

Lot Draw Addendum

For:

Parkridge Extension

Residential Lot Draw

NEIGHBOURHOOD: Parkridge

Addendum No.: 1.

Page: 1 of 2.

Date: May 15, 2015.

Addition to the original Lot Draw Package.

Parkridge Extension – Registered Feature Plan

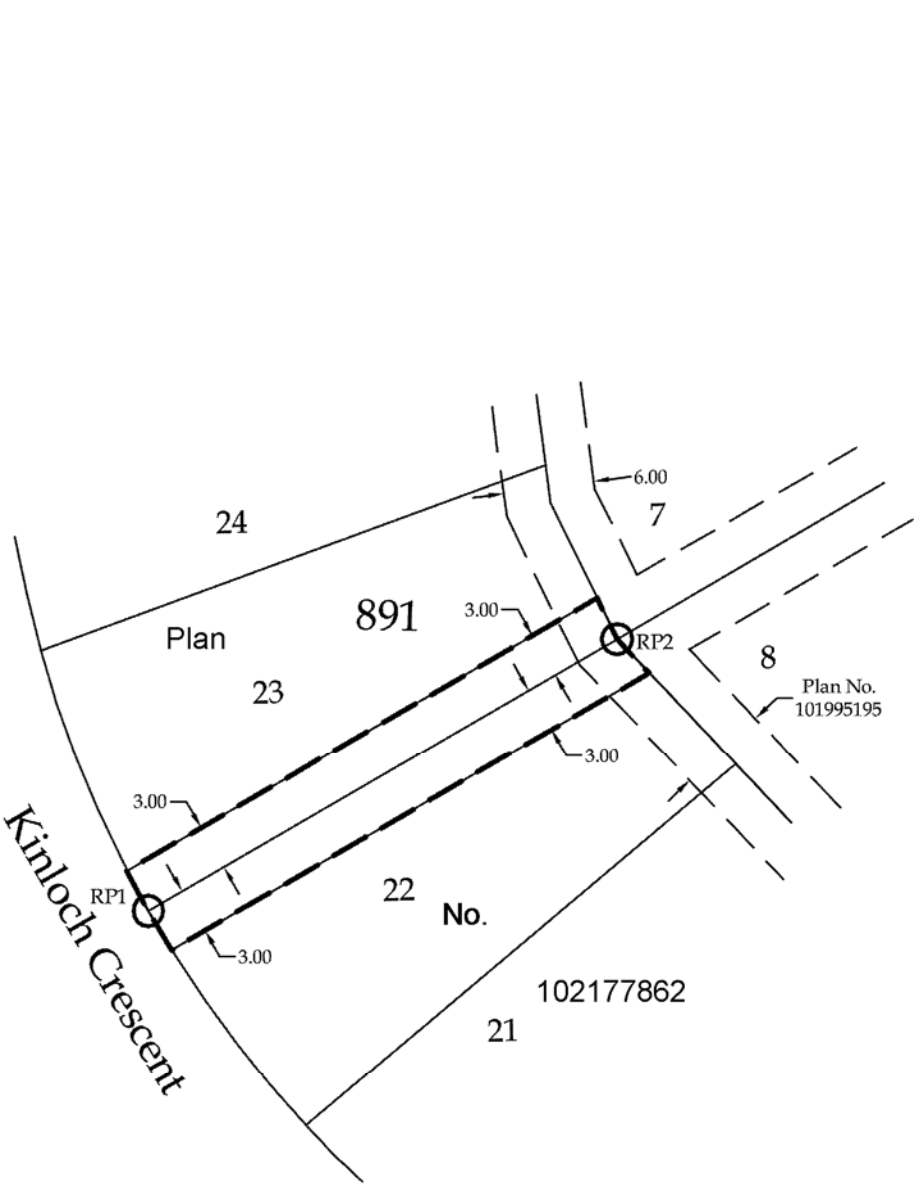
1. **An Additional Registered Feature Plan** - An additional registered feature plan indicating the location of a 3.0 meter easement that affects Block 891, Lots 22 and 23 is attached.

Note: The easement location is reflected on the Lot Information Map, however, was not indicated on the previous Registered Feature Plan.

PARKRIDGE

DESCRIPTIVE PLAN - TYPE II
SHOWING
FEATURE UTILITY RIGHT OF WAY

WITHIN
LOTS 22-23, BLOCK 891
PLAN NO. 102177862
S.W.1/4 SEC.26
TWP. 36 RGE. 6 W.3MER.
CITY OF SASKATOON
SASKATCHEWAN
BY: BLAKE WAHL, S.L.S.
DATE: MAY 4TH, 2015
SCALE: 1:500



LEGEND:
REFERENCE POINTS ARE SHOWN THUS: ○ RP1 ○ RP2

MEASUREMENTS ARE IN METRES AND DECIMALS THEREOF.
AREA TO BE APPROVED IS OUTLINED BY A HEAVY DASHED LINE.
EXTENSIONS OF PARCELS AFFECTED BY THIS FEATURE ARE 0 UNLESS SHOWN OTHERWISE.
THE DATUM USED: NAD83 (CSRS)
THE PROJECTION USED: UTM ZONE 13N EXTENDED
RP1: NORTHING 5775836.395 ; EASTING 379315.389
RP2: NORTHING 5775853.620 ; EASTING 379346.823
RP COORDINATES ARE DERIVED AS OF NOVEMBER 27TH, 2014
GEO-REFERENCED POINTS DERIVED FROM GNSS OBSERVATIONS AND PROCESSED WITH THE NRCAN PPP SERVICE.



City of
Saskatoon
Saskatoon Land

PARKRIDGE EXTENSION

LOT INFORMATION PACKAGE

174 Single Family Lots in the Kinloch and Fortosky Area

PARKRIDGE EXTENSION LOT INFORMATION PACKAGE

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- 1. Shallow Utility Servicing Information



LOCATION & AMENITIES

The extension of the Parkridge Neighbourhood is located south of Hart Road, east of Highway 7 and west of the previously developed portion of Parkridge. It is located in close proximity to the Blairmore Shopping Centre, the Shaw Centre and Bethlehem Catholic High School and Tommy Douglas High School.

The neighbourhood extension includes an additional three acres of linear park space connecting to the existing park and pathway system which extends east along Hart Road. A walkway to the north will also provide convenient pedestrian and cyclist access to the Blairmore Shopping Centre.



TERMS OF SALE

The City of Saskatoon sells residential lots to:

- individuals who have not purchased a lot from the City of Saskatoon within the last three years and who are purchasing a lot for the construction of their own personal residence; and
- home builders who are currently on the Eligible Contractor list.

a) Down Payment

At the time of lot selection, an Agreement for Sale will be entered into with a minimum down payment required of 13 percent of the total price of the lot plus GST on the price of the lot (less the \$3,000 deposit during lot draw process).

b) Interest

The interest rate will be set as the prime rate of interest on the date of the Agreement for Sale. Interest will be charged on the unpaid balance starting on the possession date, whether immediate or delayed. If an extension to the eight month term is required and granted, the interest rate would be five percent above the rate established in the Agreement for Sale.

c) Possession of Land

All 174 lots will be sold with immediate possession.

d) Paying the Balance

The full balance (principal plus interest) is due within eight months time from the latter of the Agreement for Sale date or the possession date. The balance may be paid early with interest charged up to and including the payout date.

e) Building Time Requirement

All lots purchased have a three-year time requirement to complete construction. Construction may begin once possession of the lot is granted, utility servicing is complete, and the roadways are completed to a gravel base. The three year build requirement will commence from the date of possession. Construction includes final building inspection and completion of all deficiencies within this three year time frame; if not met, no forgiveness of the mortgage will be granted. Contractors not meeting this requirement may be removed from the Eligible Contractors list.

f) Residency Requirement for Individuals Who Purchase a Lot

Individuals who purchase a lot must reside on the premises for a period of four years. The four-year period begins the same day title is transferred into the purchaser(s) name. The original purchaser(s) name must remain on title to maintain the four-year requirement.

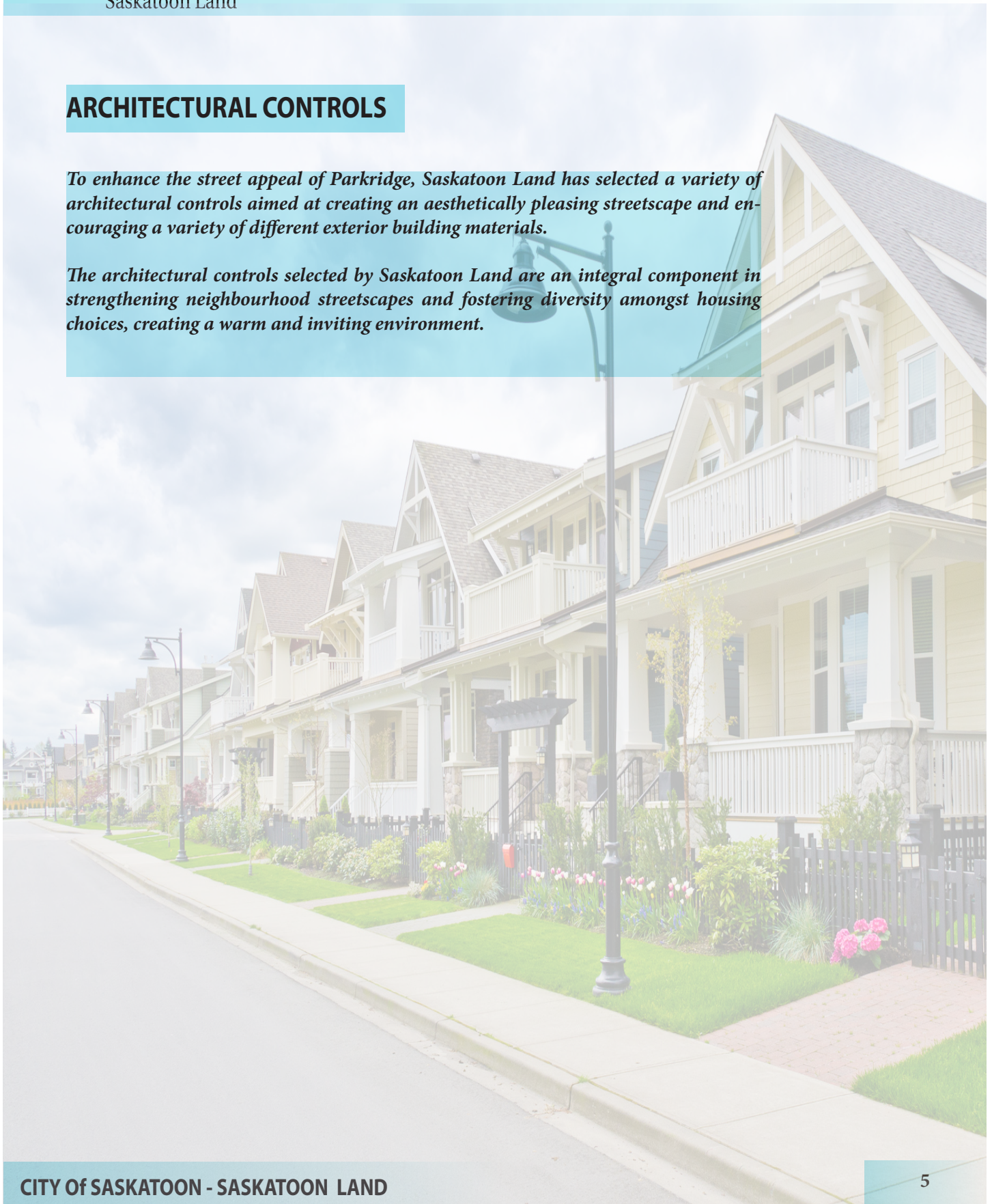
g) Forgivable Mortgage

A Forgivable Mortgage of \$50,000, will be held to enforce the build-time and residency requirements held by Saskatoon Land and will be registered against each lot sold to an Individual. Should the dwelling be completed within the required three years from the date of possession, the mortgage will be forgiven on a monthly basis over the final three years of the four-year residency period starting from the day Title is transferred into the individual purchaser(s) name.

ARCHITECTURAL CONTROLS

To enhance the street appeal of Parkridge, Saskatoon Land has selected a variety of architectural controls aimed at creating an aesthetically pleasing streetscape and encouraging a variety of different exterior building materials.

The architectural controls selected by Saskatoon Land are an integral component in strengthening neighbourhood streetscapes and fostering diversity amongst housing choices, creating a warm and inviting environment.



ARCHITECTURAL CONTROLS BY LOT TYPE

The Parkridge Extension features two lot types, Standard Lot - Attached Garage and Large Lot - Attached Garage. The architectural controls for each type are noted below:

Standard Lot - Attached Garage

a) All dwellings must be constructed with a minimum single-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 3.5 metres wide and 6.0 metres long; and

b) All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 50 square feet in area or a minimum of three exterior building materials with each material being no less than 25 square feet in area.

Large Lot - Attached Garage

a) No dwelling shall be constructed on any of the lots which has an above grade floor area (excluding attached decks, patios and garages) less than:

- i. 1,200 square feet in the case of a bungalow, bi-level or split-level dwelling
- ii. 1,500 square feet in the case of a two-storey dwelling;

b) All dwellings must be constructed with a minimum double-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 5.4 metres wide and 6.0 metres long; and

c) All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 100 square feet in area or a minimum of three exterior building materials with each material being no less than 40 square feet.

