



Lot Draw Addendum 1

For:

Rosewood – Phase 1

Residential Lot Draw

NEIGHBOURHOOD:
LOCATIONS:

Rosewood
Lots 89, Blk 12 on Hastings Crescent, Lot 49, Block
14 on Werschner Lane, Lot 28, Block 14 on Hastings
Crescent

Addendum No.: 1.
Page: 1 of 1.
Date: October 24, 2011.

Addition to the original Lot Draw Package, released October 1, 2011

For purchasers of the affected lots, acknowledgement of receipt of this addendum shall be stated on the Application Form.

Utility Pedestal and Transformer Locations

Please be advised of the following changes for utility pedestal and transformer locations.

Utility Pedestals

A utility pedestal has been removed from Lot 28, Block 14. A utility pedestal has been added to Lot 89, Block 12.

Transformers

A transformer has been removed from Lot 49, Block 14. A transformer has been added to Lot 28, Block 14.

These changes are reflected in the revised Rosewood Phase 1 Lot Information Map.



Rosewood

Phase 1

Hastings Crescent and Lane; Werschner Crescent and Lane

TERMS OF SALE

The City of Saskatoon sells residential lots to:

- individuals who have not purchased a lot from the City of Saskatoon within the last three years and who are purchasing a lot for the construction of their own personal residence; and
- home builders who are currently on the Eligible Contractor list.

Down Payment

An Agreement for Sale will be entered into with a minimum down payment required at the time of lot selection of 13 percent of the total price of the lot plus GST on the price of the lot, (less the \$3,000 deposit during lot draw process). The unpaid balance, plus interest must be paid within eight months of the latter of the date of the Agreement for Sale. Interest will be charged on the unpaid balance at:

- the prime rate of interest on the date of the Agreement for Sale for up to eight months; and
- five percent above the rate established in the Agreement for Sale for any time beyond the eight month term if an extension of up to four months is granted.

Paying the Balance

The full balance (principal plus interest) is due within eight months time or the latter of the Agreement for Sale date (i.e. eight months). The balance may be paid early with interest charged to and including the payout date.

Building Time Requirement

All lots purchased have a three-year time requirement to complete construction. Construction may begin once the Agreement for Sale is signed. Construction includes final building inspection and completion of all deficiencies that must be completed in this three-year time frame. If this three-year requirement is not met no forgiveness of the mortgage will be granted. Contractors not meeting this requirement may be removed from the Eligible Contractors list.

Residency Requirement for Individuals Who Purchased a Lot from the City Land Branch

Lots purchased have a four-year residency requirement. The four-year period begins the same day Title is transferred into the purchaser(s) name. The original purchaser(s) name(s) must remain on Title to maintain the four-year requirement.

Forgivable Mortgage

A Forgivable Mortgage for \$50,000, related to the build time and residency requirements held by the City of Saskatoon, will be registered against each lot sold to an individual. Should the dwelling be completed within the required three years from the date of possession, the mortgage will be forgiven on a monthly basis over the final three years of the four-year residency period starting from the day Title is transferred into the individual purchaser(s) name. No forgiveness will be granted if the dwelling is not completed within three years from the date of possession. Completion of the dwelling requires obtaining a completed Final Building Inspection with no deficiencies.

Eligible Contractors

Lots are not to be resold. Builders are purchasing City lots to construct homes for potential homebuyers. If a lot is no longer required please review the Cancellation Policy.

Taxes

Property taxes become the responsibility of the purchaser(s) effective the first of the month following date of the Agreement for Sale. For an estimate of the taxes on the land only, please call the Assessment Branch at 975-3227.

Transfer of Title

The Transfer of Title will be issued in one of the following ways:

- under appropriate trust conditions, the Transfer will be forwarded to the purchaser's solicitor; **or**
- upon receipt of payment in full, the Transfer will be forwarded to the purchaser's solicitor.

Default or Voluntary Cancellation

An agreement is defaulted when any of the terms are not met within the time of the agreement. In the event of cancellation or default, a \$100 processing fee is charged plus a restocking fee for the time the purchaser has held the lot. The restocking fee is one percent of the purchase price of the lot plus GST, multiplied by the number of months (no charge for first 30 days), which have elapsed between the date of the Agreement for Sale and the date of the Quit Claim. The restocking fee is deducted from monies paid (i.e. down payment) and any remaining portion is refunded. Voluntary cancellation cannot occur once construction has begun or Title has been transferred into the purchaser(s) name.

BUILDING RESTRICTION CAVEATS (BRC'S)

**Lots 88 to 111, Block 12;
 Lots 1 to 13, Block 14;
 Lots 13 to 25, Block 15; and
Lots 1 to 18, Block 16 all in Plan No. 102037799**

- a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:
 - i. 1,200 square feet in the case of a bungalow, bi-level or split-level dwelling;
 - ii. 1,500 square feet in the case of a two-storey dwelling;
- b) All dwellings must be constructed with a minimum double-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 5.4 metres wide and 6.0 metres long;
- c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch; and
- d) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. Masonry application must be a minimum of 100 square feet in area and must be returned 24 inches around the building corners along the side elevation.

Note 1:

Block 12, Lots 88 to 103, and Lots 106 to 108 have been graded to accommodate walkout basements. The following development control is therefore proposed for these lots in order to ensure that houses with walkout basements are built on these lots:

- a) All dwellings should be constructed with direct access from the basement level to the backyard ("walkout units").

**Lots 112 to 122, Block 12;
 Lots 1 to 25, Block 13;
 Lots 14 to 60, Block 14;
Lots 1 to 12, Block 15 all in Plan No. 102037799**

- a) No dwelling shall be constructed on any of the lots which has an above-grade floor area (excluding attached decks, patios and garages) less than:
 - i. 1,000 square feet in the case of a bungalow, bi-level or split-level dwelling;
 - ii. 1,500 square feet in the case of a two-storey dwelling;

- b) All dwellings must be constructed with a minimum double-wide attached garage. The garage must be constructed at the same time as the dwelling is built. Minimum inside dimensions shall be 5.4 metres wide and 6.0 metres long;
- c) The roof of the principal dwelling shall have a minimum 6-in-12 pitch; and
- d) Brick, stone or manufactured stone, requiring a masonry application, will be required on the front elevation of all dwellings. Masonry application must be a minimum of 100 square feet in area and must be returned 24 inches around the building corners along the side elevation.

Garage Placement

Garage placement Building Restriction Caveats have three individual locations as follows:

Right	The garage must be attached to the front of the house and must be located on the right side of the property when facing the property from the street.
Left	The garage must be attached to the front of the house and must be located on the left side of the property when facing the property from the street.
Corner	The attached garage must be located on the side of the property that is furthest from the intersection.

See the attached maps for garage placement requirements.

Please be advised that if the dwelling is constructed in violation of the development controls set out in the Sales Agreement, and **as registered on Title as a Building Restriction Caveat**, the City may take legal action to require compliance. **Issuance of a building permit will not absolve the Purchaser from meeting this requirement.** Such action could result in the demolition or partial demolition of the building at the expense of the Purchaser.

GENERAL INFORMATION

Multi-Family Sites

There are two street townhouse sites and one dwelling group street townhouse site located west of Rosewood Gate North. These sites will be subject to the Architectural Guidelines contained in the “Architectural Controls for Multiple-Unit Dwelling Districts” document which may be viewed on our website (www.saskatoon.ca), search under “L” for Land.

Buffer Development Werschner Street

A municipal buffer is located adjacent to the south property line of Lot 60, Block 14. No vehicular access will be permitted across this buffer.

LOT GRADING

Lot grading is the sloping of the lot in order to provide good drainage away from buildings in such a way that surface runoff from rainstorms or snowmelt is directed toward the storm sewer.

Runoff is controlled through the use of side and back of lot swales to eliminate or minimize the impact on adjacent properties and to ensure proper overland drainage.

Complete development of all lots in an area may occur over a number of years and, unfortunately, some homeowners landscape their lot without proper consideration for the pre-designed overland drainage pattern of the area. Early development does not preclude a homeowner's responsibility to maintain this drainage pattern. If a homeowner obstructs drainage in any way, thereby creating a flooding problem for neighbours upstream, that homeowner must correct the situation at their own expense. Similarly a lot should not be landscaped below design grades otherwise flooding may occur.

The following information has been prepared to assist the homeowner, builder and contractor in setting the house elevations and final lot grades.

Lot Grade Details

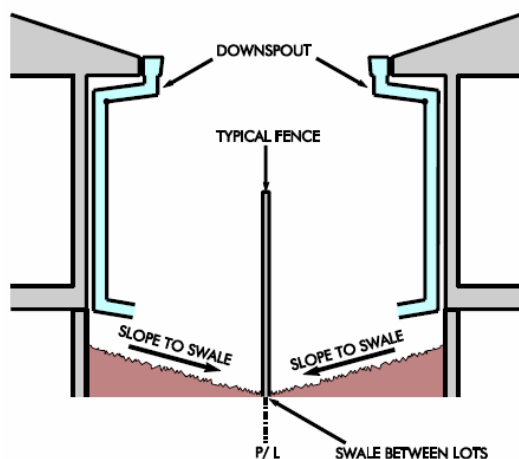
Lot grade details are shown on 5 main sets of drawings in this package:

- 1) Lot Grade Drawings – show the final design elevations at property corners and at other points that are deemed critical elevation points. It is important that builders and homeowners match these grades with final landscape elevations. These elevations are required as a minimum for building plan approval.
- 2) Drawings that show the following:
 - a. typical lot grading types (A, D, C, & E) of which each respective drawing includes a three-dimensional view and a side view of the grading type,
 - b. typical transitional situations between lot grading types (three drawings) of which each respective drawing includes a three-dimensional view of the different transitional situation between lot grading types and a plan view of the same.
- 3) A drawing showing the details of a typical lot that contains a back-of-lot concrete swale drainage easement and is specific to the lots containing a concrete swale. Please see the section titled, “Concrete Storm Water Drainage Swale” included below. This drawing illustrates two things:
 - a. a typical three-dimensional view of yards with a concrete drainage swale and,
 - b. a side view of the 3 meter drainage easement including the concrete swale and an illustration of how to not impede drainage with a side yard fence.
- 4) A drawing showing a cross section of a typical side yard fence and side yard grading that will not impede side yard drainage.

During the initial stages of subdivision development all streets, easements, lanes and walkways are pre-graded to design elevations set to accommodate drainage throughout the area. In the case of the utility easements, the grade is constructed approximately 100mm (4") below the final design grade, which allows the homeowner to add topsoil without creating drainage problems for neighbouring yards.

