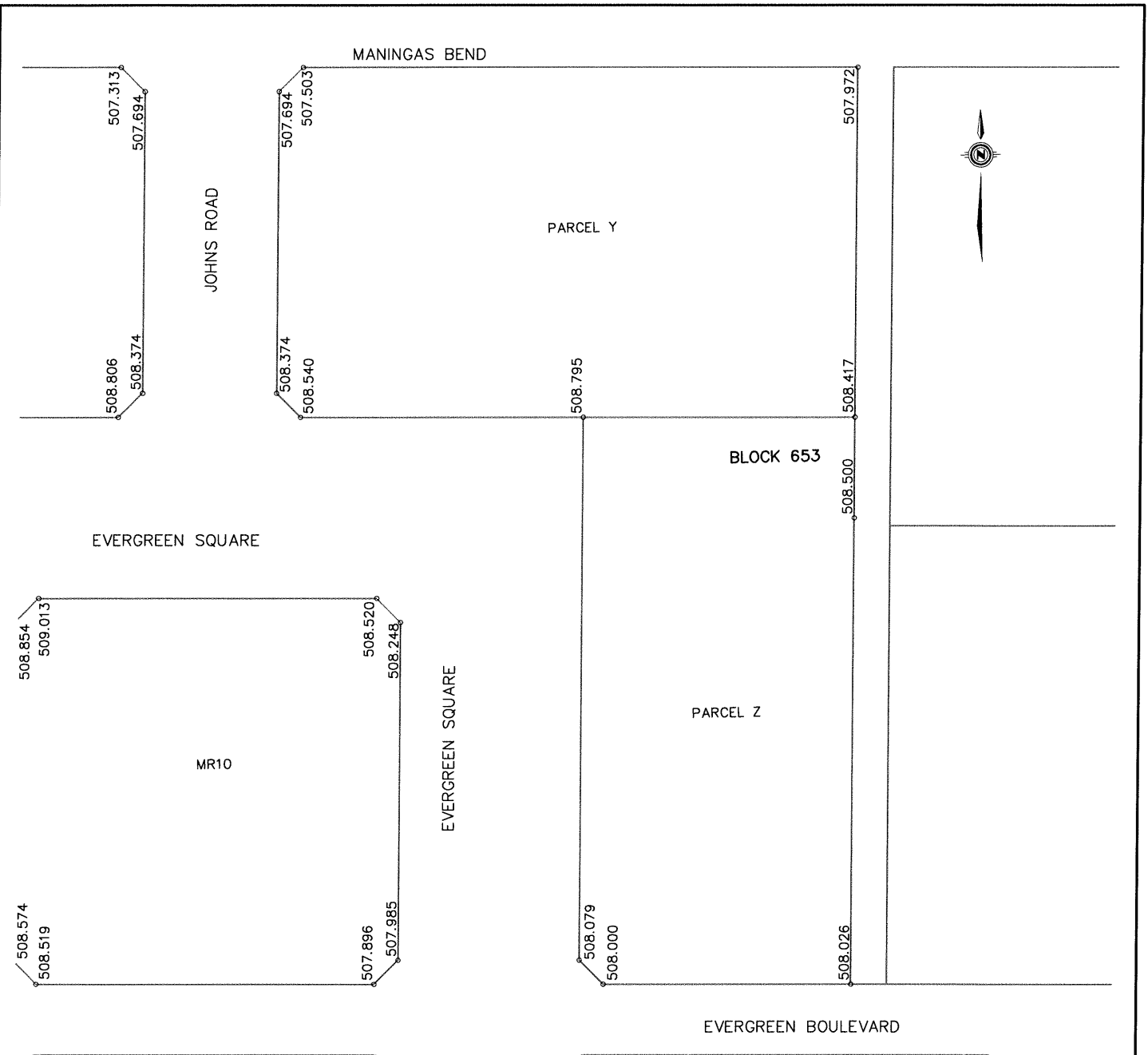
CONSTRUCTION & DESIGN	TRANSPORTATION	PUBLIC WORKS
ENGINEER	ENGINEER	ENGINEER
DATE	DATE	DATE
DRAWN BY: KAS	DATE: 2011-MAR-02	CHECKED BY: _____