Highly Visible Lots

In addition to the controls noted above, corner lots and lots with a side-yard which flanks park or open space also require the following:

- i. On the side building wall, closest to the flanking street or park space, a secondary exterior building material is required, being no less than 40 square feet in area; and
- ii. On the side building wall, closest to the flanking street or park space, window and/or door placement shall be provided at an area no less than five percent of the area of the side building wall.

Garage Placement

One further control will also apply to all of the lots that indicates which side of the lot the garage must be placed. The garage sides are identified on the Lot Information Map (Figure 10).

Standard Lot - Attached Garage

- Lots 44 to 53, Block 890
- Lots 73 to 89, Block 890;
- Lots 20 to 40, Block 891;
- Lots 1 to 32, Block 892;
- Lots 1 to 7, Block 893;
- Lots 1 to 9, Block 894;
- Lots 1 to 11, Block 895;
- Lots 1 to 17, Block 896;
- Lots 1 to 10, Block 897

Large Lot - Attached Garage

- Lots 29 to 43, Block 890;
- Lots 54 to 72, Block 890;
- Lots 8 to 13, Block 893

Highly Visible Lots

- Lots 31, 43, 54, 73, 78 & 89, Block 890;
- Lot 40, Block 891;
- Lots 1, 21 & 32, Block 892;
- Lots 1, 7, 9 & 10, Block 893;
- Lots 1 & 9, Block 894;
- Lots 1 & 11, Block 895;
- Lots 1, 5, 13 & 17, Block 896;
- Lots 1 & 10, Block 897

EXTERIOR BUILDING MATERIAL REQUIREMENTS

Standard Lots:

All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 50 square feet in area or a minimum of three exterior building materials with each material being no less than 25 square feet in area.

Large Lots:

All dwellings require a minimum of two different exterior building materials on the front elevation with each material being no less than 100 square feet in area or a minimum of three exterior building materials with each material being no less than 40 square feet.

Note: Material types and areas must be clearly identified on the drawings submitted in support of your Building Permit Application. Failure to do so may result in delays to the approval of your Building Permit Application.



This home utilizes cedar shakes along the roof line and stone accent features near the garage edges, with the balance of the facade consisting of Hardie Board siding.



This home features board and batten siding along the dormers, stone accents along the veranda columns, with the balance of the front facade consisting of vinyl siding.

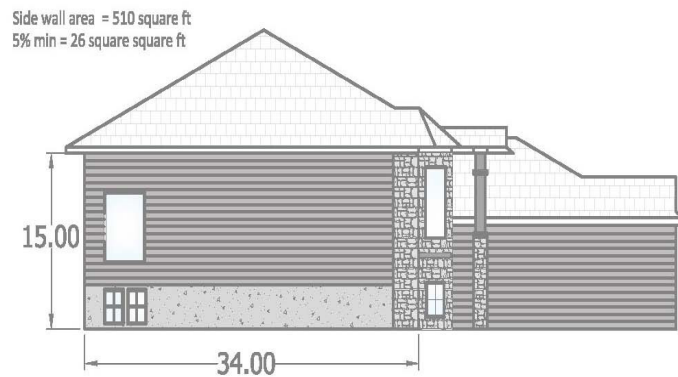
- Trim features may not be counted as a material. In order to be included towards the required material amount, the material must be visible from the front street. Material wrapped around a column or architectural feature, facing a side or rear yard will not count towards the required material total.
- The materials being used should be distinctly different and discernible from each other. Contrast with the trim materials and exterior building materials being used is also encouraged.
- Builders purchasing multiple lots adjacent to each other are encouraged to avoid repetition in colour and building styles.

HIGHLY VISIBLE LOTS - SIDE FACADE REQUIREMENTS

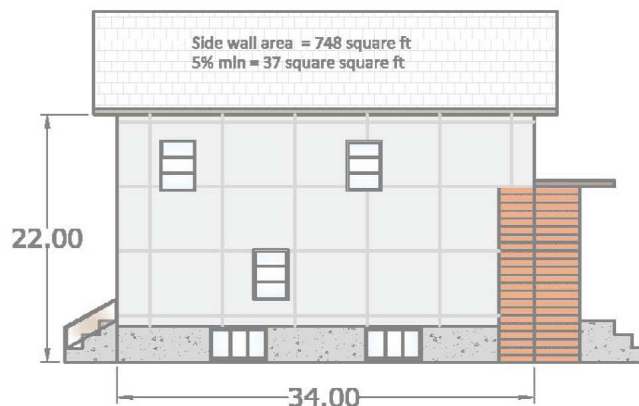
On the side building wall, closest to the flanking street or park space, a secondary exterior building material is required, being no less than 40 square feet in area.

On the side building wall, closest to the flanking street or park space, window and/or door placement shall be provided at an area no less than five percent of the area of the side building wall.

Illustrations of side building facade requirements are shown below:



50 square feet of stone is provided along the side building facade, which faces the flanking street. Three windows are provided along the side building wall having a total area of 32 square feet.



80 square feet of cedar plank is provided along the side building elevation which faces the flanking street. Five windows are provided resulting in a total window area of 75 square feet.

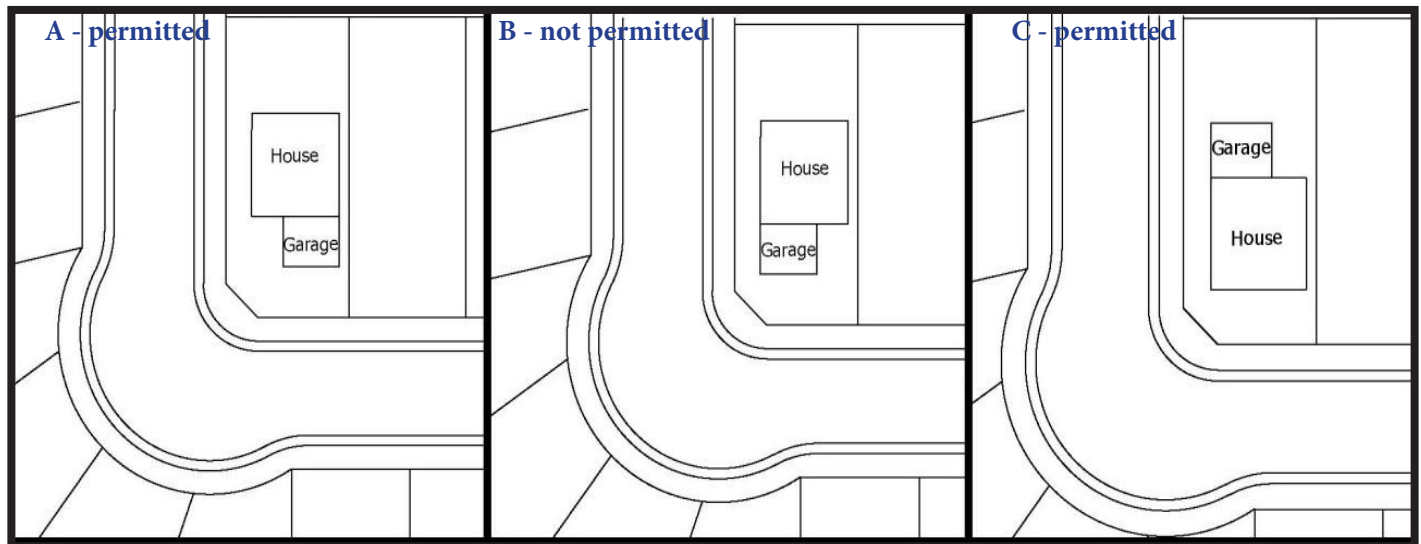
CORNER GARAGE PLACEMENT

All corner lots have the following caveat registered on title respecting garage placement:

The garage must be located on the side of the property that is furthest from the intersection.

Figure 1 demonstrates the permitted options (A & C) for the placement of an attached garage on a corner lot, attached to the front of the house furthest from the street corner or at attached to the rear of the house.

Figure 1 - Corner Lot Garage Placement



ZONING

A zoning map for Parkridge has been included in this Lot Information Package (Figure 11). If you require more information on zoning, please visit (www.saskatoon.ca) and search under “Z” for zoning or contact the Planning and Development Division at (306) 975 - 2645.

The lots within the Parkridge extension are zoned R1A and R1B District. Please consult the City’s Zoning Bylaw for the development standards of these two districts.

LOT GRADING

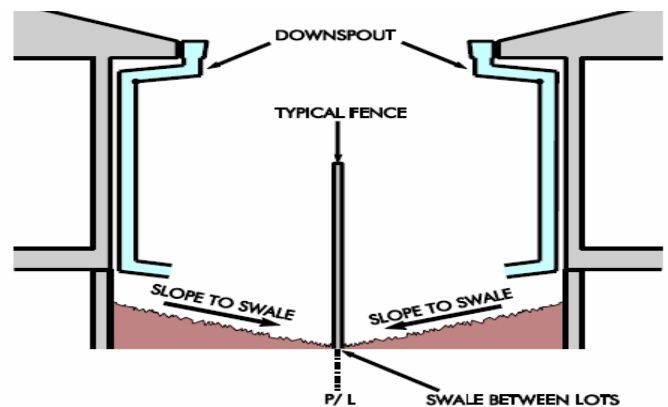
Lot grading is the sloping of the lot in order to provide good drainage away from building in such a way that surface runoff from rainstorms or snowmelt is directed toward storm sewers. Runoff is controlled through the use of side and back of lot swales to eliminate or minimize the impact on adjacent properties and to ensure proper overland drainage.

Complete development of all lots in an area may occur over a number of years and, unfortunately, some homeowners landscape their lot without proper consideration for the predesigned overland drainage pattern of the area. Early development does not preclude a homeowner's responsibility to maintain this drainage pattern. If the homeowner obstructs drainage in any way, thereby creating a flooding problem for neighbours upstream, that homeowner must correct the situation at their own expense. Similarly, a lot should not be landscaped below design grades otherwise flooding may occur.

Lot Grade Details

The following information has been prepared to assist the homeowner, builder and contractor in the setting the house elevations and final lot grades. Lot grade details are shown on the following sets of drawings in this package:

- Lot grade drawings – show the final design elevations at property corners and at other points that are deemed critical elevation points. It is important that builders and homeowners match these grades with final landscaping elevations. Identification of these elevations is required for building plan approval.
- Lot grading types D, A-D, D-A, C, C-D and D-C, including a three-dimensional view and side view of the grading type; and
- A drawing showing a cross section of a typical side yard fence and side yard grading that will not impede side yard drainage.



During the initial stages of subdivision development, all streets, easements, lanes, and walkways are pre-graded to design elevations set to accommodate drainage throughout the area. In the case of the utility easements, the grade is constructed approximately 100mm (4") below the final design grade, which allows the homeowner to add topsoil without creating drainage problems for neighbouring yards.

Once house construction is complete lot grading is a two-step procedure. The first step is the rough grade stage, which includes backfilling the foundation walls and shaping the lot to conform to the pregrade drainage plan. When rough grading is complete the lot should be within 7 to 20cm below the final design grade to allow for the addition of topsoil. Once the lot is at the final design grade, sod, decorative rock, wood chips, or other surface treatments can be installed. It is strongly recommended that lot owners consult a legal surveyor or other qualified professional to set the final grade elevations before landscaping is started.

Grading Between Lots

A sloped surface is required to effectively drain water away from the foundation walls, including under steps and decks in order to reduce the risk of water entering the basement during rainfalls or snowmelt. Drainage swales are shallow sloped channels intended to move surface runoff away from lots toward the storm sewers. Drainage swales are located on common property lines and graded in accordance with the drainage plan for the affected lots as shown on the lot type drawings included in this package.

If decorative rock or wood chips are to be used in the swale the grade below this treatment must be at the final grade elevation to facilitate proper runoff to the storm sewer.

Lot Grading Do's and Don'ts

Do's:

1. Do require construction plans to include finished grade elevations around the house foundation and along property lines. **Do not leave your house and site grading to chance.** Building Standards requires the submission of the lot corner elevations on the site plan submitted for building permit approval. It is strongly recommended that the plans also include finished elevations along the foundation and garage grade beam, garage slab, foundation windows, side property lines, edge of driveways and sidewalks (particularly along the side of the house), and the top and bottom of any retaining feature.
2. Do use a level to set the finished grades along the property line, particularly before installing sidewalks and fencing.
3. Do discuss with adjacent property owner's final drainage grades along the property line. Proper lot drainage requires co-operation of adjacent homeowners.
4. Do undertake a final site inspection of easements, side yard and sidewalks with each sub-trade prior to releasing final payment.
5. Please **disregard** any grade information displayed on electrical pedestals and transformer boxes.

Don'ts:

1. Don't excavate into the easement or berm. These contain critical utilities vital to the neighbourhood.
2. Don't fill the rear easement, as this will block the intended drainage.
3. Don't build raised flowerbeds against the fence/property lines without making provisions for drainage (see attached plans).
4. Don't try to build HIGHER than both adjacent neighbours. This leads to expensive provisions for retaining walls, and frequent flooding of neighbouring properties.

For more information, please contact Gerald Prefontaine, Drainage Inspector, Transportation and Utilities at 306-975-2320.