Once house construction is complete lot grading is a two-step procedure. The first step is the rough grade stage, which includes backfilling the foundation walls and shaping the lot to conform to the pre-grade drainage plan. When rough grading is complete the lot should be within 7 to 20cm below the final design grade to allow for the addition of topsoil. Once the lot is at the final design grade, sod, decorative rock, wood chips or other surface treatments can be installed. **It is strongly recommended that lot owners consult a legal surveyor or other qualified professional to set the final grade elevations before landscaping is started.**

Grading Between Lots



A sloped surface is required to effectively drain water away from the foundation walls, including under steps and decks in order to reduce the risk of water entering the basement during rainfalls or snowmelt. Drainage swales are shallow sloped channels intended to move surface runoff away from lots toward the storm sewers. Drainage swales are located on common property lines and graded in accordance with the drainage plan for the affected lots as shown on the lot type drawings included in this package.

If decorative rock or wood chips are to be used in the swale the grade below this treatment must be at the final grade elevation to facilitate proper runoff to the storm sewer.

Lot Grading Do's and Don'ts

Do's:

1. Do require construction plans to include finished grade elevations around the house foundation and along property lines. **Do not leave your house and site grading to chance.** Building Standards Branch requires the submission of the lot corner elevations on the site plan submitted for building permit approval. It is strongly recommended that the plans also include finished elevations along the foundation and garage grade beam, garage slab, foundation windows, side property lines, edge of driveways and sidewalks (particularly along the side of the house), and the top and bottom of any retaining feature.
2. Do use a level to set the finished grades along the property line, particularly before installing sidewalks and fencing.
3. Do discuss with adjacent property owner's final drainage grades along the property line. Proper lot drainage requires cooperation of adjacent homeowners.

4. Do undertake a final site inspection of easements, side yard and sidewalks with each sub-trade prior to releasing final payment.

Don'ts:

1. Don't excavate into the easement or berm. These contain critical utilities vital to the neighbourhood.
2. Don't fill the rear easements, as this will block the intended drainage.
3. Don't build raised flowerbeds against the fence/property lines without making provisions for drainage (see attached plans).
4. Don't try to build HIGHER than both adjacent neighbours. This leads to expensive provisions for retaining walls, and frequent flooding of neighbouring properties.

For more information please contact Gerald Prefontaine, Drainage Inspector, Infrastructure Services at 975-2320.

Lot Grading – Walkout Basement Lots

Some of the lots in this development area have been graded to accommodate the inclusion of a walkout basement into the design of your home. Whether or not a particular lot will support the inclusion of a walkout basement depends on the slope of the lot, the final foundation elevation and the home design characteristics.

While some lots will accommodate walkout basements, others will not. In between these areas is a transitional area where the back lot grade slopes successively on each lot until walkout basements can be accommodated. The grading design for this area is shown on the Final Design Contour plans attached to this package of information. It is very important to review these plans to determine how your lot has been designed to slope. If there are any questions about this information, they should be directed to the Land Branch at 975 – 3278. The Lot Pre-Grade Sheets also provide important information indicating the specific elevations that must be maintained along the front and rear property lines.

Lots identified on the map as Walkout Basement Lots (“W”) are subject to the Building Restriction Caveat stating “All dwellings shall be constructed with direct access from the basement level to the backyard (“walkout unit”). Walkout basements must be constructed on these lots. Lots not identified with the “W” may or may not support walkout basements. The decision to build a walkout on these lots is up to the purchaser.

It is strongly recommended that all purchasers discuss their plans to develop their homes with their neighbours, in these areas in particular, to ensure that the grades between the houses will meet both of the neighbours needs. Retaining walls or other means may be necessary if one neighbour intends to build a walkout lot in an area where the grades transition from walkout to conventional. The cost of the retaining walls or other associated work is the responsibility of the neighbour who changes grades from their current design shown on the Final Design Contour Plan. The Land Branch will accept no responsibility in this regard. The intent is that all areas

have been graded approximately 100 mm (4 inches) below final grade and that no additional grading would be required along the side and rear property lines.

FENCING

Decorative Aluminum Fence

A decorative aluminum fence will be installed in the fall of 2011 with an anticipated completion date of spring, 2012:

On the rear of:
 Lots 88 to 110, Block 12
 Lots 1 to 18, Block 16

On the partial side yard of:
 Lot 92, Block 12 (north side yard)
 Lot 93, Block 12 (south side yard)
 Lot 103, Block 12 (north side yard)
 Lot 1, Block 16 (west side yard)

All of these lots are adjacent to the linear park or specially landscaped municipal buffer areas. The centre line of this fence is located approximately 250mm (10 inches) inside the purchaser's property line. The purchaser will be responsible for all future maintenance of the fence. The location of the fence should be taken into consideration when siting your house on the lot. While planning your basement excavation, please ensure that your basement excavation and other construction activities do not disturb the structural pilings or other components of the fence. The drawing titled, "Back of Lot Fencing Detail" illustrates the fence details and style.

Rear Lot Buffer Fencing

A black chain-link fence will be installed along the rear yards of Lots 111 to 122, Block 12. Installation of this fence will occur in 2012.

CONSTRUCTION NOTES

Starting Construction

Possession of the site will be granted for construction purposes when the down payment has been received, the Agreement for Sale is endorsed and servicing is complete. The Land Branch will provide three weeks notice to purchasers of when the lots will be ready. In order to assist the utility companies, please post your civic address at the front of the property when construction begins.

Landscaping Of City Boulevards

It is the homeowner's responsibility to landscape and maintain the boulevard along both the front of their property and along the side of corner lots.

Boulevards are defined as the landscaping space between the edge of the roadway and the property lines. Where the sidewalk is attached to the curb, the boulevard is the space between the edge of the sidewalk and the property line. Where the sidewalk is not attached to the curb, the boulevard also includes the space between the curb and the sidewalk. These areas need to be landscaped and maintained by the homeowner at their expense.

Boulevard Tree Planting

The Community Tree Planting Program was established in 1991 via pre-paid levies from the original sale of lots. This program hand plants 30mm (1.2”) caliper trees on boulevards in recently developed neighbourhoods. Streets are selected for this Program based on a review of newly developed areas. We consider the number of lots that are developed and are up to grade. This review is completed the season prior to planting. The *Plant By Request Program* is also available to residents to request to have a tree planted in an available planting site on the boulevard. This program plants 30mm (1.2”) caliper trees. For *Plant By Request Program* please contact the Urban Forestry Branch at 975-2890.

Earth Disposal

Contractors and individuals will be responsible for disposing of their own excess earth material. The recommended disposal site is the City Landfill. If arrangements are made with another landowner to dispose of the material anywhere within city limits, they are to contact Central Dispatch at 975-2491 and they will maintain a log of locations. If disposing of material outside the city limits within the RM of Corman Park the RM needs to be notified of those arrangements.

Please ensure basement excavations and all other construction waste materials are not deposited on adjacent properties or any other properties in this area without prior arrangements being made. **Regular inspections of the area will be done and any individual or company found illegally disposing of materials on properties without the owner’s permission shall be liable of fines up to \$25,000.00 as outlined in City of Saskatoon Waste Bylaw No. 8310 and the Anti-Dumping Bylaw No. 5713.**

Construction Waste

As per City of Saskatoon Bylaw No. 8310, The Waste Bylaw, 2004 any owner or contractor carrying out the construction of a building on any property shall place all waste into a waste container or enclosure. The owner or contractor shall dispose of all waste resulting from the construction in a timely manner so as to ensure there is no unreasonable accumulation of waste on the property during construction.

It is highly recommended that a waste disposal bin remain on each building site for the duration of construction in order to ensure that the waste is not dispersed on or around the property or surrounding properties during construction. Upon completion of the construction it is the owner or the contractor’s responsibility to clear the site of all waste. If the waste is not removed the City may remove the waste and the costs of doing so will be charged to the property owner or the contractor.

Laned Lot Information

The rear north/south lane adjacent to the east block of Werschner Lane and the nearest easterly street townhouse site will be paved during the 2012 construction season.

Disclosure of Adjacent Property Owners

Please note in order to facilitate communication between property owners respecting lot grading and fencing issues, the Land Branch will, upon request, disclose the names of purchasers to adjacent property owners.

OTHER INFORMATION**Temporary Water Circulation Boxes**

To ensure water quality is maintained throughout the initial stages of development in this phase; temporary water circulation boxes are installed. The locations of these temporary water circulation boxes are identified on an attached map. These temporary water circulation boxes are removed during the installation of the water and sewer connection to the house. For more information please contact the Municipal Engineering Branch at 975-2454.

Lots are sold “**As Is**”. These terms are contained in the Agreement for Sale. The terms may change without notice. Any questions should be asked to ensure you understand the terms of your purchase.

Land Branch
Third Avenue North
Saskatoon SK S7K 2H7

Phone: 975-3278
E-mail: land@saskatoon.ca
www.saskatoon.ca

Foundation Drainage

1. Foundation Drainage (Weeping Tile) Requirements

- 1.1. The bottom of every exterior foundation wall shall be drained as per the National Building Code.
- 1.2. Connection of foundation drains of all buildings to the sanitary sewer collection system will not be permitted.

2. Discharge of Foundation Drainage Water

- 2.1. All buildings are required to drain foundation water into a sump, which in turn discharges the water to the surface or to a storm sewer.
- 2.2. Surface Discharge
 - 2.2.1 Sump pumps discharging to surface may not discharge directly onto a pervious ground surface within one metre of any building that has a basement or a level below the finished ground surface.
 - 2.2.2 The location of the point of discharge shall be directed away from adjacent properties.
 - 2.2.3 If the lot drains from the centre to the front and to the back, surface discharge may be to either the front or back yard. If the lot drains from the back to the front, surface discharge must be to front yard.
 - 2.2.4 The discharge may not be into the "required" side yard unless the side yard is adjacent to a street, park or buffer strip.
- 2.3. Discharge to Storm Sewer
 - 2.3.1 Sumps discharging to storm sewers shall be pumped to the main by a pressure service connection as per detailed drawing Sump with Pumped Discharge to Storm Sewer, Detail Drawing 102-0025-002-r004.