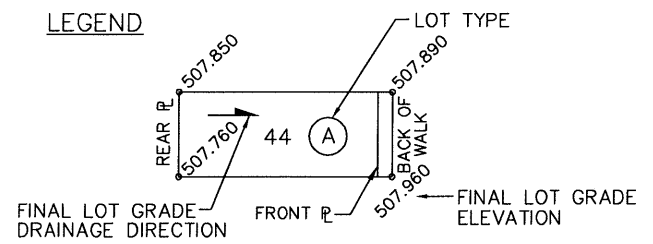
EVERGREEN ROADWAYS - PHASE C1

LOT GRADES
EVERGREEN BOULEVARD, ROAD, SQUARE,
& MANINGAS BEND

GENERAL MANAGER	DATE
SCALES:	
HOR. 1:1000	
VERT.	
SHEET NO.	PLAN NO.
	112-0083-018r003



LEGEND



NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

EVERGREEN BOULEVARD, SQUARE, JOHNS ROAD & MANINGAS BEND

DRAWN BY <u>KAS</u> DATE <u>2011-03-02</u>
SCALE: <u>1:1000</u>
PLAN No.:
PAGE: 10 OF 11



SOURCE DOCUMENT
PLAN No.: 112-0083-018r003
APPROVAL DATE:
REVISION DATE:



LEGEND:

- 0.25 CUT CONTOUR
- 0.25 FILL CONTOUR
- 0.0 0.0 CUT/FILL CONTOUR

NOTE:

AREA GRADING VOLUMES DERIVED FROM A VOLUMETRIC COMPARISON OF TOPSOIL STRIPPED GROUND vs FINAL EXCAVATION / EMBANKMENT GROUND