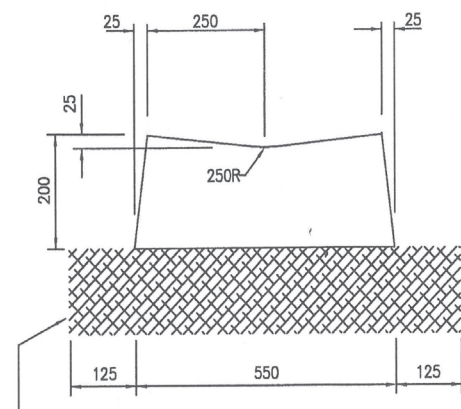
BACK OF LOT - CONCRETE DRAINAGE SWALE

A concrete drainage swale will be constructed along the back of **Lots 2 to 20, Block 892**. The swale is 0.8 metres in width and is part of a registered 1.5metre back of lot drainage easement. The concrete swale will be constructed in late Spring 2015. The north edge of the concrete swale begins 150mm inside the rear property line of the respective lots. On the lot grade drawings (Figure 5), there are final lot grades illustrated for the top edge of the concrete drainage swale, where your landscaping grades from the rear of your house will meet the concrete swale.

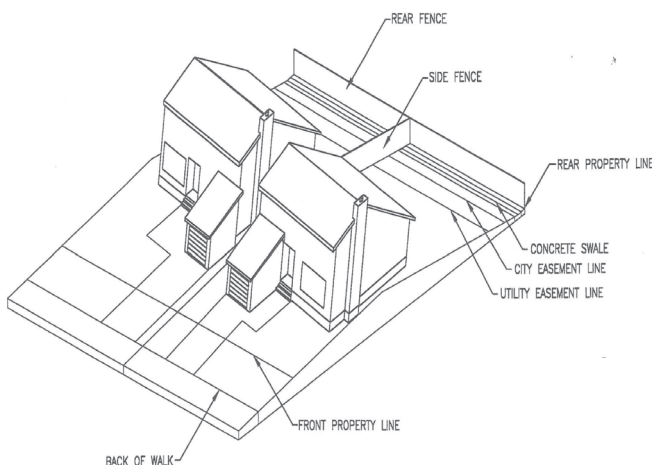
The concrete drainage swale is an integral component of the drainage system for the lots within the immediate area. This swale will direct overland storm water flow from the east edge of the swale to the storm pond. Lot owners need to ensure that this concrete swale is never blocked. Please take precautions during landscaping and fence construction to ensure that you do not cause storm water flooding.

Do not block the concrete storm water drainage swale.

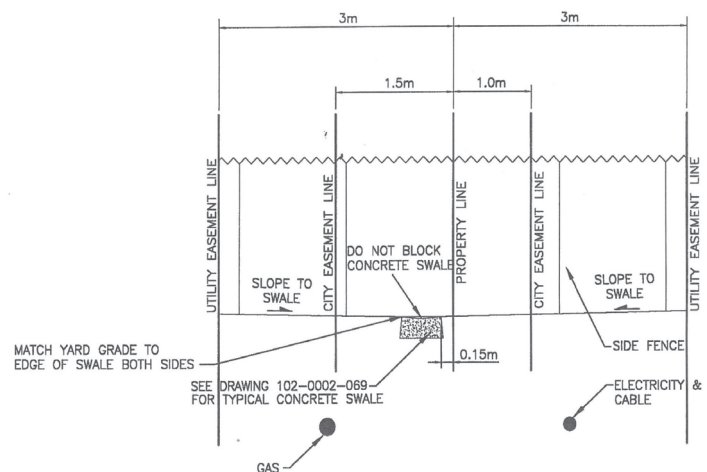
Please ensure that the grades within the drainage easement are not disturbed and construction materials, including excavations, are not stored in this location. Any costs to regrade the drainage easement or to remove construction materials from the easement will be charged to the lot owner. Illustrations of the drainage swale are shown below and on the right side of this page.



Concrete Swale - Construction Profile



Concrete Swale Typical - Rear Yard



Concrete Swale - Side Yard Fence

FOUNDATION DRAINAGE

a) Foundation Drainage (Weeping Tile) Requirements

- i. The bottom of every exterior foundation wall shall be drained as per the National Building Code.
- ii. Connection of foundation drains of all buildings to the sanitary sewer collection system will not be permitted.

b) Discharge of Foundation Drainage Water

- i. All buildings are required to drain foundation water into a sump, which in turn discharges the water to the surface or to a storm sewer.

c) Surface Discharge

- i. Sump pumps discharging to surface may not discharge directly onto a pervious ground surface within one metre of any building that has a basement or a level below the finished ground surface.
- ii. The location of the point of discharge shall be directed away from adjacent properties.
- iii. If the lot drains from the front and to the back (Type D), surface discharge may be either the front or back yard. If the lot drains from the back to the front (Type A), surface discharge must be to front yard.
- iv. The discharge may not be into the area of the required side yard setback unless the side yard is adjacent to a street, park or buffer strip.

d) Discharge to Storm Sewer

- i. Sumps discharging to storm sewers shall be pumped to the main by a pressure service connection as per detailed drawings Sump with Pumped Discharge to Storm Sewer, Detail Drawing 102-0025-002-r004.

e) Sump Design Criteria - Sump Pit Details

- i) As per National Building Code 9.14.5.2, sump pits are to be a minimum of 750 mm deep and 0.25 square metres in area.
- ii) Sump pit is to be fitted with a tight fitting removable cover.
- iii) Sump pit will be constructed of concrete, plastic, or non-corrosive metal.
- iv) Sump pit is to be fitted with an opening to accept a 100 mm drain with the invert of the pipe located above centre of the sump pit height.
- v) Sump pit is to be placed on an even, well compacted surface.

f) Foundation Drainage (Weeping Tile) to Sump Pit

- i) A weeping tile collection system shall be provided around the building perimeter and tied to a sump pit using a positively graded, non-perforated, 100 mm pipe which discharges into the side of the pit.
- ii) Provision shall be made to ensure soil gas is prevented from entering the dwelling unit through the weeping tile and through the sump pit.

g) Sump Pump

- i) Provide a sump pump (column of submersible type) capable of pumping 50 L/m at three metres of head.
- ii) The pump shall be fitted with an automatic on/off level control.
- iii) The pump discharge must have a minimum pipe diameter of 32 mm. The pipe must be adequately secured.
- iv) Sump pumps connected directly to a storm sewer must be equipped with a spring check valve and a shut-off valve located downstream of the check valve, so that the connection to the main can be isolated for maintenance, etc.

CONSTRUCTION NOTES

Starting Construction

Possession of the site is granted for construction purposes when the down payment has been received and the Agreement for Sale is finalized. In order to assist the utility companies, please post your civic address at the front of the property when construction begins.

Landscaping of City Boulevards

It is the homeowner's responsibility to landscape and maintain the boulevard along both the front of their property and along the side of corner lots. Boulevards are defined as the landscaping space between the edge of the roadway and the property lines. Where the sidewalk is attached to the curb, the boulevard is the space between the edge of the sidewalk and the property line. Where the sidewalk is not attached to the curb, the boulevard also includes the space between the curb and the sidewalk. These areas are to be landscaped and maintained by the homeowner at their expense.

Boulevard Tree Planting

The Community Tree Planting Program was established in 1991 through the use of pre-paid levies from the sale of lots. This program plants 30mm (1.2") caliper trees on boulevards in recently developed neighbourhoods. Streets are selected for this Program based on a review of newly developed areas. We consider the number of lots that are developed and are up to a grade. This review is completed the season prior to planting. The Plant by Request Program is also available to residents to request to have a tree planted in an available planting site on the boulevard. This program plants 30mm (1.2") caliper trees. For the Plant by Request Program, please contact Urban Forestry, Community Services at 306-975-2890.

Earth Disposal

Contractors and individuals will be responsible for disposing of their own excess earth material. The clean fill and topsoil sites are located north of the 33rd Street West. If arrangements are made with another landowner to dispose of the material anywhere within the city limits, they are to contact Central Dispatch at 306-975-2491 and they will maintain a log of locations. If disposing of material outside the city limits within the RM of Corman Park, the RM must be notified of those arrangements.

Please ensure basement excavations and all other construction waste materials are not deposited on adjacent properties or any other properties in this area without prior arrangements being made.

Regular inspections of the area will be done and any individual or company found illegally disposing of materials on properties without the owner's permission shall be liable of fines up to \$25,000 as outlined in City of Saskatoon Waste Bylaw No. 8310 and the Anti-Dumping Bylaw No. 5713.

Figure 2 - Clean Fill Site Location



Disclosure of Adjacent Property Owners

Please note in order to facilitate discussions between property owners respecting lot grading, fencing issues and property maintenance issues, Saskatoon Land will, upon request, disclose the names of purchasers to adjacent property owners.

Construction Waste

As per City of Saskatoon Bylaw No. 8310, The Waste Bylaw 2004, any owner or contractor carrying out the construction of a building on any property shall place all waste into a waste container or enclosure. The owner or contractor shall dispose of all waste resulting from the construction in a timely manner so as to ensure there is no unreasonable accumulation of waste on the property during the construction.

It is required that a waste disposal bin remain on each building site for the duration of construction in order to ensure that the waste is not dispersed on or around the property or surrounding properties during construction. Upon completion of the construction it is the owner or the contractor's responsibility to clear the site of all waste. If the waste is not removed the City may remove the waste and the costs of doing so will be charged to the property owner or contractor.

Temporary Water Circulation Boxes

To ensure water quality is maintained through the initial stages of development in this phase; temporary water circulation boxes are installed. The locations of these temporary water circulation boxes are identified on the attached map. These temporary water circulation boxes are removed during the installation of the water and sewer connection to the house. For more information, please contact the Construction and Design Division at 306-975-2454.

Nearby Multi-Family Development

In late 2015, Saskatoon Land will be tendering two multi-family sites located along Hart Road to the north. Both sites are zoned RM2 District (Low/Medium Density Multiple-Unit Dwelling District). It is anticipated that both sites would accommodate townhouse style developments in a dwelling group format.



FENCING

a) Decorative Aluminum Fencing

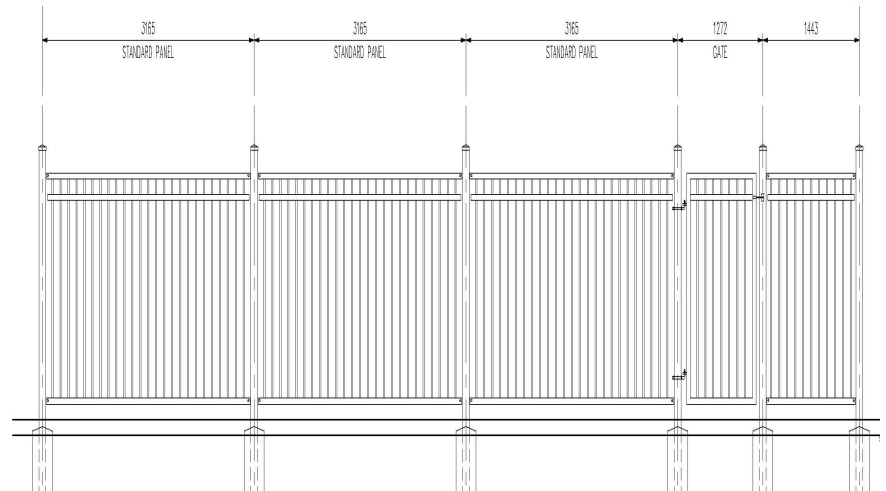
Decorative aluminum fencing will be installed along the rear yards of the following lots:

- Lots 64 to 71, 80 to 89, Block 890
- Lots 30 to 32, Block 892
- Lots 1 to 9, Block 894
- Lots 1 to 11, Block 895
- Lots 6 to 10 & 14 to 17, Block 896
- Lots 1 to 9, Block 897

Decorative aluminum fencing will also be installed along the side yards of the following lots:

- Lot 89, Block 890
- Lot 1 & 32, Block 892
- Lot 9, Block 894
- Lot 1 & 11, Block 895
- Lot 5 & 17, Block 896
- Lot 1, Block 897

Figure 3 - Parkridge Aluminum Fencing



The aluminum fencing will be installed .25 metres inside the homeowners property line. Along the side yards, the aluminum fencing terminates approximately 24 metres from the front property line. From finished grade to the top of the post caps, the aluminum fence is 1.75 metres in height.

Construction of the fence is anticipated in late Spring 2015.

b) Chain-link Fencing

Black chain-link fencing will be installed along the rear yards of the following lots:

- Lots 37 to 40, Block 890
- Lot 44 to 53, Block 890
- Lots 57 to 63, Block 890

The fence will be installed .15 metres inside the homeowners property. Construction of the chain-link fencing is anticipated in late Spring 2015.

SHALLOW UTILITY SERVICING INFORMATION FOR NEW RESIDENCES

Crown Utility Corporations recently introduced a new joint servicing initiative that includes the installation of gas, electric and communications in a common trench from the main line to the dwelling. This approach achieves efficiencies for the installation of the service lines and addresses the challenges associated with space constraints.

Please see Attachment 1, which includes information on shallow utility servicing and a site check readiness sheet, which lists the items required prior to the installation of services to your home. For further information on your shallow utility services, please contact the appropriate utility agency.