Foundation Drainage (continued)

3. Sump Design Criteria

3.1 Sump Pit Details

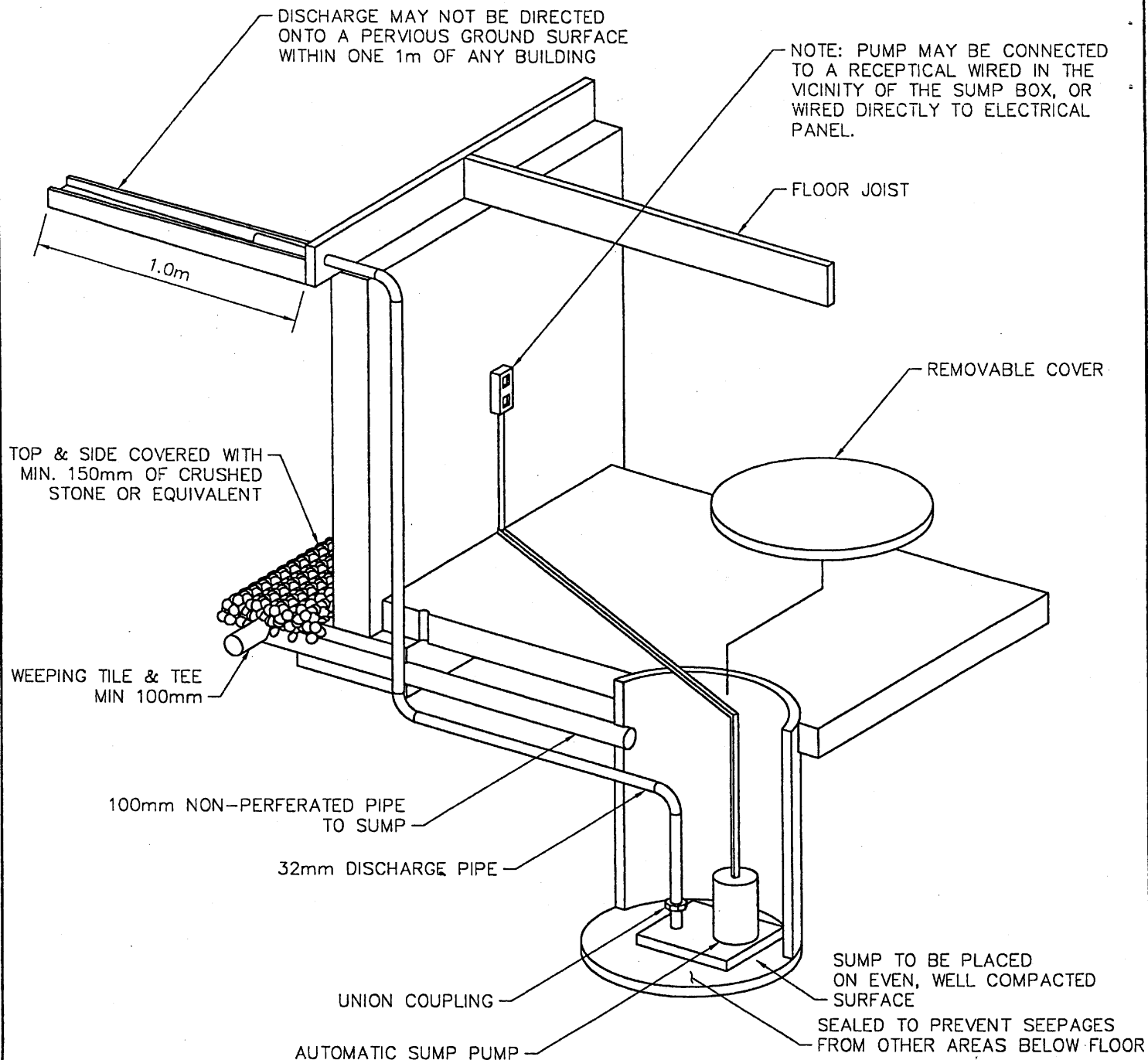
- 3.1.1 As per National Building Code 9.14.5.2, sump pits are to be a minimum of 750 mm deep and 0.25 m² in area.
- 3.1.2 Sump pit is to be fitted with a tight fitting removable cover.
- 3.1.3 Sump pit will be constructed of concrete, plastic, or non-corrosive metal.
- 3.1.4 Sump pit is to be fitted with an opening to accept a 100 mm drain with the invert of the pipe located above centre of the sump pit height.
- 3.1.5 Sump pit is to be placed on an even, well compacted surface.

3.2 Foundation Drainage (Weeping Tile) to Sump Pit

- 3.2.1 A weeping tile collection system shall be provided around the building perimeter and tied to a sump pit using a positively graded, non-perforated, 100 mm pipe which discharges into the side of the pit.
- 3.2.2 Provision shall be made to ensure soil gas is prevented from entering the dwelling unit through the weeping tile and through the sump pit.

3.3 Sump Pump

- 3.3.1. Provide a sump pump (column of submersible type) capable of pumping 50 L/m at three metres of head.
- 3.3.2. The pump shall be fitted with an automatic on/off level control.
- 3.3.3. The pump discharge must have a minimum pipe diameter of 32 mm. The pipe must be adequately secured.
- 3.3.4. Sump pumps connected directly to a storm sewer must be equipped with a spring check valve and a shut-off valve located downstream of the check valve, so that the connection to the main can be isolated for maintenance, etc.



- ENSURE EXCAVATION FOR THE SUMP IS A MINIMUM 450mm FROM THE FOOTINGS.

- PROVISION IS REQUIRED TO PREVENT SOIL GAS FROM ENTERING THE DWELLING FROM THE SUMP AND WEEPING TILE.

- SUMP PIT MAY BE CONSTRUCTED OF:
 A) CONCRETE
 B) CORROSION RESISTANT STEEL
 C) PLASTIC

CODE REFERENCE ON SUMP:
 NATIONAL BUILDING CODE SECTION 9.14.2
 FOUNDATION DRAINAGE
 9.14.5.2 SUMP PITS

WHERE A SUMP PIT IS PROVIDED IT SHALL BE:
 A) NOT LESS THAN 750mm DEEP.
 B) NOT LESS THAN 0.25sq.m IN AREA, AND
 C) PROVIDED WITH A COVER.

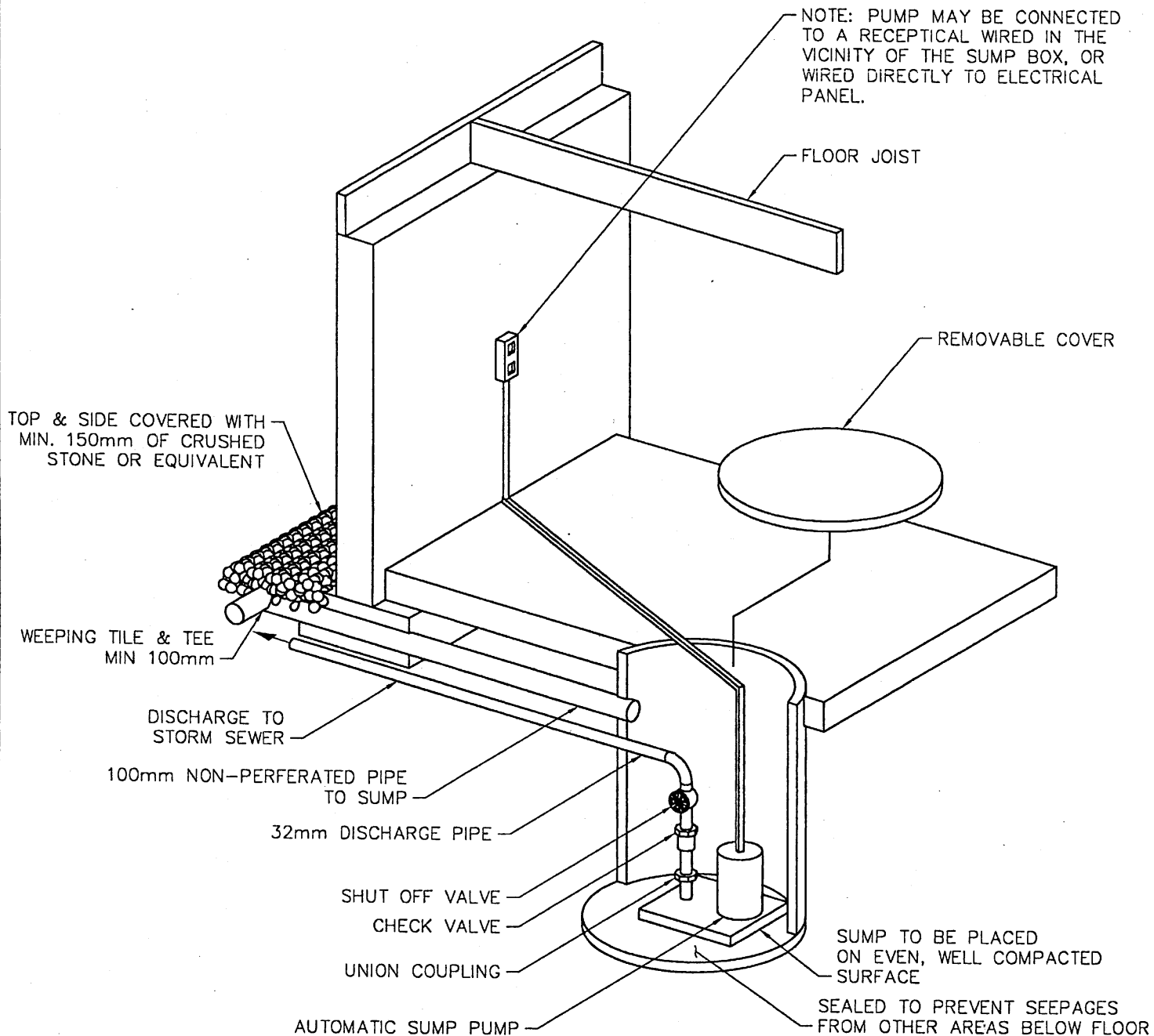
REVISIONS	
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DRAWN BY C. CARTER	
DATE 10/30/02	
CHECKED BY	
DATE	



**City of
Saskatoon**
 Infrastructure Services Department

SUMP WITH PUMPED DISCHARGE
 TO SURFACE

APPROVED	
GENERAL MANAGER	P. ENG.
ENGINEER	
ENGINEER	
SCALES :	HOR. NTS
PLAN NO. 102-0025-001r004	



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REVISIONS	
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DRAWN BY <u>C. CARTER</u>	
DATE <u>10/30/02</u>	
CHECKED BY _____	
DATE _____	