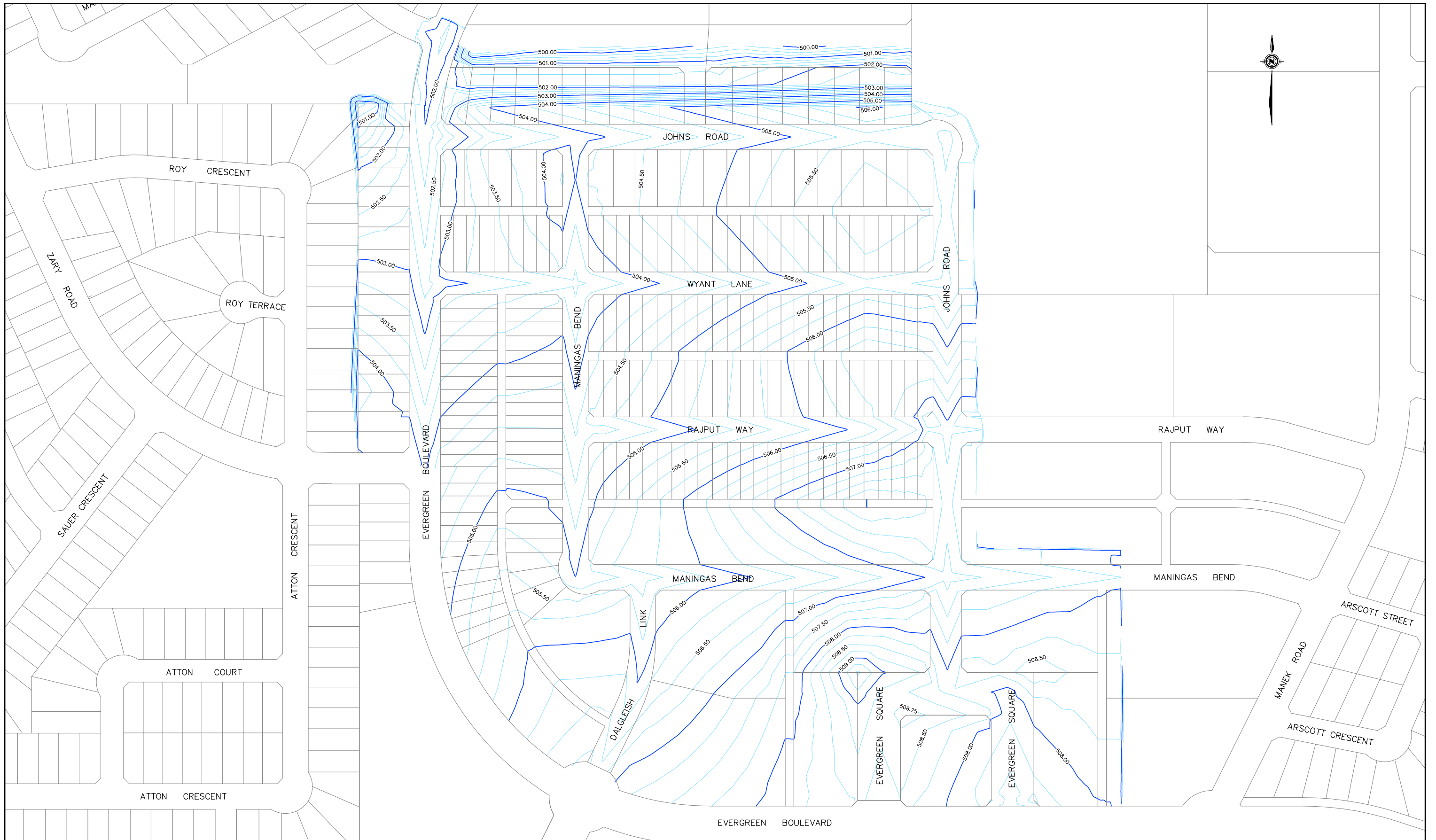
11			
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1	ISSUED FOR LOT SALE	2011-SEPT-27	CJP
	PLAN DESCRIPTION/REVISION	DATE	BY

CONSTRUCTION & DESIGN	TRANSPORTATION	PUBLIC WORKS
ENGINEER _____	ENGINEER _____	ENGINEER _____
DATE _____	DATE _____	DATE _____
DRAWN BY: CJP	DATE: 2011-SEPT-27	CHECKED BY: _____
		DATE: _____

City of Saskatoon
Infrastructure Services Department

EVERGREEN LAND DEVELOPMENT
EVERGREEN BOULEVARD & SQUARE
JOHNS ROAD, WYANT LANE, RAJPUT WAY,
MANINGAS BEND, DALGLEISH LINK
FINAL CUT / FILL CONTOURS

GENERAL MANAGER _____	
SCALES:	DATE _____
HOR. 1:2,500	
VERT. _____	
SHEET NO. _____	PLAN NO. _____



11			
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2			
1	ISSUED FOR LOT SALE	2011-SEPT-27	CJP
	PLAN DESCRIPTION/REVISION	DATE	BY

CONSTRUCTION & DESIGN	TRANSPORTATION	PUBLIC WORKS
ENGINEER _____	ENGINEER _____	ENGINEER _____
DATE _____	DATE _____	DATE _____
DRAWN BY: CJP DATE: 2011-SEPT-27		CHECKED BY: _____ DATE: _____



EVERGREEN LAND DEVELOPMENT
 EVERGREEN BOULEVARD & SQUARE
 JOHNS ROAD, WYANT LANE, RAJPUT WAY,
 MANINGAS BEND, DALGLEISH LINK
 DESIGN CONTOURS

GENERAL MANAGER _____	
SCALES: HOR. 1:2,500	DATE _____
VERT. _____	
SHEET NO. _____	PLAN NO. _____