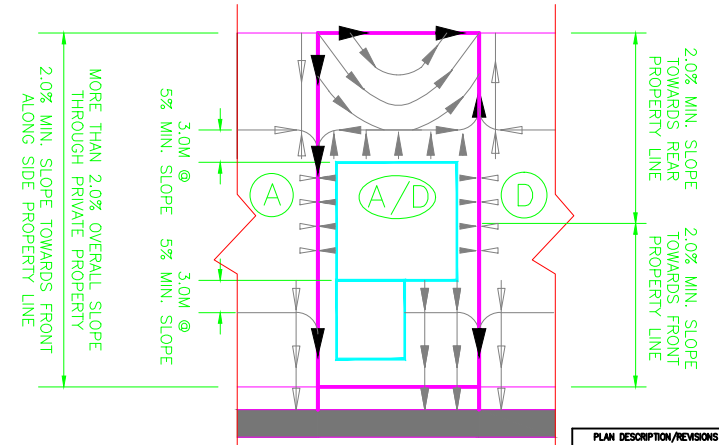
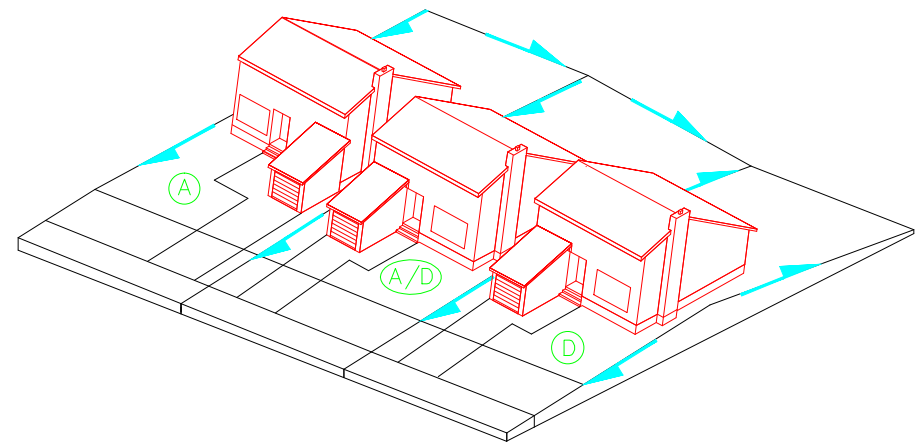
SITE ACCESS

Southbound access from Hart Road, through the Multi-Family Sites is prohibited. Access to the lots is available through the road network only.



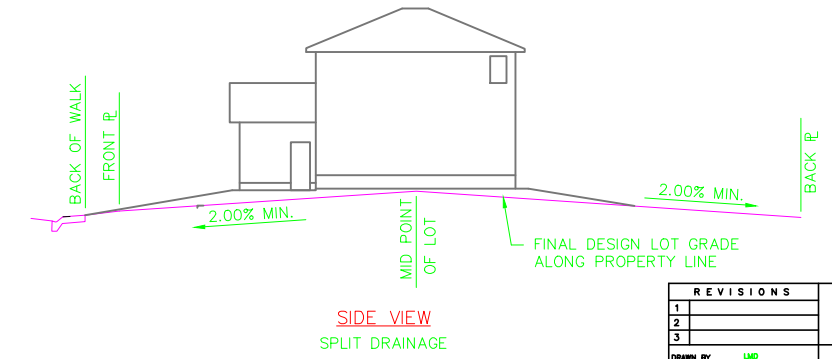
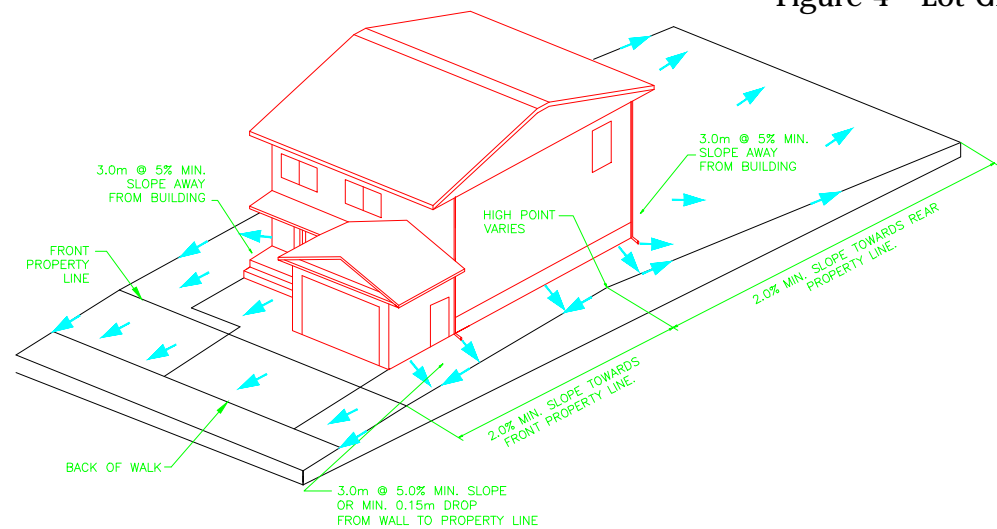
**Shaw Centre, Tommy Douglas Collegiate,
Bethlehem Catholic High School**

Figure 4 - Lot Grade Types

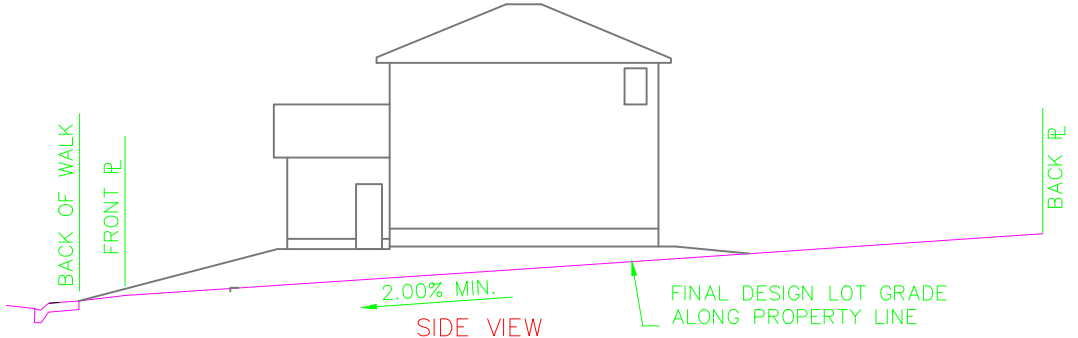
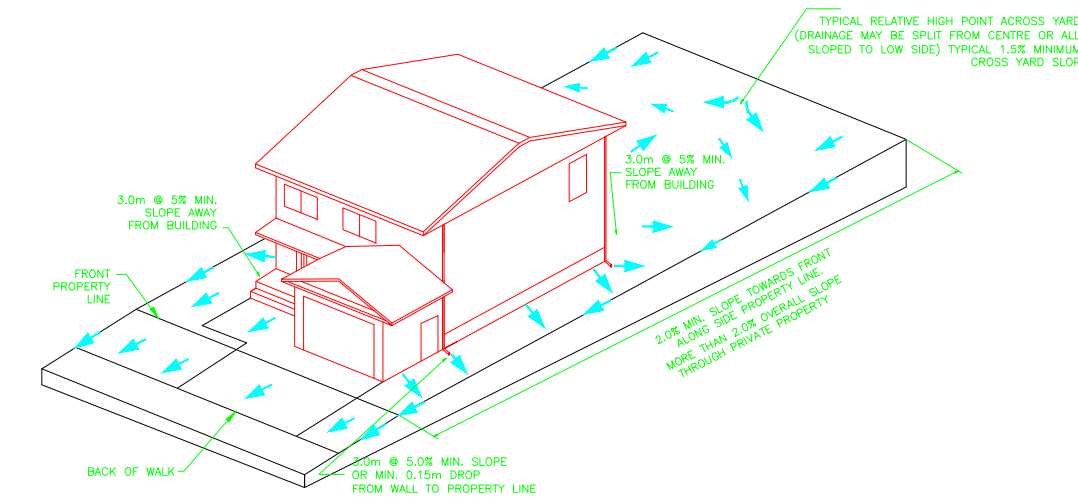


NOTE: 1) SIDE YARD 3.0m @ 5.0% MIN. SLOPE OR MIN. 0.15m DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE D/A IS REVERSE OF LOT TYPE A/D

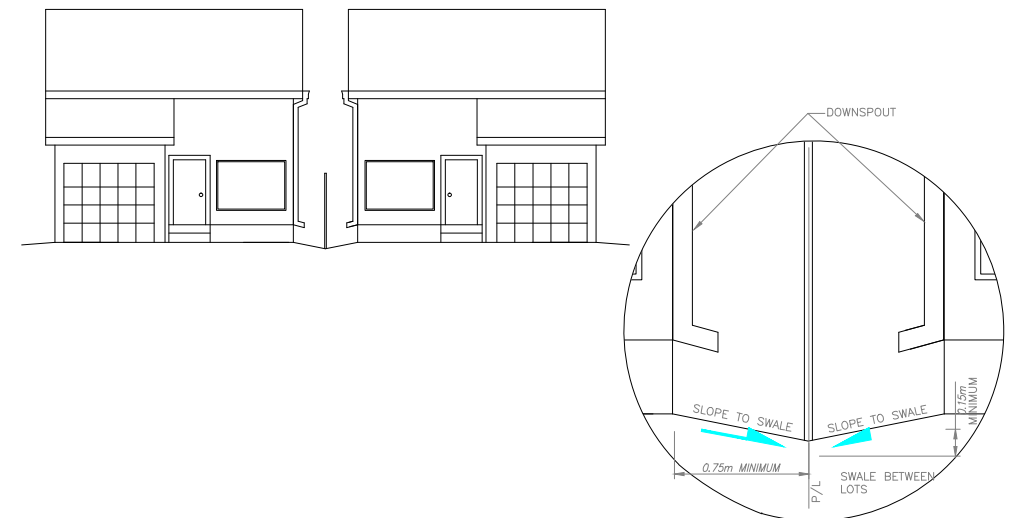
PLAN DESCRIPTION/REVISIONS	 City of Saskatoon Infrastructure Services Department	APPROVED
1	LOT GRADING TRANSITION LOT TYPE A/D & D/A	GENERAL MANAGER
DRAWN BY: LMD	ENGINEER	DATE: 2022-09-14
DATE: 2022-09-14	PLAN NO. 102-0022-013/001	
SCALE: HOR. VERT.		



REVISIONS	CITY OF SASKATOON INFRASTRUCTURE SERVICES DEPARTMENT	APPROVED
1	LOT GRADING TYPE D	CITY ENGINEER P. ENG.
2		ENGINEER
3		ENGINEER
DRAWN BY: LMD		DATE: 04-OCT-2010
DATE: 04-OCT-2010		SCALE: HOR. VERT. 1:1.5
CHECKED BY:		PLAN NO. 102-0022-013/001
DATE:		



REVISIONS	CITY OF SASKATOON INFRASTRUCTURE SERVICES DEPARTMENT	APPROVED
1	SIDE YARD DRAINAGE SWALE	CITY ENGINEER P. ENG.
2		GENERAL MANAGER
3		ENGINEER
DRAWN BY: LMD		ENGINEER
DATE: 04-OCT-2010		DATE: 2022-09-14
CHECKED BY:		SCALE: HOR. VERT. 1:1.5
DATE:		PLAN NO. 102-0022-013/001

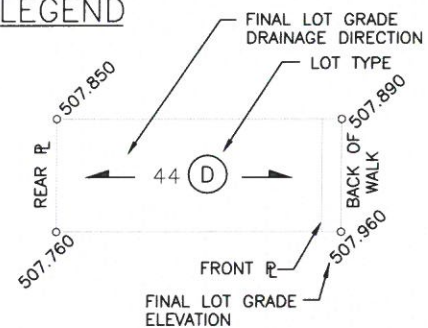


PLAN DESCRIPTION/REVISIONS	 City of Saskatoon Infrastructure Services Department	APPROVED
1	SIDE YARD DRAINAGE SWALE	CITY ENGINEER P. ENG.
2		GENERAL MANAGER
3		ENGINEER
DRAWN BY: LMD		ENGINEER
DATE: 2022-09-14		DATE: 04-OCT-2010
CHECKED BY:		SCALE: HOR. VERT. 1:1.5
DATE:		PLAN NO. 102-0022-013/001