**City of
Saskatoon**
Infrastructure Services Department

SUMP WITH PUMPED DISCHARGE
TO STORM SEWER

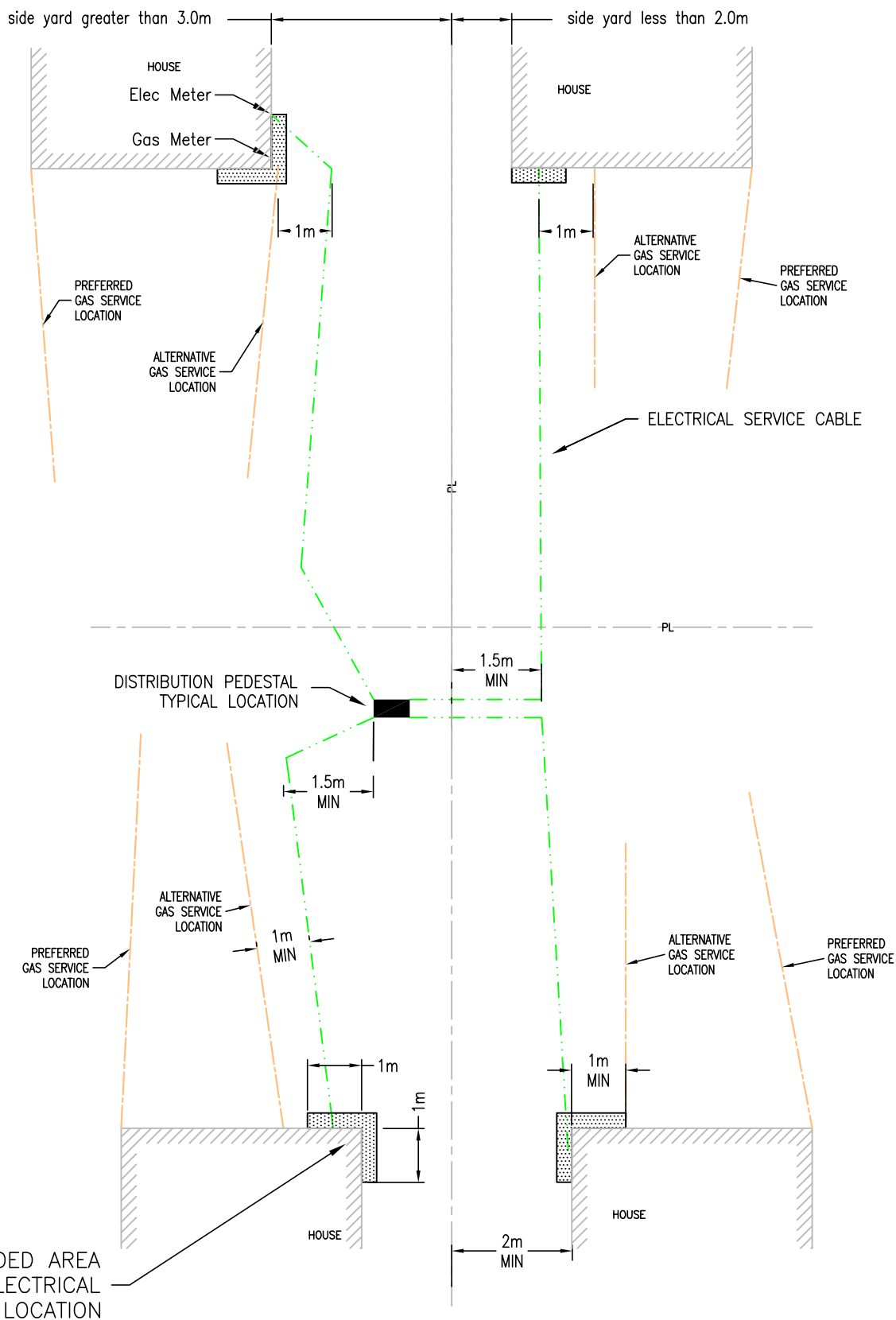
APPROVED	
GENERAL MANAGER	P. ENG.
ENGINEER	
ENGINEER	
SCALES : HOR. NTS	
PLAN NO. 102-0025-002r004	

Underground Electrical Service Requirements for New Residences

1. The minimum size of meter socket shall be 455mm x 300mm x 125mm for all 1Ø residential services up to and including 200 amp. The meter socket shall have 1/2 inch stud type line side and neutral terminals arranged to permit straight in conductor connections and suitable for securing compression lugs rated for #6 to 4/0. A single meter socket with dual lugs on the load side will be allowed in certain circumstances. Total load on the socket must not exceed that allowed by the Canadian Electrical Code. The meter socket is to be mounted on an adequately secured fixed wood backing at least the same size as the socket. The use of the 400 amp self-contained meter socket is NOT allowed.
2. The electrical meter stack shall be located on the house within one metre of the corner closest to the service pedestal (as show on Ws-100B-02).
3. If the Homeowner wants the electrical meter mounted on the side of the house, he/she must provide a minimum 2 metres between the house and the property line for construction access. If the electrical meter is mounted on the side of the house, the gas meter shall not be mounted on the same side of the house, and shall be at least 1.0 metre away from the electrical meter and service cable.
4. If the Homeowner wants the electrical meter and gas meter mounted on the same side of the house, he/she must provide a minimum 3 metres between the house and the property line for construction access. There shall be at least 1.0 metre separation between the gas meter and the electrical meter and lines.
5. If there are any questions as to which distribution pedestal will service the lot, please contact the City of Saskatoon Electric System.
6. If the Homeowner wants the meter to be located in a position other than those outlined above, the City of Saskatoon Electric System must be contacted for the for approval. Additional charges may apply for these special service applications.
7. The Electric System will install the service cables to the meter stack only after:
 - the meter stack has been installed,
 - the lot is at a finished grade, and
 - all other obstructions (such as dirt piles and lumber) have all been cleared from the trench line.
8. The Electric System will install the meter and energize the service only after:
 - the Civic Address is clearly marked on the front of the house,
 - application for electrical service has been made at City Hall, Customer Service,
 - Electrical Inspection Permit number has been provided to the Electric System Meter Shop, phone (306) 975-2417, fax (306) 975-2625.

FOR MORE INFORMATION, PLEASE CONTACT
CITY OF SASKATOON, ELECTRIC SYSTEM – (306) 975-2414

LATEST REVISION		ORIGINAL		- City of Saskatoon - Utility Services Electric System	REF DWGS	
REVISED BY	DGM	DRAWN BY	TM		SCALE	
DATE	MAR 3/03	DATE	MAY 15/97	UNDERGROUND SERVICE TO NEW RESIDENCE	Horizontal	NTS
CHECKED BY		DESIGNED BY			Vertical	NTS
DATE		DATE			DRAWING NUMBER	
APPROVED BY		APPROVED BY			Ws-100B-01	
DATE		DATE		REV. NO 4		



LATEST REVISION		ORIGINAL		- City of Saskatoon - Utility Services Electric System	REF DWGS	
REVISED BY	DLH	DRAWN BY	TM		SCALE	
DATE	03/31/03	DATE	MAY 15/97	UNDERGROUND SERVICE TO NEW RESIDENCE	Horizontal	NTS
CHECKED BY		DESIGNED BY			Vertical	NTS
DATE		DATE			DRAWING NUMBER	
APPROVED BY		APPROVED BY			Ws-100B-02	
DATE		DATE				REV. NO 3

SaskEnergy

A. Applying for Service

1. Make the application for your natural gas service when
 - property is backfilled.
 - framing is started

You can make this application by calling SaskEnergy at 975-8505.

2. At this time, a staking appointment will be given to meet on site to determine the route of the gas service and to hang the bracket.
3. Construction of your gas service should take place within 2 to 3 weeks during summer construction (allow an extra week during winter construction period).

Note: When running a new service, take into consideration any future developments to avoid encroachments on the gas service and having to reroute the service. (E.g. Decks, garages, sheds, pools)

4. When your mechanical contractor has completed all the piping for your natural gas appliances, he has to call SaskEnergy to have your natural gas meter installed. The number to call is 975-8500.

B. Building A Garage/Fence or Deck

1. Call SaskEnergy at 975-8515 at least 2 working days prior to starting construction and we will send someone out to locate your natural gas service at no charge. ***Remember – if you don't call and there is damage to the gas service, you will be charged the cost to repair it.***

C. Natural Gas For Your Home

Whether you're looking for an efficient way to heat your home, a better way to barbecue, or something to add fun and warmth to the great outdoors, natural gas is the choice for you. Your options are endless with SaskEnergy Network Financing.

Look around your home and you'll see that there are plenty of reasons to consider the natural gas alternative. Natural gas is convenient, safe, efficient, reliable and a friendlier option for the environment. When you think about it...the choice should come naturally.

Consider these natural gas options...home, garage and shop heating, water heater, fireplace, range, clothes dryer, barbecue, yard lights, campfire, pool and patio heaters.

Visit a SaskEnergy Network Member and ask to see their selection of natural gas appliances, heating systems and outdoor items.

For a list of SaskEnergy Network Members throughout the province, visit www.saskenergy.com or call 1-800-567-8899.

D. Convenient Payment Options

SaskEnergy offers convenient bill payment options to make payments a breeze.

Equalized Payment Plan

With SaskEnergy's Equalized Payment Plan you can average your bills over the year and avoid peak winter heating bills. You pay the same amount each month until your annual settle-up, when a new monthly payment is calculated for the next year. It's an easy way to budget and take the bite out of winter bills. Call us for full details.

Pre-authorized Payment Plan

No more monthly cheques to write, no line-ups no postage and the peace of mind knowing that your payment is on time, every time. The full amount of your monthly bill will be debited from your bank account each month automatically.

SaskEnergy's Pre-authorized Payment Plan is available to all SaskEnergy customers and is accepted on any chequing account from recognized financial institutions in the province.

E. How To Read Your Bill

Your billing is based on the cubic meters of natural gas you used during the billing period. Consumption on most natural gas meters is measured in hundreds of cubic feet. This multiplied by a metric factor in order to convert to cubic meters. On the back of your SaskEnergy bill, you'll find an explanation of all the terms used on your bill, including:

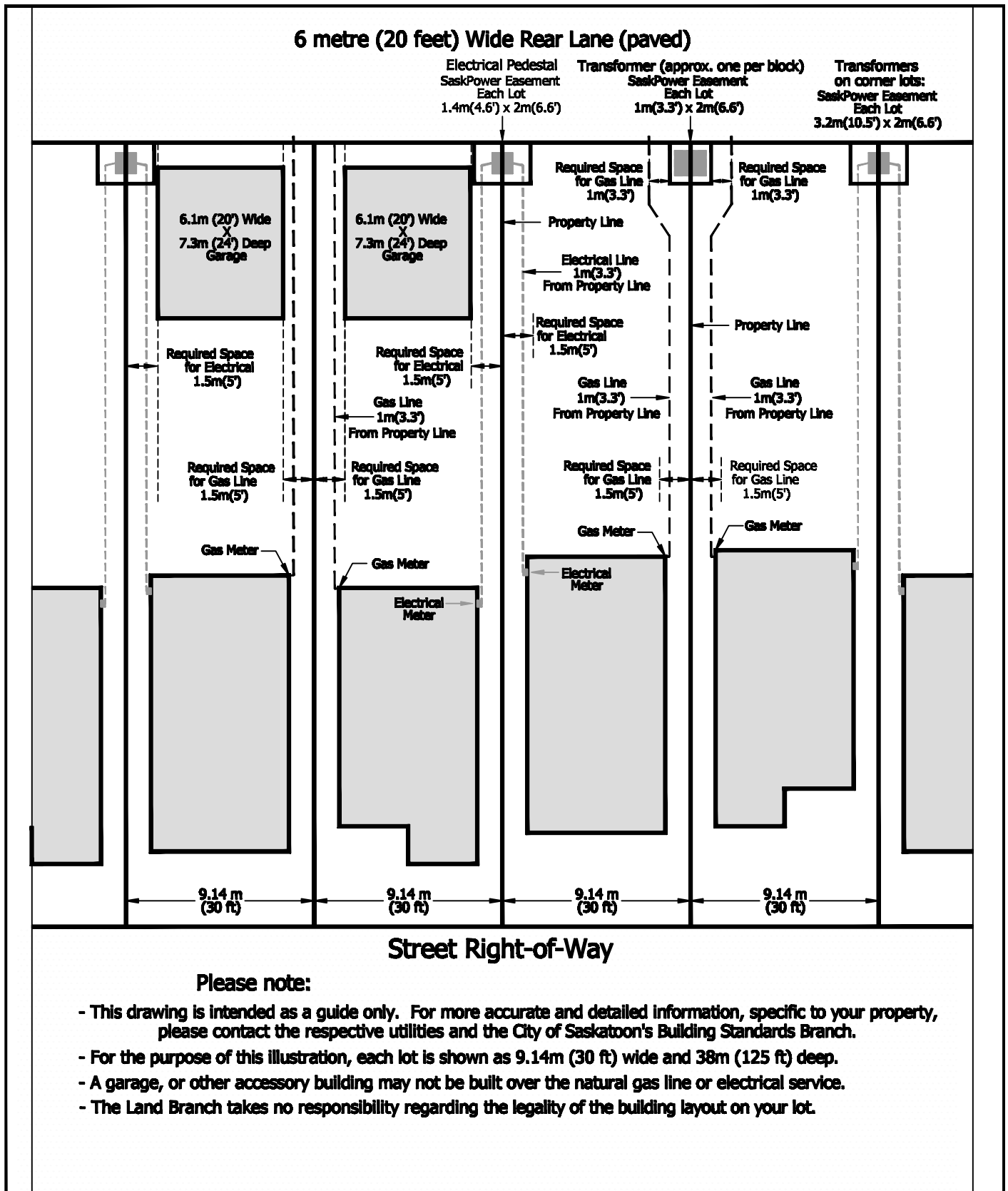
Basic monthly charge – this covers ongoing costs of service such as meter reading, maintenance and billing.

Delivery charge – this is for storing and delivering natural gas through our pipelines to your home or business.

Gas supply cost – this is the cost of gas we buy in the market to supply to your home or business.

For more information on SaskEnergy, our products and programs, appliance information, or a listing of SaskEnergy Network Members, give us a call at 975-8500 or visit our website at www.saskenergy.com.

Typical Servicing From Lane SaskPower and SaskEnergy Underground Lines



September 30, 2011
File No. 4111-48

Daryl Schmidt, CMA, CPA
Land Development Manager
Infrastructure Services Department

Dear Mr. Schmidt:

Re: Rosewood Residential Subdivision – Groundwater Concerns and Mitigation

At the request of the Land Branch, we have prepared this letter to outline what has been done to mitigate the groundwater issues within the City owned portion of the Rosewood residential subdivision.

WaterMark Consulting Ltd. submitted a report in February 2008 which provided a comprehensive site characterization and identifies potential issues and areas associated with high water table at the Rosewood site and surrounding areas. This report also included a list of recommendations to mitigate groundwater concerns for each of the four categorized type lands.

The City's portion of Rosewood's land includes category II, III and IV type land. These categories are summarized as follows:

- Category II lands were areas where the water table was less than 2 m below surface and immediately surrounding the storm ponds.
- Category III lands were areas where the water table was 2 to 3 m below the surface.
- Category IV lands were those where the water table was greater than 3 m below the surface.

The City owned Category II lands include the slough and the area leading down to the north end of Pond 3 located in Phase B. This slough was characterized as a perched freshwater slough and the WaterMark investigation stated that once it was drained and properly graded to shed surface water, the water table is expected to drop to greater than 2 m below surface. This recommendation was adhered to during Phase B construction.

The other Category II land within City ownership is the low area off the south-eastern corner of Pond 3 that is below 506.5 m elevation. The WaterMark study notes that this area is relatively small and recommends additional fill to ensure the grade is raised to ± 509 m elevation. This land is located within Phase B2 and will be constructed this year using the recommended elevations.

October 3, 2011
Page 2

Similar to the rest of City owned land in Rosewood, Category III land has been designed to ensure a minimum 2.5 m grade separation from the measured water table. This will ensure future basements would be constructed a minimum of 0.5 m above the water table.

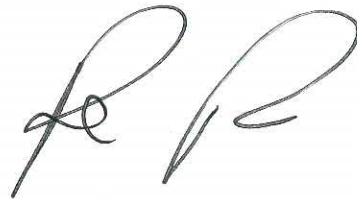
The remaining Category IV land within City ownership did not require any special consideration since the water table was greater than 3 m below the surface.

During construction of the subdivision, water and sewer trenches were excavated up to 5.5 metres deep in Phase B1 of Rosewood. There was minimal to no ground water seepage in the sewer trenches during construction of the sewer mains at the deep levels listed above. In addition, all low areas where earth fill was added were compacted to the City of Saskatoon Standard of 98% standard proctor density in 150 mm lifts.

Land Branch has also indicated that groundwater levels will continue to be monitored via existing piezometers in the area and also through the installation of new piezometers within City owned lands.

We trust that the information provided satisfies your requirements. Please contact me if you have any questions regarding these matters.

Yours truly,



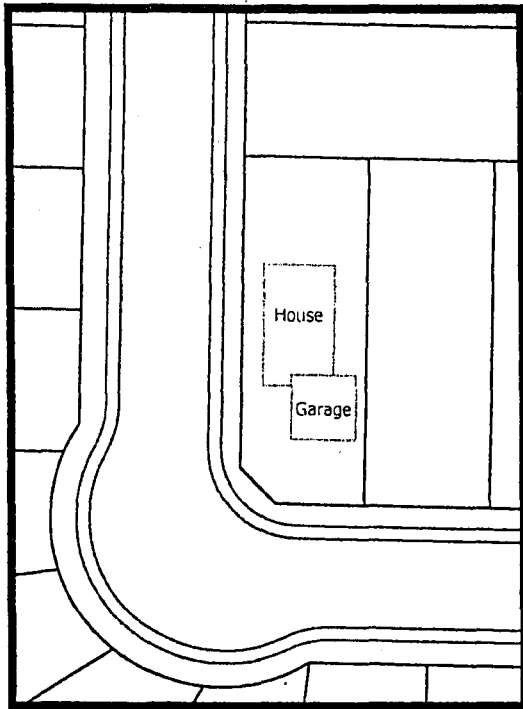
AJ McCannell, P.Eng./Rob Frank, P. Eng.

Water and Sewer Design Engineer, Construction Services Manager/ Construction & Design Branch