LOT DRAINAGE DETAILS

LEGEND



1. LOT GRADES REPRESENT
THE DESIGN ELEVATION AT
THE BACK OF WALK (B.O.W.)

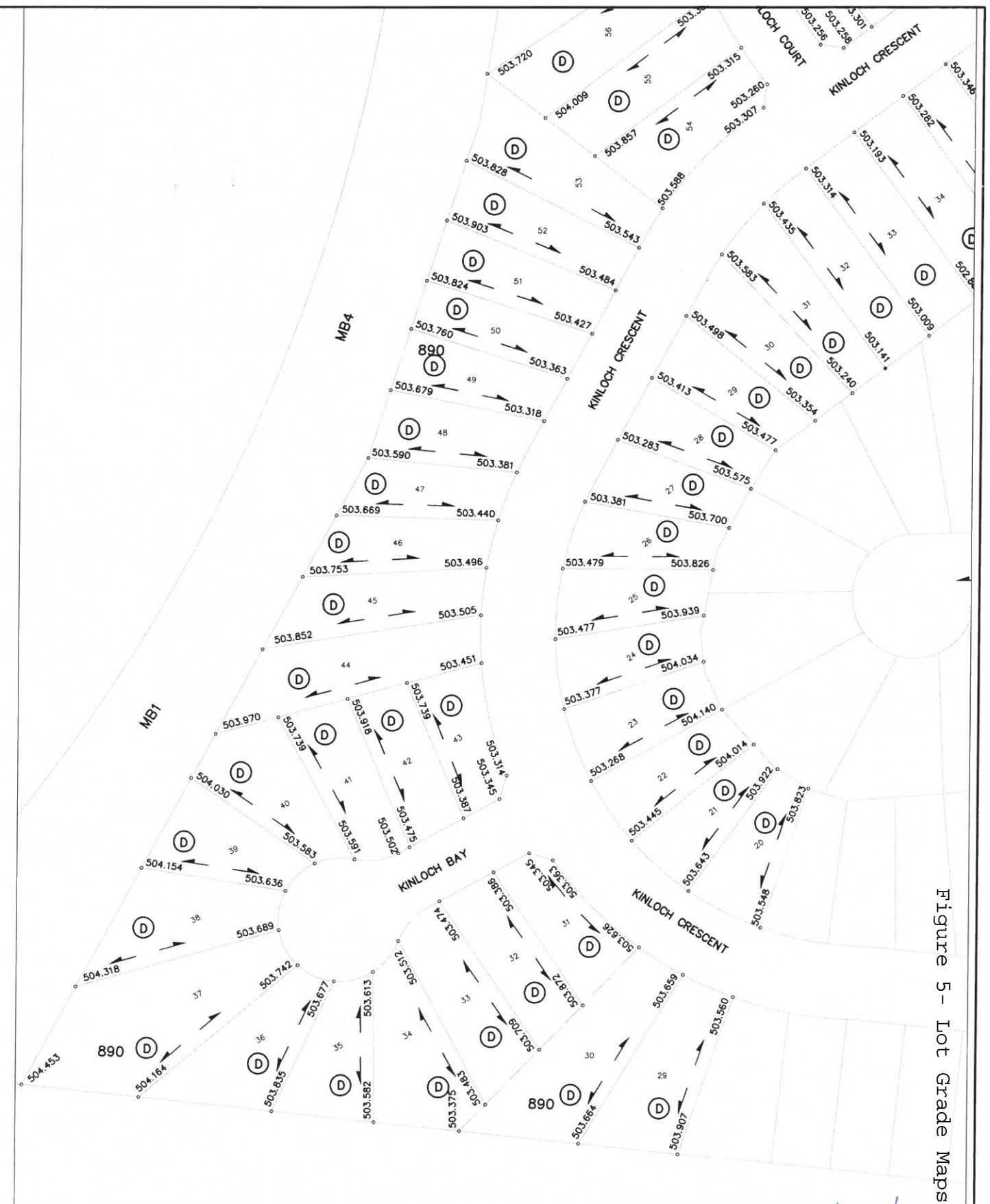


Figure 5- Tot Grade Maps

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1	ISSUED FOR CONSTRUCTION	2014-JUN-04	RV
	PLAN DESCRIPTION/REVISION	DATE	BY



CHECKED BY:	CHECKED BY:
<i>W. J. [Signature]</i>	
June 27, 2014	
DATE	DATE
DRAWN BY: RV	DATE: 2014-JAN-02



**City of
Saskatoon**

Transportation & Utilities Department

2014 PARKRIDGE ROADWAYS – PHASE A2

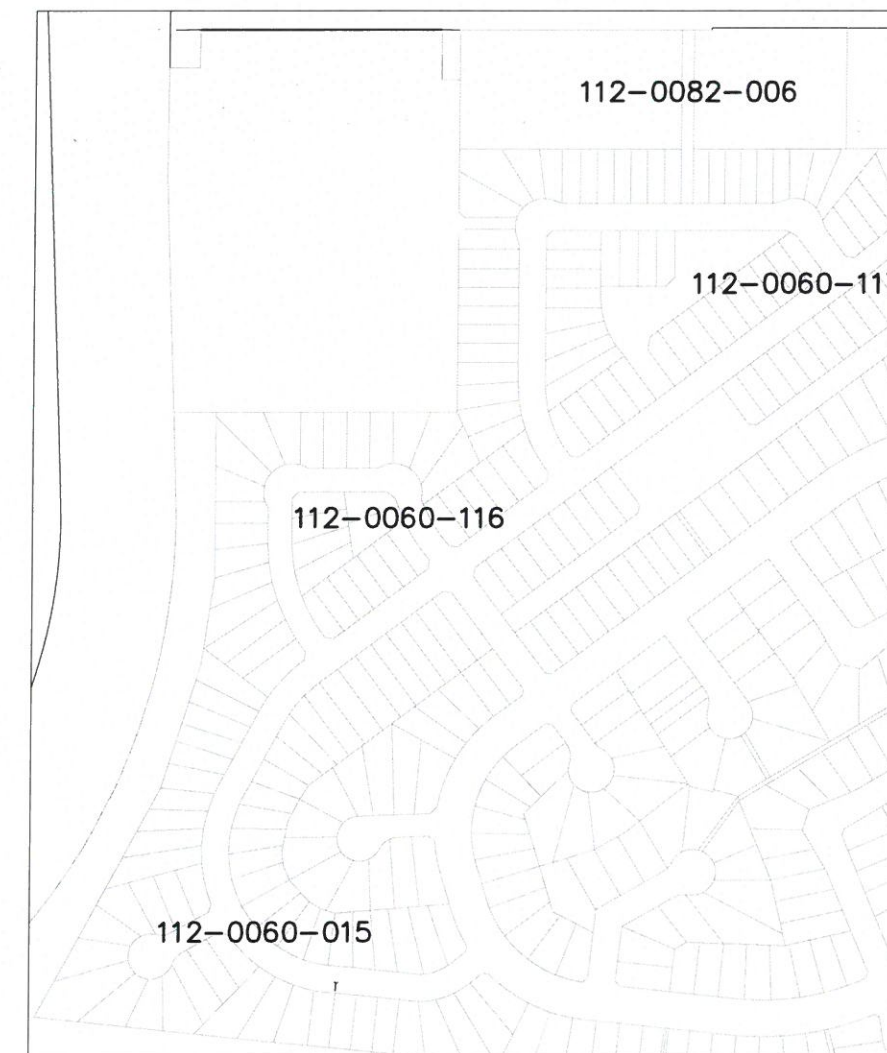
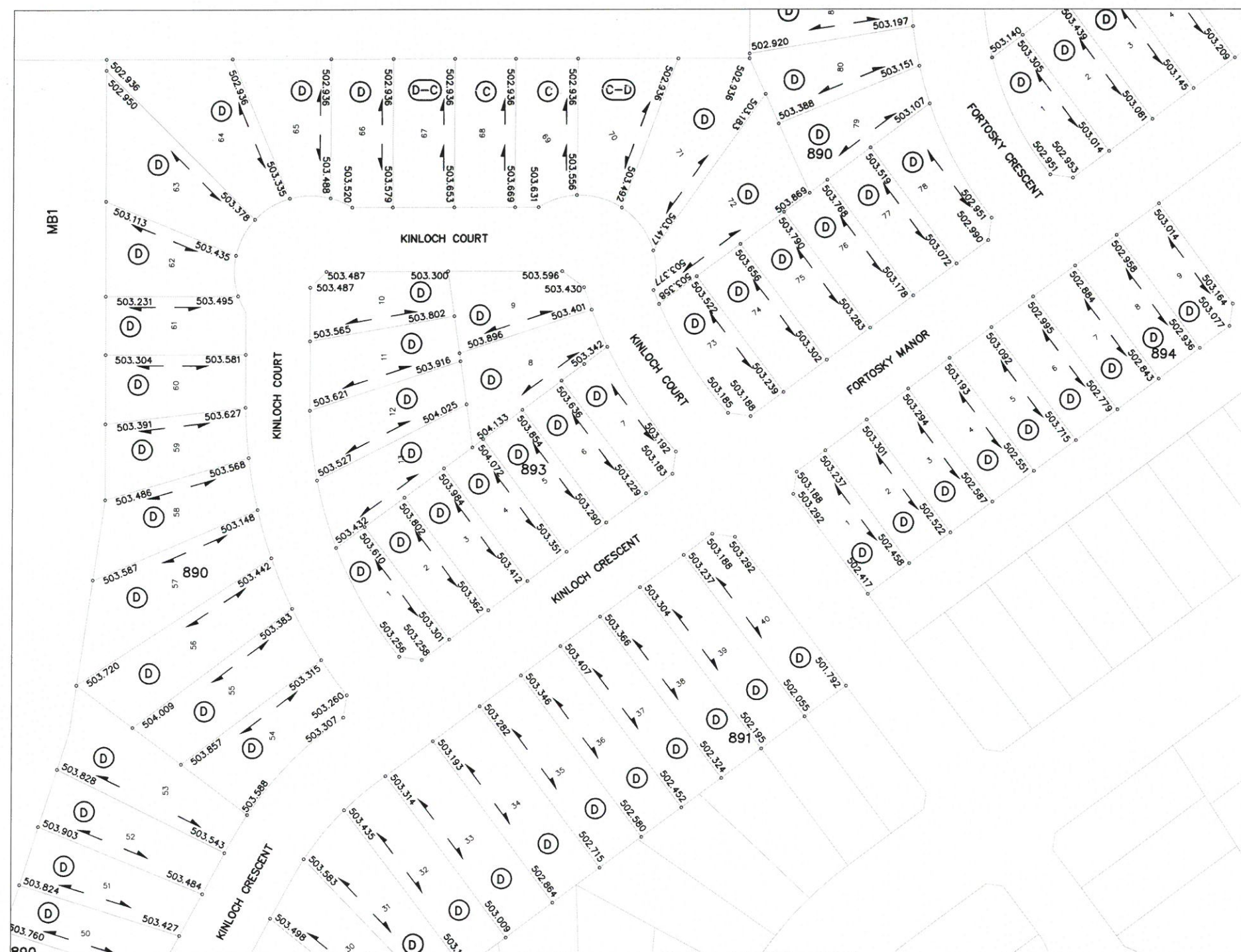
LOT GRADES
KINLOCH CRESCENT & BAY

CHIEF ENGINEER

SCALES :
HOR. : 1:1250
VERT. :
SHEET NO. PLAN NO.

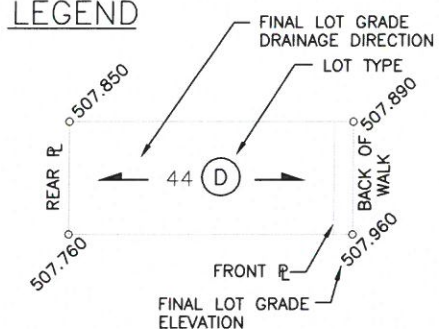
DATE

112-0060-015r001



KEY PLAN

LEGEND



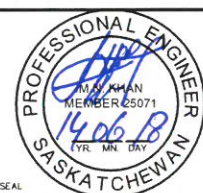
NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

LOT DRAINAGE DETAILS

- LOT TYPE 'A' - SEE DRAWING 102-0022-016
 LOT TYPE 'C' - SEE DRAWING 102-0022-018
 LOT TYPE 'A-C', 'C-A' - SEE DRAWING 102-0022-014
 LOT TYPE 'D' - SEE DRAWING 102-0022-017
 LOT TYPE 'A-D', 'D-A' - SEE DRAWING 102-0022-013

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1	ISSUED FOR CONSTRUCTION	2014-JUN-04	RV		
	PLAN DESCRIPTION/REVISION	DATE	BY	SEAL	



CHECKED BY:	CHECKED BY:
<i>[Signature]</i>	
DATE: 27, 2014	DATE:
DRAWN BY: RV	DATE: 2014-JAN-02



**City of
Saskatoon**

Transportation & Utilities Department

2014 PARKRIDGE ROADWAYS - PHASE A2

LOT GRADES
KINLOCH CRESCENT & COURT

CHIEF ENGINEER

SCALES:

HOR: 1:1250

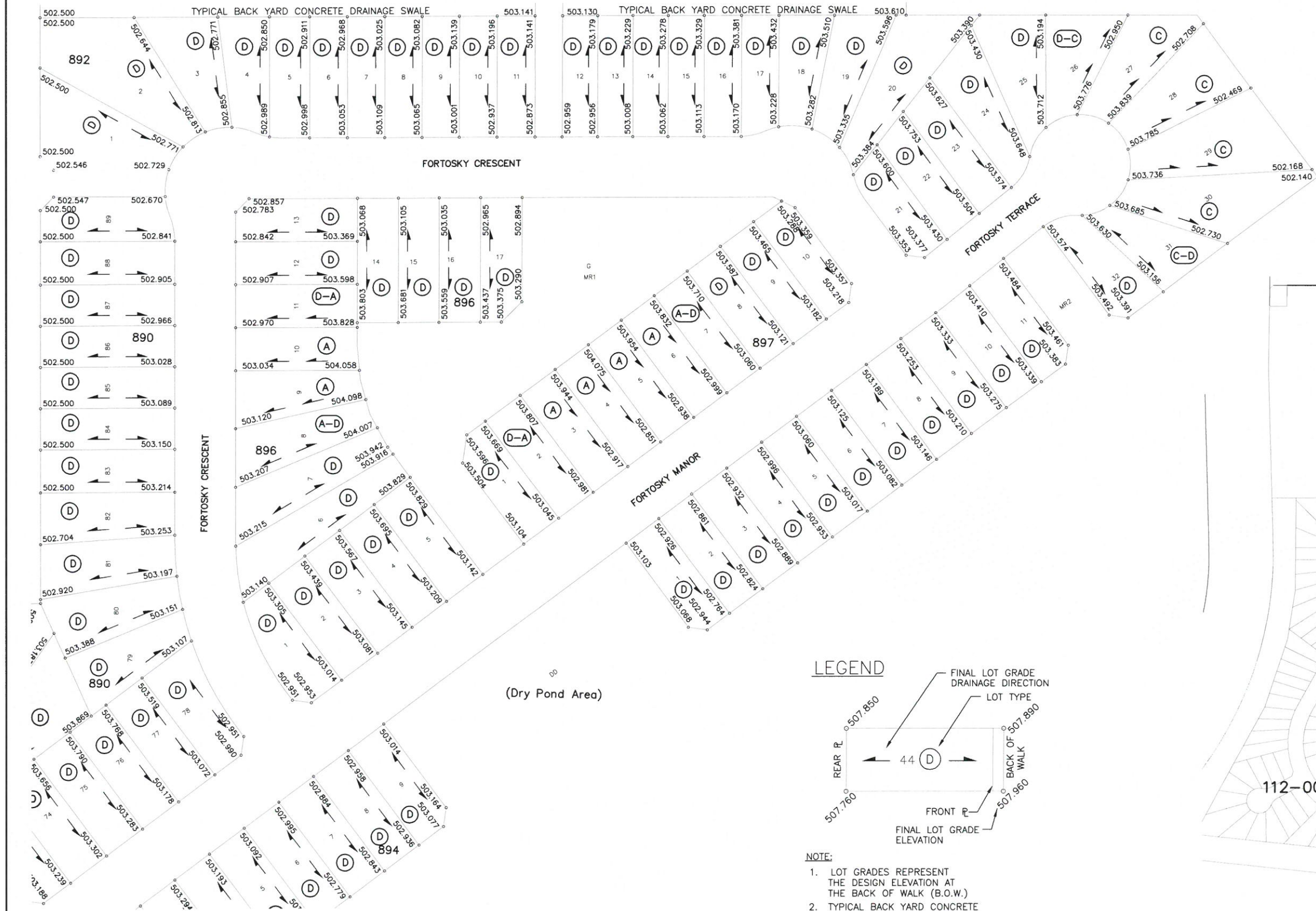
VERT:

SHEET NO:

PLAN NO:

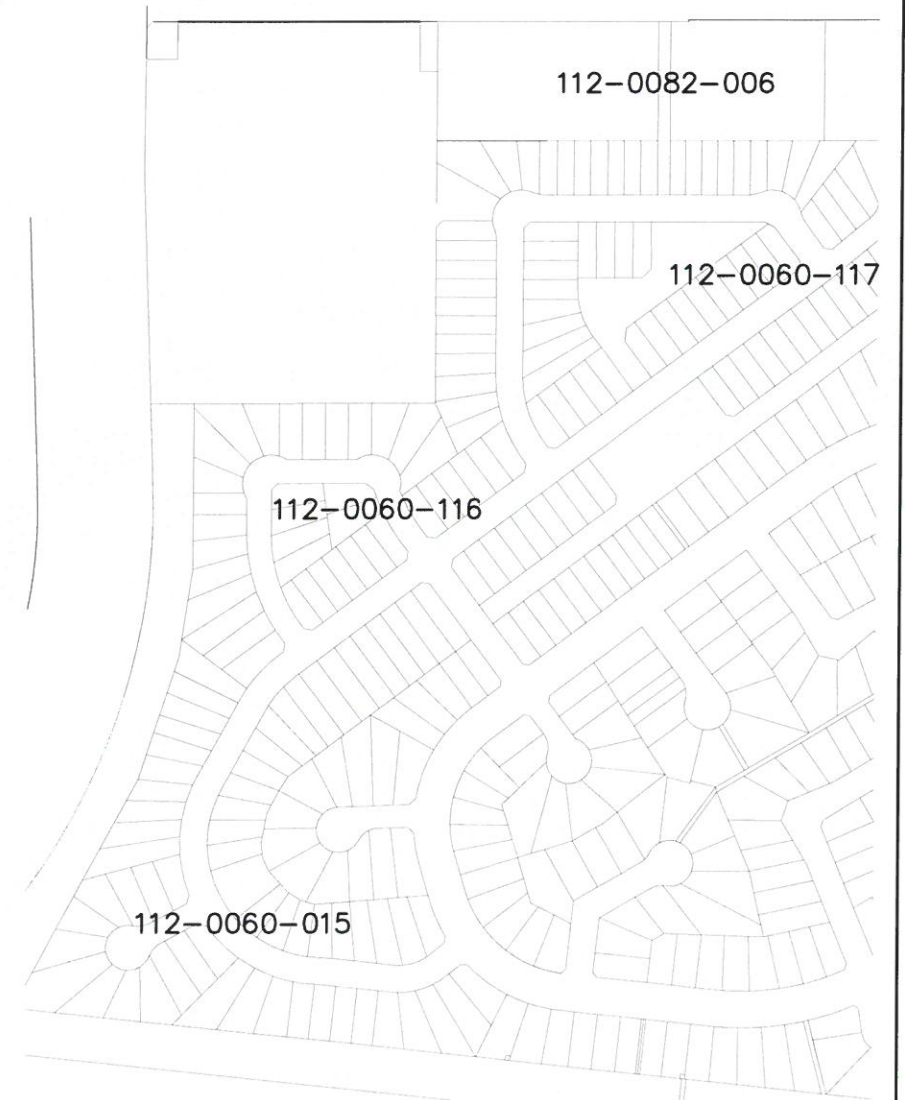
112-0060-016r001

[Signature]
DATE: July 2, 2014



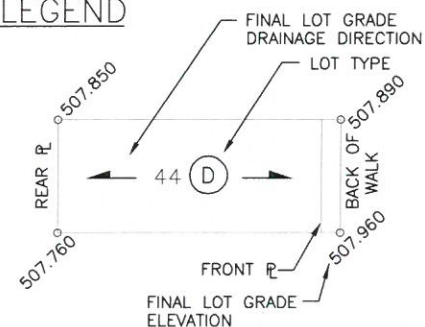
LOT DRAINAGE DETAILS

LOT TYPE 'A' - SEE DRAWING 102-0022-016
 LOT TYPE 'C' - SEE DRAWING 102-0022-018
 LOT TYPE 'A-C', 'C-A' - SEE DRAWING 102-0022-014
 LOT TYPE 'D' - SEE DRAWING 102-0022-017
 LOT TYPE 'A-D', 'D-A' - SEE DRAWING 102-0022-013



KEY PLAN

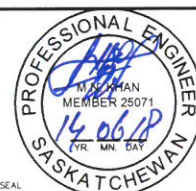
LEGEND



NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
 2. TYPICAL BACK YARD CONCRETE DRAINAGE SWALE AS PER C.O.S. STANDARD.
- DWG'S: 102-0022-023
 102-0002-069

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	PLAN DESCRIPTION/REVISION	DATE	BY



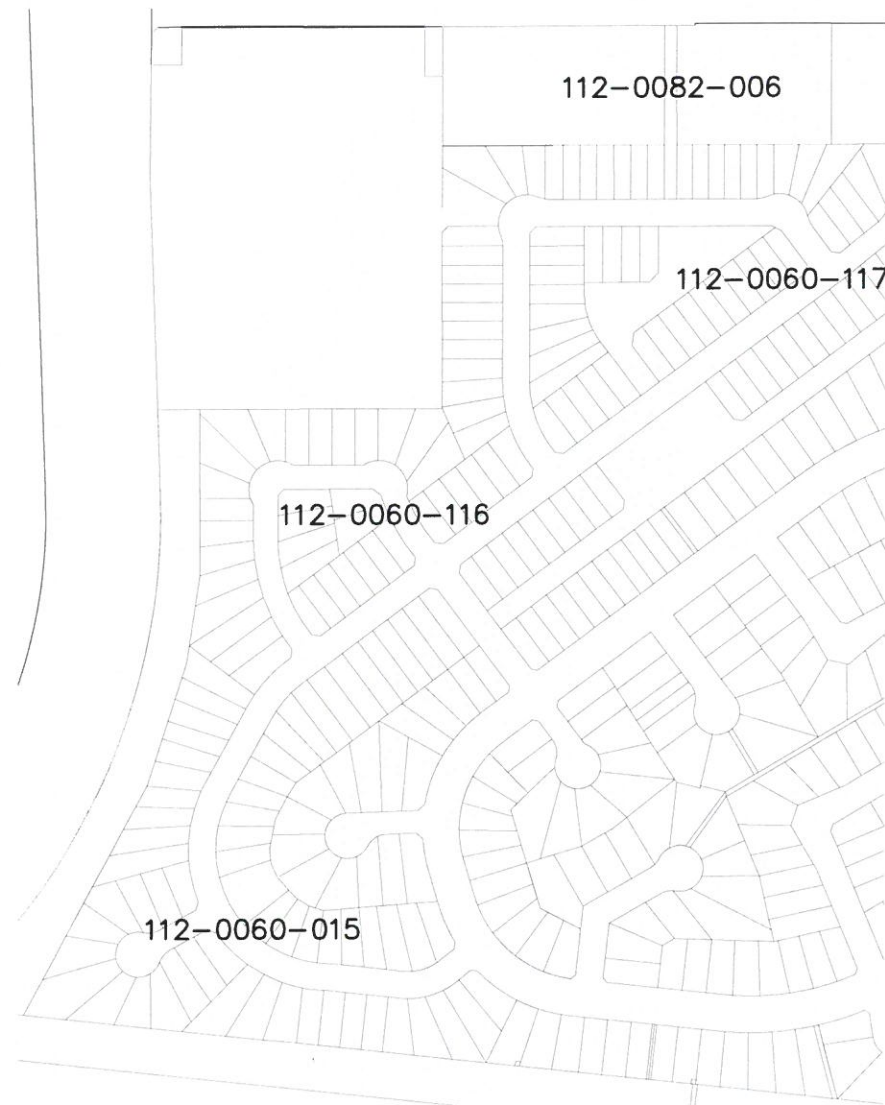
CHECKED BY:	CHECKED BY:
<i>[Signature]</i>	
DATE: June 27, 2014	DATE:
DRAWN BY: RV	DATE: 2014-JAN-02



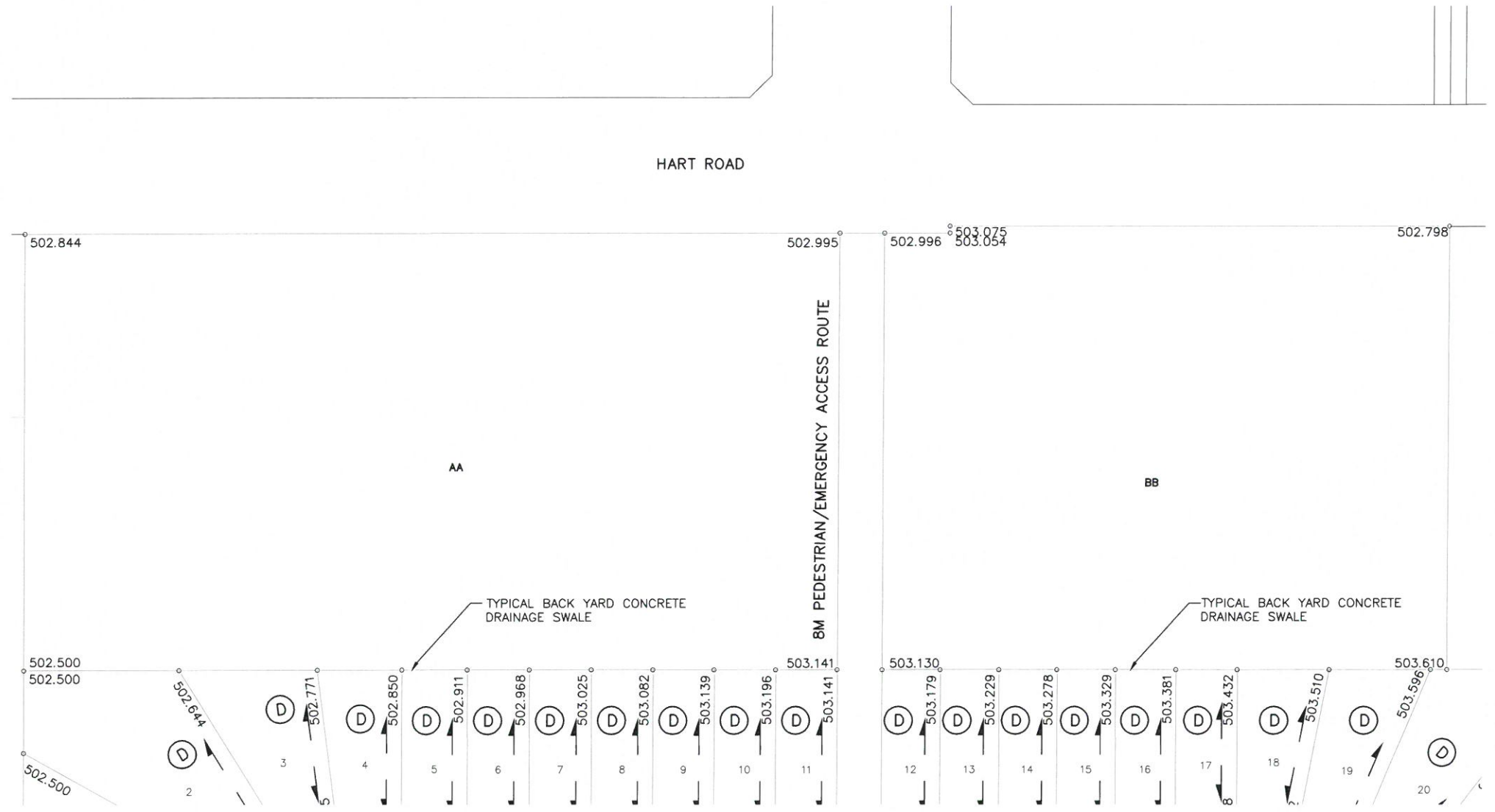
City of Saskatoon
 Transportation & Utilities Department