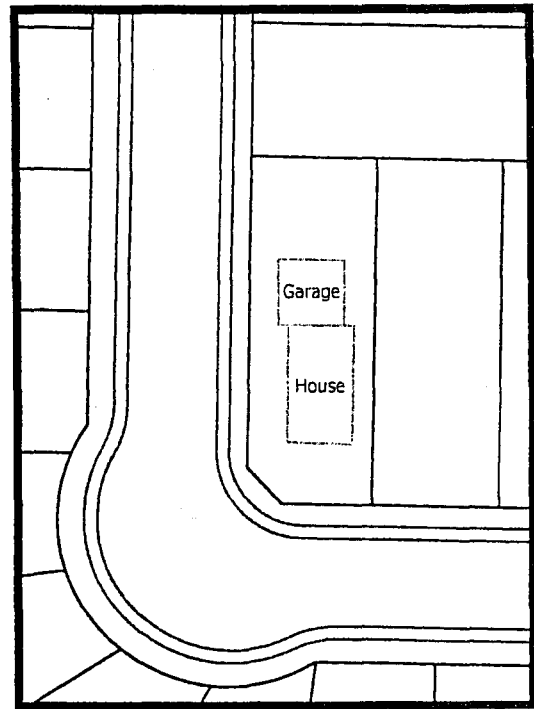
AJ/RMF:kd

cc Frank Long, Land Branch, Community Services Department

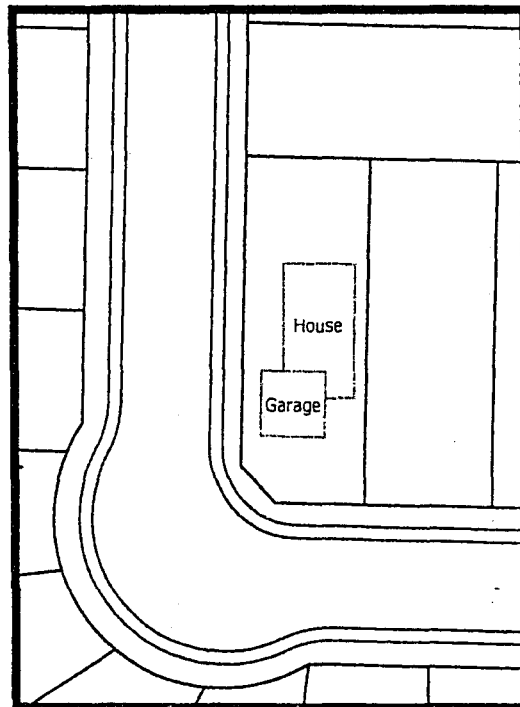
Corner Garage Placement Requirements



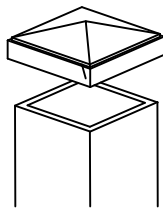
Permitted



Permitted

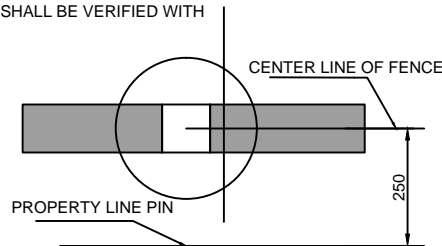


Not Permitted



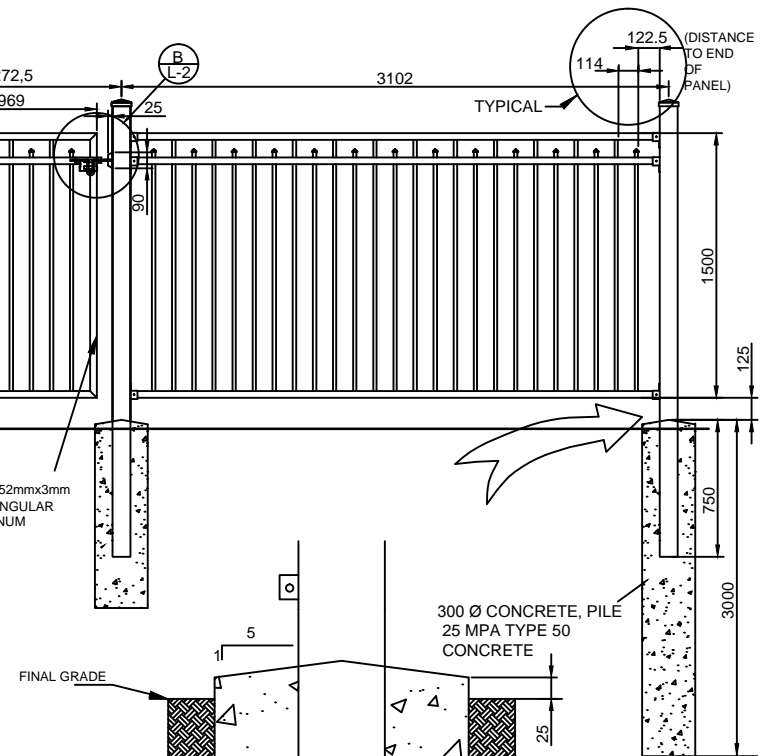
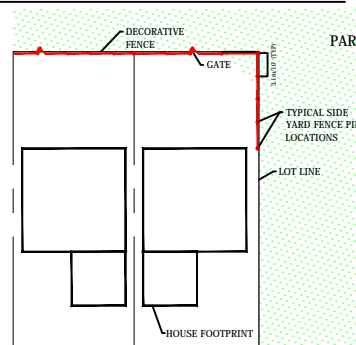
NOTES:

1. POST CAP TO BE ATTACHED TO ALL POSTS PRIOR TO POWDER COATING.
2. ALL FENCE SECTIONS SHALL BE FIELD VERIFIED FOR PROPER LENGTH AND FIT PRIOR TO FINISHING. INSTALLER SHALL BE RESPONSIBLE FOR ENSURING CORRECT PLACEMENT AND HEIGHT OF POSTS TO MEET THE STANDARDS AS SET OUT.
3. ALUMINUM GRADE TO BE 6063-T5
4. FENCE TO BE AKZO NOBEL POWDER COATING (RAL 9005 JET BLACK). PROVIDE POWER COAT SAMPLE FOR APPROVAL PRIOR TO CONSTRUCTION.
5. SITE CONFIRM ALL MEASUREMENTS.
6. DESIGN DIMENSIONS MAY REQUIRE ADJUSTMENT TO FABRICATOR MATERIAL SPECIFICATIONS.
7. GATE LATCHES PRE FABRICATED.
8. TOP RAIL OF GATE TO BE LEVEL WITH THE TOP RAIL OF REMAINDER OF FENCE IMMEDIATELY ADJACENT.
9. ENSURE PROPER SWING OF GATE AND CORRECT FASTENING OF LATCH SYSTEM. LATCH SYSTEM TO BE INSTALLED SUCH THAT GATE SWINGS INTO PARK TO PROVIDE CORRECT MEANS OF EGRESS FROM HOUSE PROPERTY.
10. ALL FENCE POSTS ARE TO BE EMBEDDED APPROX. 750mm INTO 300mm DIAMETER X 1100 CONCRETE PILE. THE FINISHED TOP OF THE PILE SHALL BE SLOPED. PILES ARE TO BE CAST USING 25 MPA TYPE 50 CONCRETE THE FINISHED SLOPE SHALL BE SLOPED AWAY FROM THE POST AND EXPOSED AT THE SURFACE 25mm BELOW SLOPED TOP. THE FINISHED SLOPE SHALL BE FIELD FORMED AND SHALL BE COMPLETED IN SUCH A MANNER THAT WATER SHALL NOT REST ON THE TOP BUT DRAIN AWAY FROM THE ALUMINIUM POST.
11. CONCRETE PILES SHALL BE LOCATED ENTIRELY ON LAND OWNERS PROPERTY (SEE PROPERTY LINE DETAIL) AND SHALL NOT INFRINGE UPON PUBLIC LAND IN ANY WAY PILES SHALL BE LOCATED PRIOR TO DRILLING BY APPROVED SURVEYOR TO ENSURE LOCATION AND FINAL GRADE AS PRESCRIBED BY THE LAND DEVELOPER. ANY DISCREPANCIES IN PILE LOCATION SHALL BE VERIFIED WITH LAND DEVELOPER PRIOR TO DRILLING.



PROPERTY LINE DETAIL

TYPICAL SIDE YARD PILE LOCATION



TOP OF CONCRETE TO BE SLOPED AWAY FROM POST AT A GRADE OF APPROX 1:5 TO ALLOW DRAINAGE (SITE FORMED). FINISHED CONCRETE TOP TO BE 25mm ABOVE FINAL GRADE.

TYPICAL POST/CONCRETE

DESCRIPTION	DATE	REVISION	DATE	BY



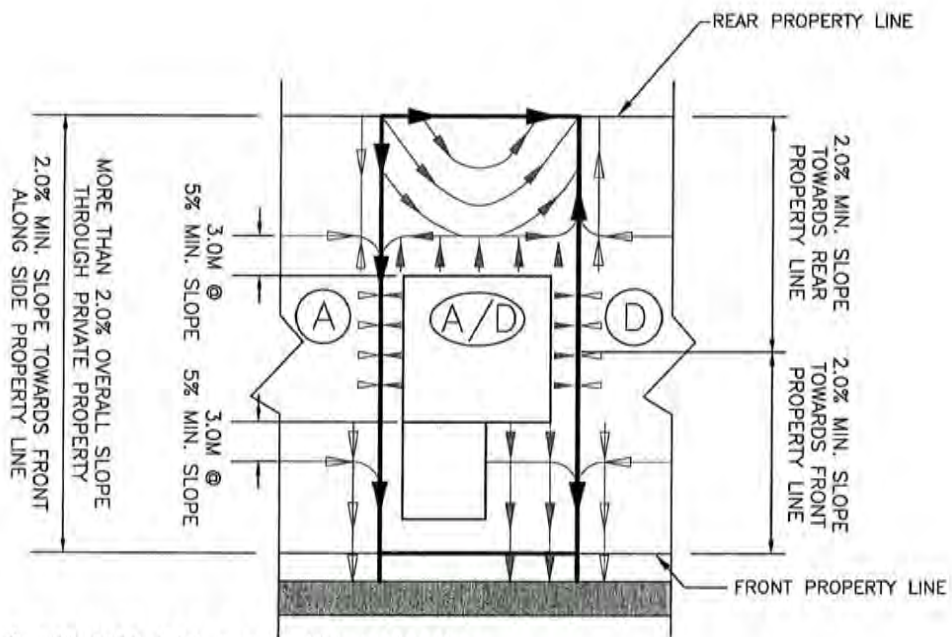
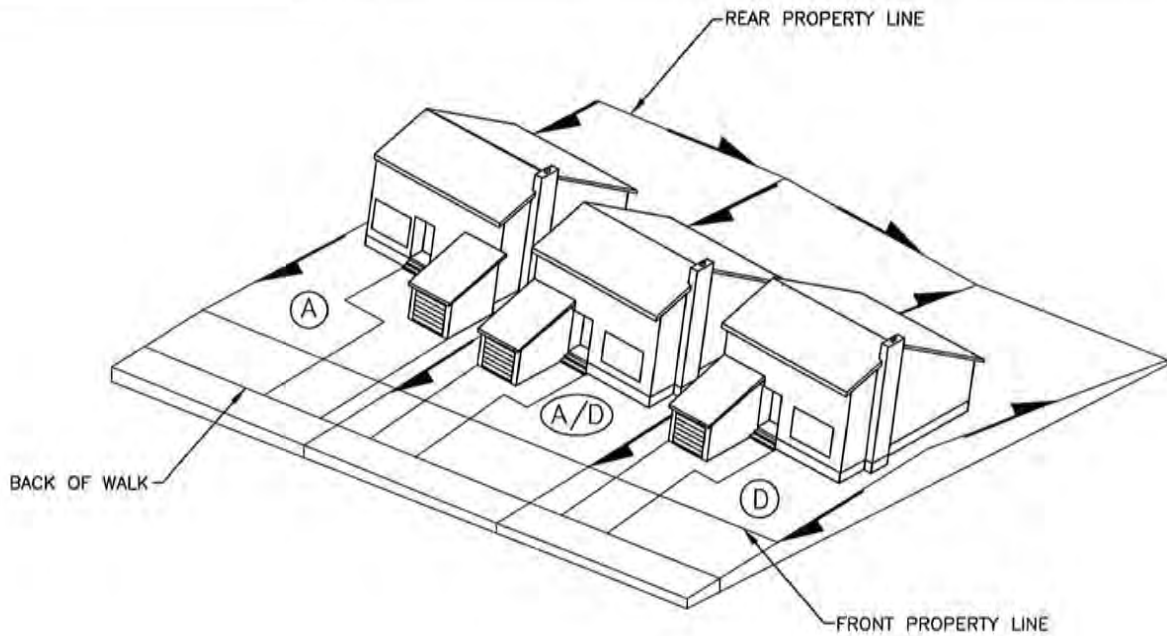
ROSEWOOD

CITY OF SASKATOON
ROSE WOOD
SUBDIVISION
BACK OF LOT
FENCING DETAIL

FEBRUARY 8, 2011

DRAWING

L-1



- NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
 2) LOT TYPE D/A IS REVERSE OF LOT TYPE A/D

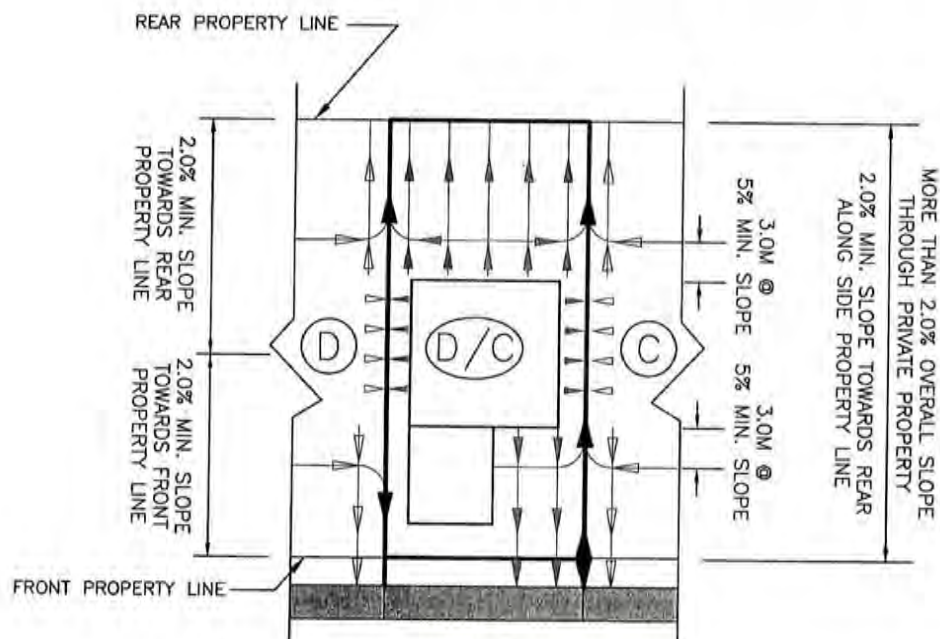
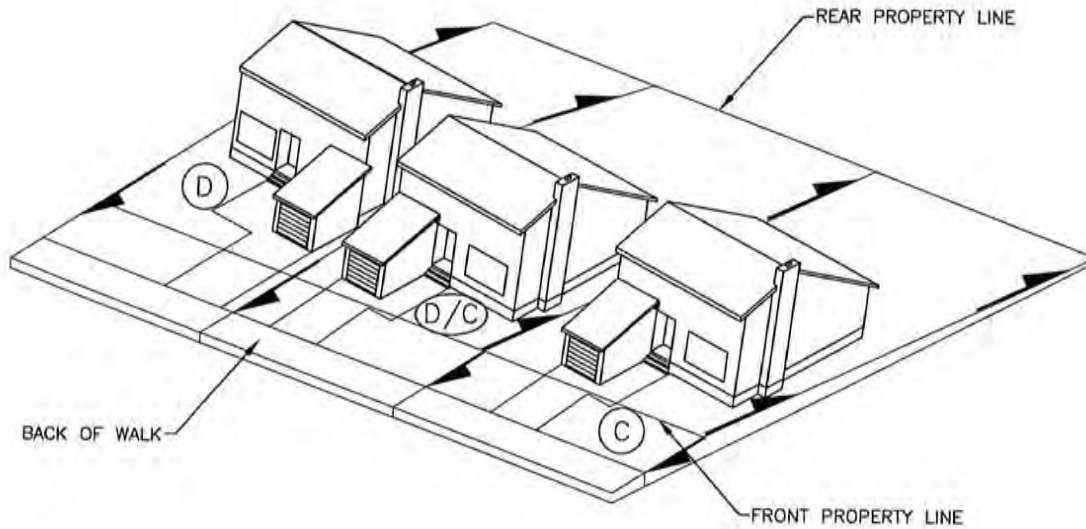
PLAN VIEW
TRANSITION LOT TYPE A/D

PLAN DESCRIPTION/REVISIONS	
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DRAWN BY <u>LMD</u>	
DATE <u>2010-SEP-14</u>	
SCALE : HOR. _____ VERT. _____	



LOT GRADING
TRANSITION LOT TYPE A/D & D/A

APPROVED
<i>[Signature]</i> Nov 3, 10
GENERAL MANAGER
ENGINEER
PLAN NO. 102-0022-013r001

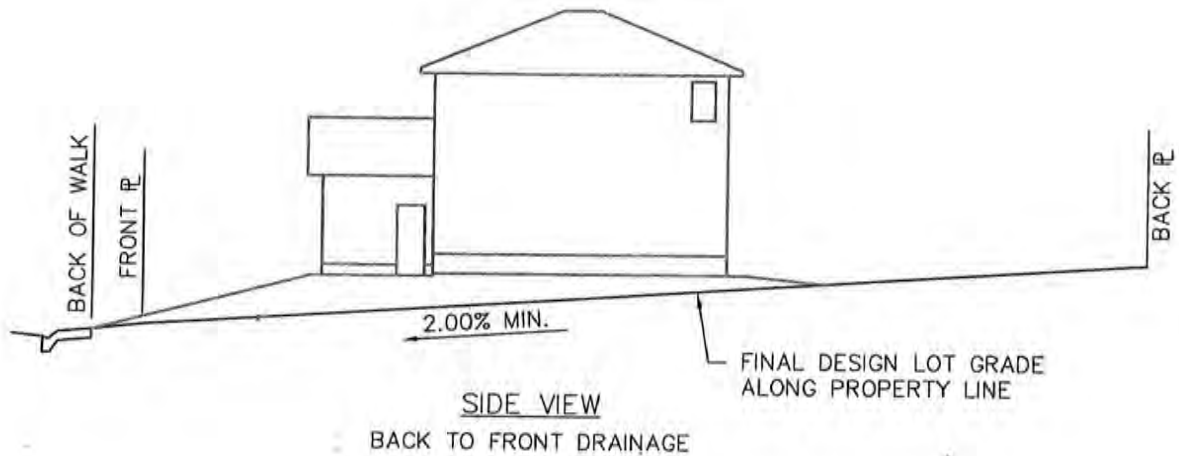
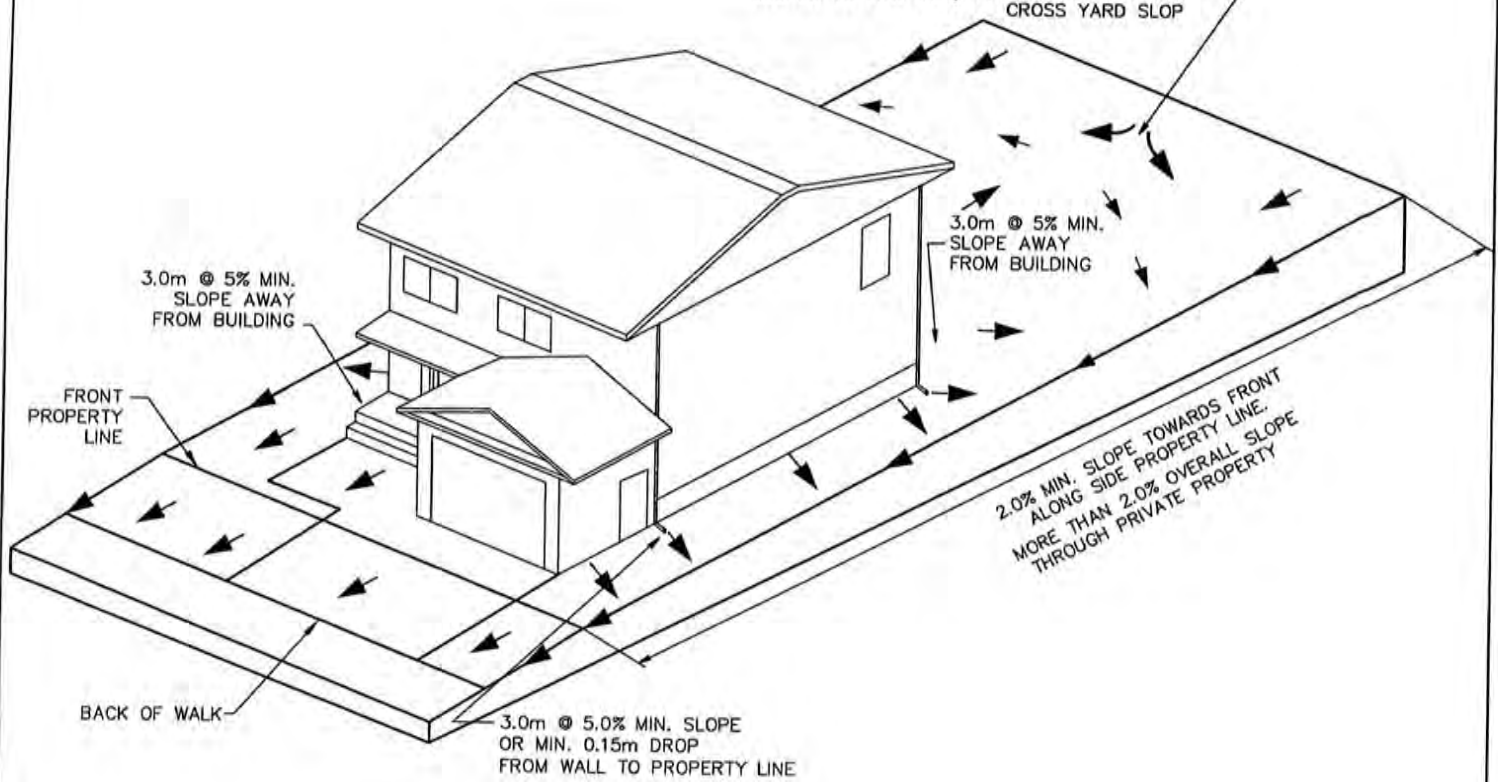


NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE C/D IS REVERSE OF LOT TYPE D/C

PLAN VIEW TRANSITION LOT TYPE D/C

<p>PLAN DESCRIPTION/REVISIONS</p> <table border="1"> <tr><td>4</td><td></td></tr> <tr><td>3</td><td></td></tr> <tr><td>2</td><td></td></tr> <tr><td>1</td><td></td></tr> </table>	4		3		2		1			<p>APPROVED</p> <p><i>[Signature]</i> 10/3/10</p> <p>GENERAL MANAGER</p>
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<p>DRAWN BY <u>LMD</u></p> <p>DATE <u>2010-SEP-14</u></p> <p>SCALE : HOR. _____ VERT. _____</p>	<p>LOT GRADING TRANSITION LOT TYPE D/C & C/D</p>	<p>ENGINEER</p> <p>PLAN NO. 102-0022-014r001</p>								

TYPICAL RELATIVE HIGH POINT ACROSS YARD
(DRAINAGE MAY BE SPLIT FROM CENTRE OR ALL
SLOPED TO LOW SIDE) TYPICAL 1.5% MINIMUM
CROSS YARD SLOP