2014 PARKRIDGE ROADWAYS - PHASE A2
 LOT GRADES
 FORTOSKY MANOR, CRESCENT & TERRACE

CHIEF ENGINEER	<i>[Signature]</i>
SCALES:	1:1250
HOR:	
VERT:	
SHEET NO:	PLAN NO:
	112-0060-017r001



KEY PLAN



NOTE:

1. TYPICAL BACK YARD CONCRETE DRAINAGE SWALE AS PER C.O.S. STANDARD.
DWG'S: 102-0022-023
102-0002-069

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1	ISSUED FOR CONSTRUCTION	2014-JUN-04	RV		
	PLAN DESCRIPTION/REVISION	DATE	BY	SEAL	



CHECKED BY:	CHECKED BY:
DATE: Jun 27, 2014	DATE:
DRAWN BY: RV	DATE: 2014-JAN-02



City of Saskatoon
Transportation & Utilities Department

2014 PARKRIDGE ROADWAYS - PHASE A2

LOT GRADES
HART ROAD

CHIEF ENGINEER
DATE: Jul 2, 2014

SCALES: 1:1000
HOR: VERT: SHEET NO. PLAN NO.

112-0082-006r001

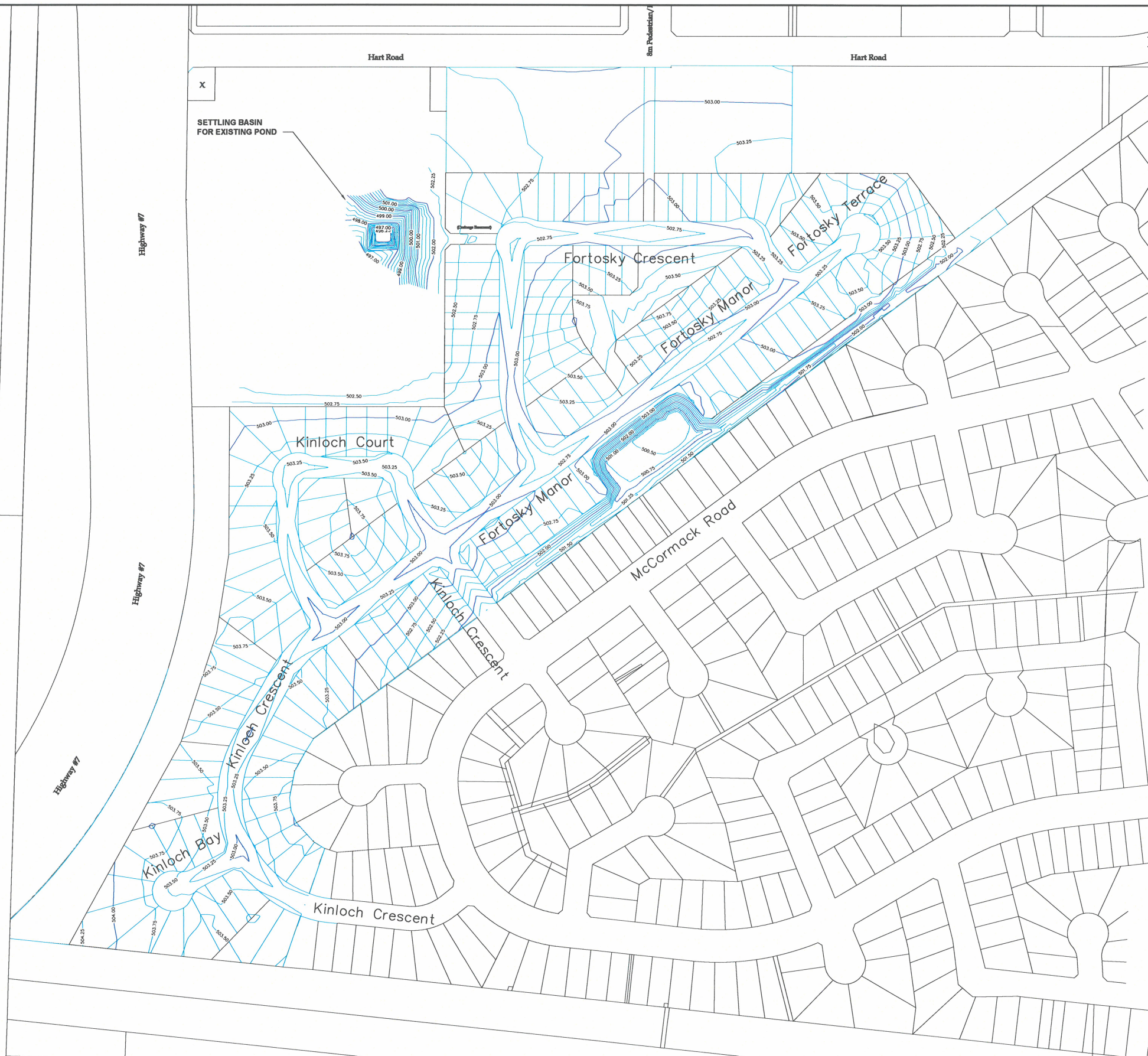
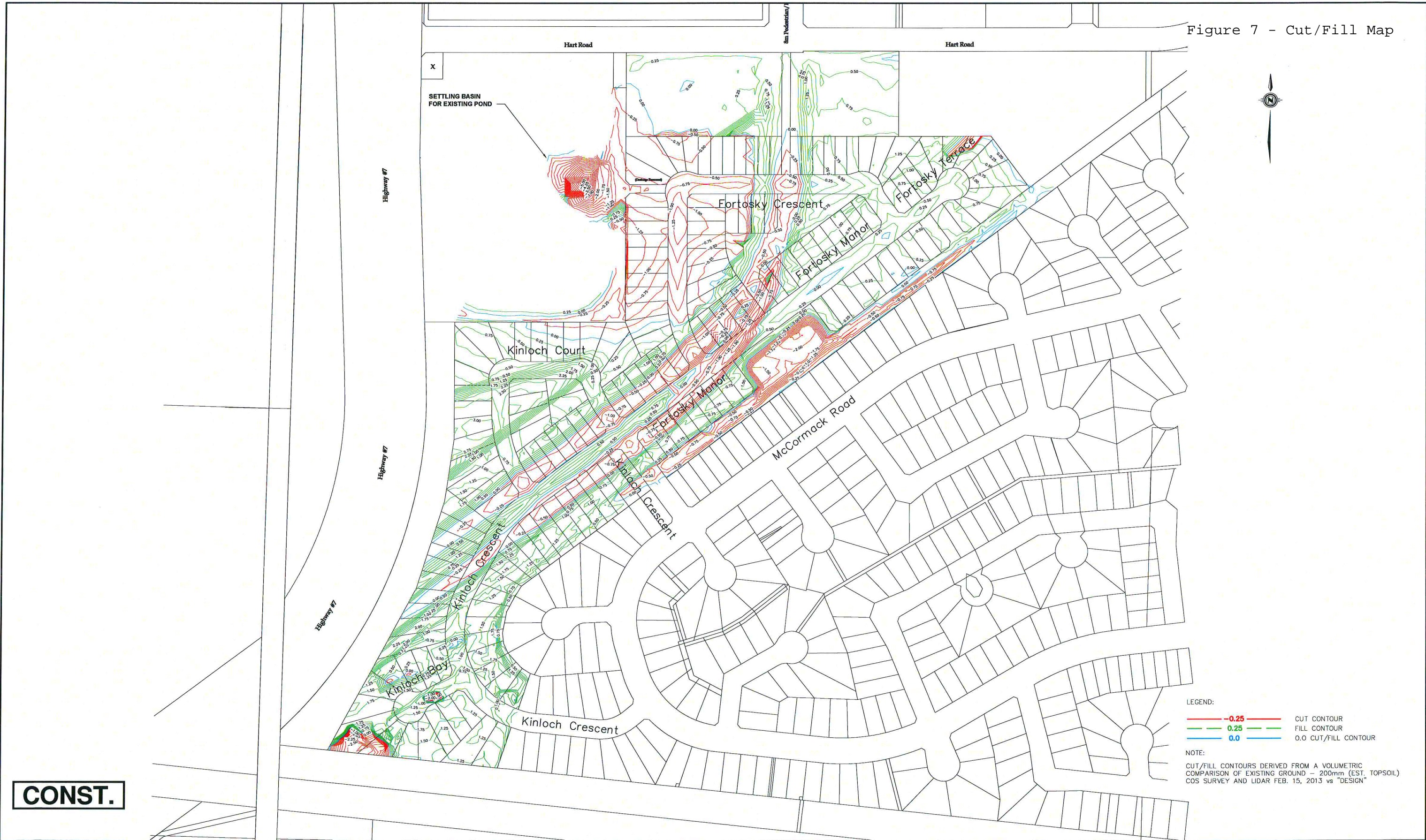
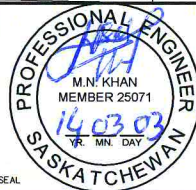
[illegible]

Figure 7 - Cut/Fill Map



CONST.

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1	ISSUED FOR CONSTRUCTION	2013-JUL-26	RWDT
	PLAN DESCRIPTION/REVISION	DATE	BY



CHECKED BY:	CHECKED BY:
DATE	DATE
DRAWN BY: RWDT	DATE: 2013-MAR-17



City of
Saskatoon
Transportation & Utilities Department

PARKRIDGE LAND DEVELOPMENT PHASE A2

AREA GRADING
CUT & FILL CONTOURS

CHIEF ENGINEER	
SCALES:	
HOR: 1:3000	DATE
VERT: -	
SHEET NO.	PLAN NO.
	113-0060-301r001

PARKRIDGE





DESCRIPTIVE PLAN - TYPE II
SHOWING

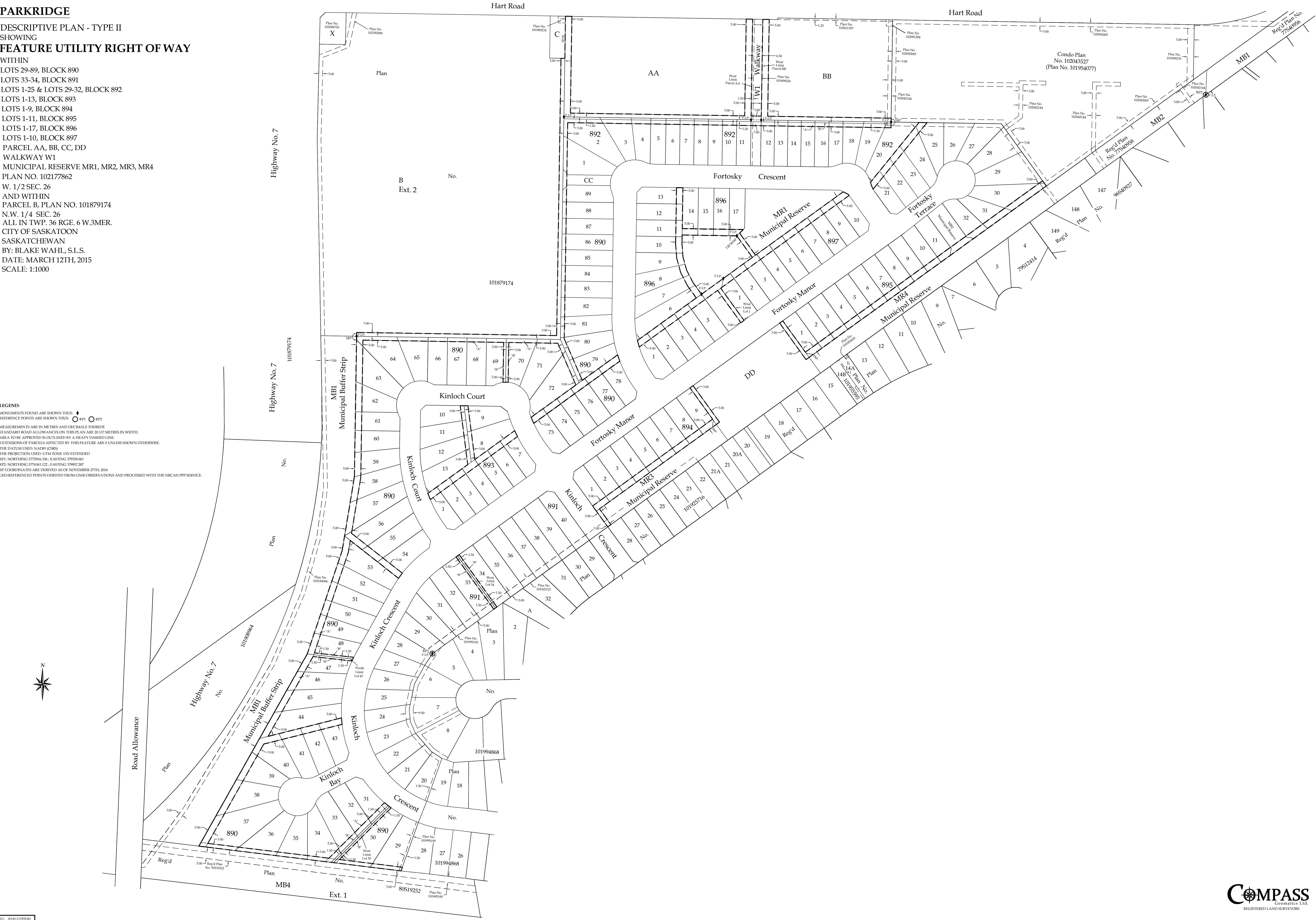
FEATURE UTILITY RIGHT OF WAY

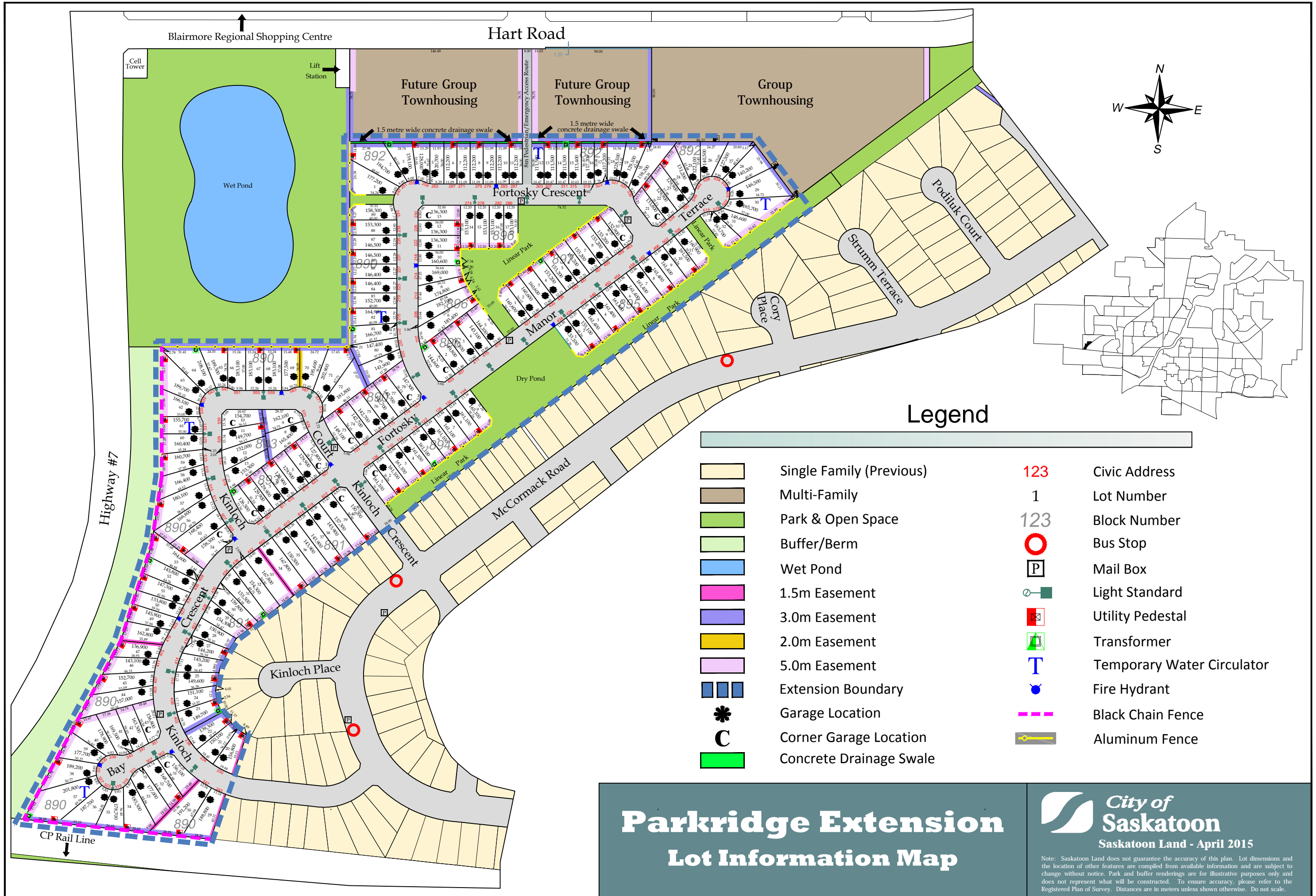
WITHIN

LOTS 29-89, BLOCK 890
LOTS 33-34, BLOCK 891
LOTS 1-25 & LOTS 29-32, BLOCK 892
LOTS 1-13, BLOCK 893
LOTS 1-9, BLOCK 894
LOTS 1-11, BLOCK 895
LOTS 1-17, BLOCK 896
LOTS 1-10, BLOCK 897
PARCEL AA, BB, CC, DD
WALKWAY W1
MUNICIPAL RESERVE MR1, MR2, MR3, MR4
PLAN NO. 102177862

W. 1/2 SEC. 26
AND WITHIN
PARCEL B, PLAN NO. 101879174
N.W. 1/4 SEC. 26
ALL IN TWP. 36 RGE. 6 W.3MER.
CITY OF SASKATOON
SASKATCHEWAN
BY: BLAKE WAHL, S.L.S.
DATE: MARCH 12TH, 2015
SCALE: 1:1000

LEGEND:
MONUMENTS FOUND ARE SHOWN THUS:  RPI  RP2
REFERENCE POINTS ARE SHOWN THUS:  RPI  RP2
MEASUREMENTS ARE IN METRES AND DECIMALS THEREOF.
STANDARD ROAD ALLOWANCES ON THIS PLAN ARE 20.117 METRES IN WIDTH.
AREA TO BE APPROVED IS OUTLINED BY A HEAVY DASHED LINE.
EXTENSIONS OF PARCELS AFFECTED BY THIS FEATURE ARE 0 UNLESS SHOWN OTHERWISE.
THE DATUM USED: NAD83 (CSRS)
THE PROJECTION USED: UTM ZONE 18N EXTENDED
RPI: NORTHING: 5779916.536; EASTING: 579599.063
RP2: NORTHING: 5776663.122; EASTING: 579657.287
RP COORDINATES ARE DERIVED AS OF NOVEMBER 27TH, 2014
GEO-REFERENCED POINTS DERIVED FROM GNSS OBSERVATIONS AND PROCESSED WITH THE NRCAN PPP SERVICE.





Parkridge Extension

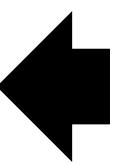
Lot Information Map

City of Saskatoon

Saskatoon Land - April 2015

Note: Saskatoon Land does not guarantee the accuracy of this plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. Park and buffer renderings are for illustrative purposes only and does not represent what will be constructed. To ensure accuracy, please refer to the Registered Plan of Survey. Distances are in meters unless shown otherwise. Do not scale.

Address Map of Parkridge



BLAIRMORE SUBURBAN CENTRE CONCEPT PLAN

AMENDED DECEMBER 2, 2013

**ORIGINAL CONCEPT
PLAN APPROVED
SEPTEMBER 2005**

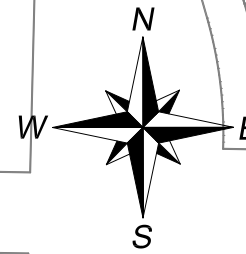


Figure 12 - Blairmore Suburban Centre Concept Plan



NOTE: The Information contained on this map is for reference only and should not be used for legal purposes. All proposed line work is subject to change. This map may not be reproduced without the expressed written consent of the Regional Planning, Mapping & Research Section.

DRAWING NOT TO BE SCALED
July 28, 2014

N:\Planning\MAPPING\Concept Plans\Blairmore\concept_plan_020_APPROVED.dwg

Joint Servicing Initiative

January 2015



Background of the Joint Servicing Initiative

To support the thriving economy currently being experienced in Saskatchewan; SaskEnergy, SaskPower and SaskTel are working on refining and broadening the process of a “joint service installation” approach for urban residential home builders.

This process will provide a timely, cost-effective and coordinated service to home builders that includes the installation of gas, electric and communications in a common trench from the main line to the dwelling. This collaborative approach will achieve efficiencies for the installation of the urban service lines and address challenges associated with space constraints for new lots.



What You Need to Know About Joint Trench Lots





Joint Trench Lots are for shallow utility services in urban residential areas (single family homes) where the electric, gas, and communication lines are all installed in a common trench. Currently joint trench installation is only being done in Regina, Saskatoon, Warman, Martensville and Dalmeny.

If you have purchased a lot in any of these locations, a contract crew will be installing all shallow utilities in one trench from the main line at the back of the lot to the dwelling.

To prepare for the installation of your shallow utilities please refer to the Site Check Readiness list on the following page.



Index:

-  Background
-  Joint trench lots
-  Site Check Readiness
-  Procedures for applying for services

Site Check Readiness

To ensure installation of your service is completed when scheduled, your site must be ready for the crew on the date you indicate on the application (site ready date). Along with your application, please submit a plot plan for the address or addresses you are applying for.

Site readiness includes the following:

1. Provide a plot plan that indicates the location of the residence within the property.
2. House number must be visible from the street.
3. In order to secure the natural gas bracket, a 24" x 10" pressure treated board must be in place that does not contravene any natural gas codes.
4. You must maintain a .9 metre (3 ft) clearance around the natural gas service regulator with any exhaust vents, opening windows or doors. Please refer to your mechanical contractor for appropriate codes of other intake clearances.
5. The area around the house is backfilled and the lot is to within 150 mm (6") of finished grade. To ensure proper installation routing, customers are asked to ensure that property pins are in place and marked for easy locating by our field staff.
6. Utility access within the site must meet the following requirements:
 - i) Access is required for equipment to get into the yard(s) where the work needs to occur (trencher, mini hoe, etc.), clear of buildings, fences, decks, etc.
 - ii) A clear path is maintained for the trench route from the metering points to the takeoff points. The width needs to be enough to operate small trenchers and mini hoes at a minimum in ideal soil conditions, and larger equipment when frozen or rocky conditions exist. The trench is to be at least 0.6 metres (2 ft) off of the parallel property line (for fencing) and at least 0.6 metres (2 ft) wide to ensure separation of facilities in the trench. Further width is often required at surface to slope trench during installation for safe trenching rules. This will require approximately 2 metres (6.5 ft) clear access along the property line to the meter (electric and gas) boards to allow for construction of the facilities.
 - iii) Be aware that any pads or foundations near this route may slump with settling of the trench.
7. The trench is from the pedestal or pole to the meter location(s) (typically the closest corner from the pedestal or pole to the house). This service route must be clear of debris or obstructions, such as dirt piles and lumber.
 - i) SaskEnergy and SaskPower reserve the right to determine the meter location due to physical impediments that may restrict access for personnel and equipment. Alternate meter locations must be pre-approved prior to construction.
8. If separate trenches are utilized, the natural gas trench (SaskEnergy) must be at least 1 metre (3 ft) in distance from the SaskPower trench.
9. In instances where both gas, electric and communication cables are installed in the same trench (currently only in Regina, Saskatoon, Warman, Martensville and Dalmeny), you must leave a 1.2 metre (4 ft) corridor adjacent to the property line for utilities. If the minimum of 1.2 metres is not maintained, an encroachment over the gas service may occur and you will be responsible for reparation and subsequent cost.
10. Your electrician has attached an energization sticker on the meter socket indicating the service is ready for connection. The sticker ensures:
 - i) An electrical permit has been obtained
 - ii) The main panel is connected and in the open (off) position
 - iii) The service is grounded and ready to be connected to SaskPower's electrical system
11. To facilitate your service connection, please notify SaskPower once your electrician has affixed the energization sticker.





Urban Applications for Services

SaskEnergy and SaskPower have been working on a process to streamline our customers application experience. Beginning February 17, 2015, you will be able to make application for gas and electric urban services by utilizing either one of the Crowns' websites. The information will be shared between the two Crowns using a secure file transfer protocol.

We encourage you to make application via SaskPower's website rather than SaskEnergy's. This will enable the Crowns to eliminate some manual processes that would otherwise occur when applying via SaskEnergy's website.

When you know the date that your property will be ready for servicing, you can make application to either SaskEnergy or SaskPower by the following methods:

- If you use SaskEnergy's application, please apply online at saskenergy.com
- If you use SaskPowers application, please apply online to saskpower.com or call 1-888-SKPOWER (1-888-757-6937) and select Option 4.
- For your telephone and cable providers (SaskTel, Shaw or Access) the conduit will be installed in the joint trench along with SaskPower and SaskEnergy. It is the responsibility of the homeowner to apply for telephone and cable service to one of these providers.

Even though Joint Installation is only being offered in Saskatoon, Regina, Warman, Martensville, and Dalmeny all urban applications for service will be shared between the crowns.