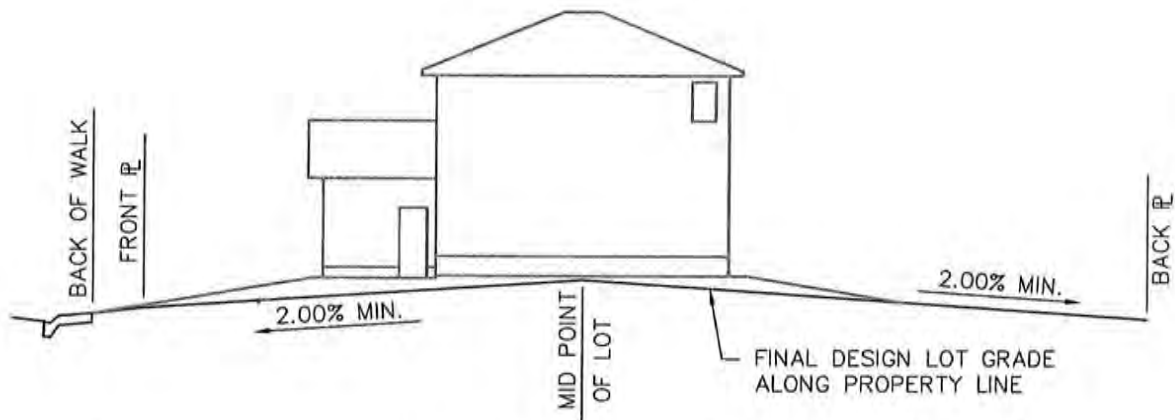
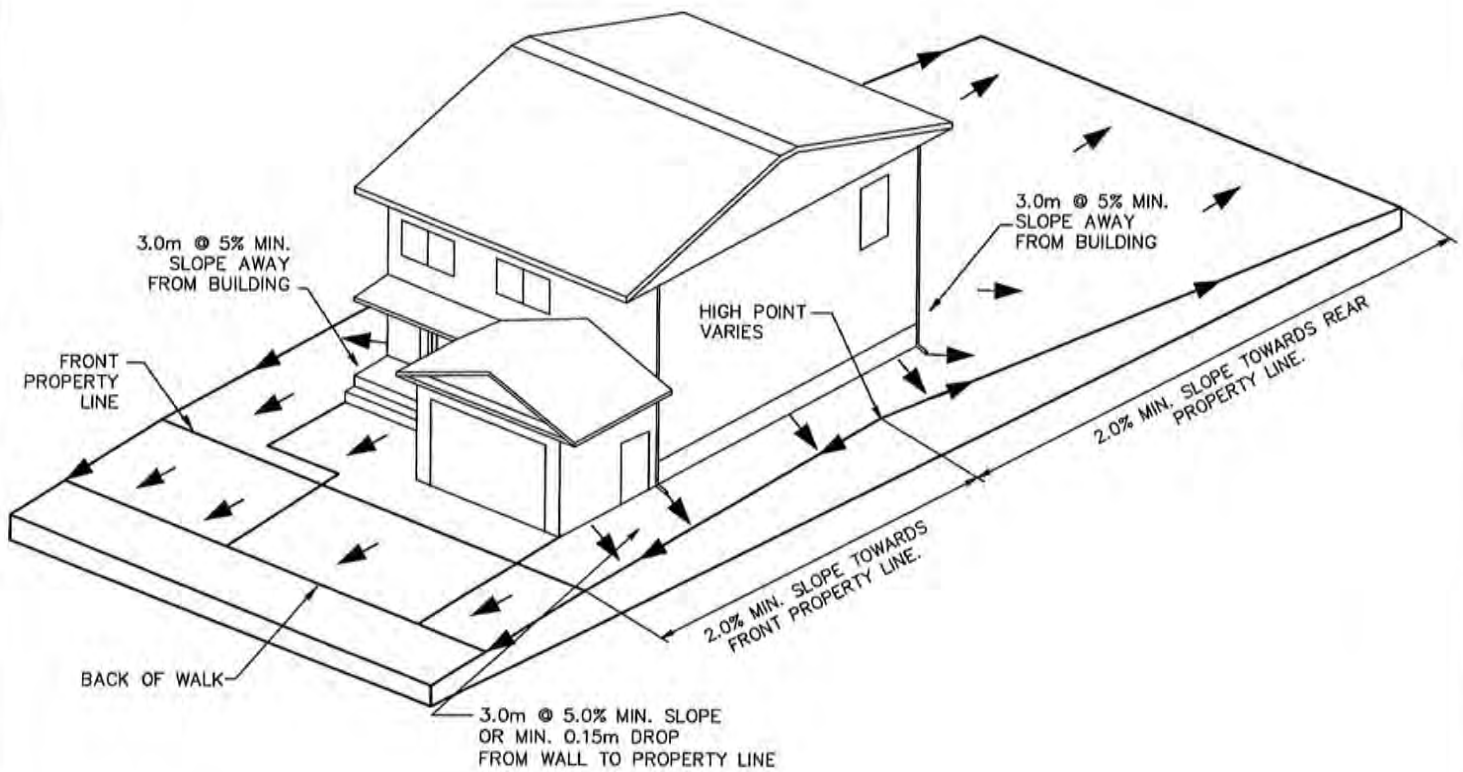


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DATE <u>04-OCT-2010</u>	
CHECKED BY _____	
DATE _____	

CITY OF SASKATOON
INFRASTRUCTURE SERVICES DEPARTMENT

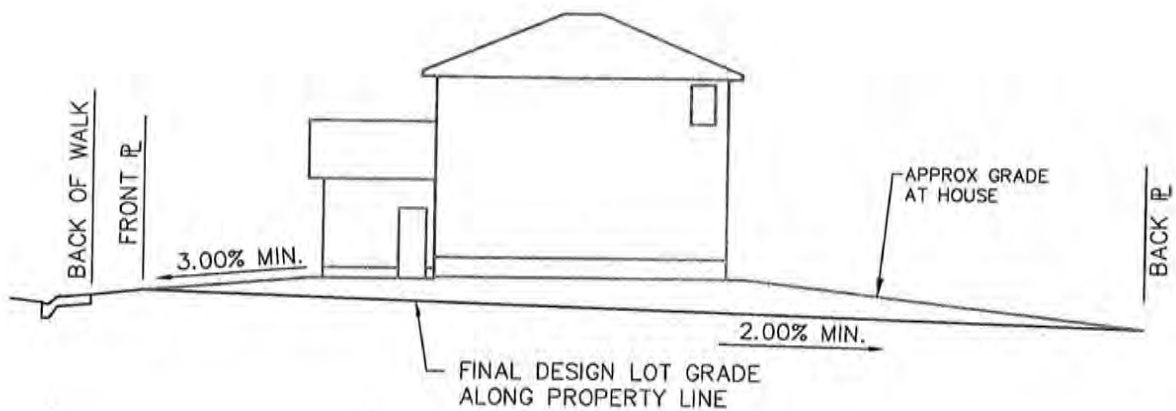
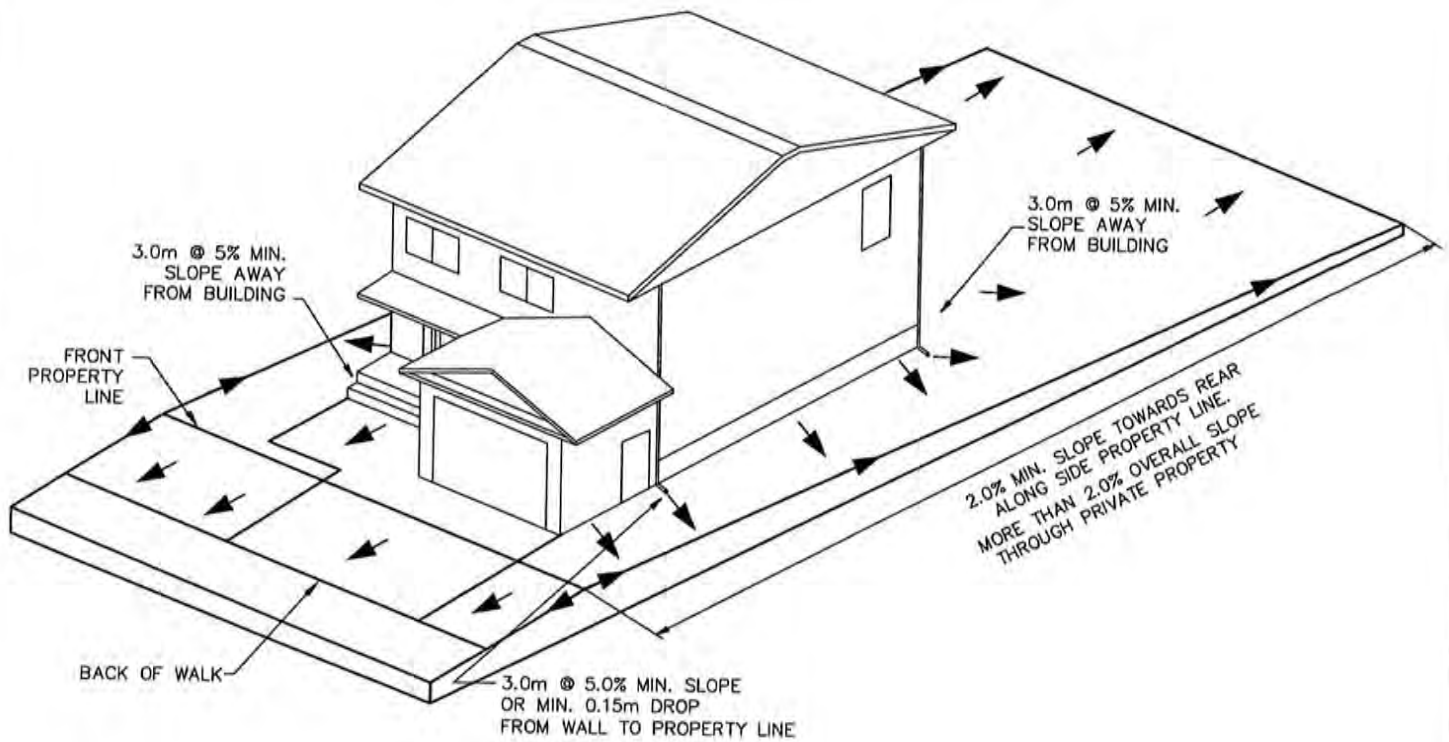
LOT GRADING
TYPE A

APPROVED	
CITY ENGINEER	Nov 3, 10 P. ENG.
ENGINEER	
ENGINEER	
SCALES : HOR. <u>N.T.S.</u> VERT. <u>N.T.S.</u>	
PLAN NO. 102-0022-016r001	




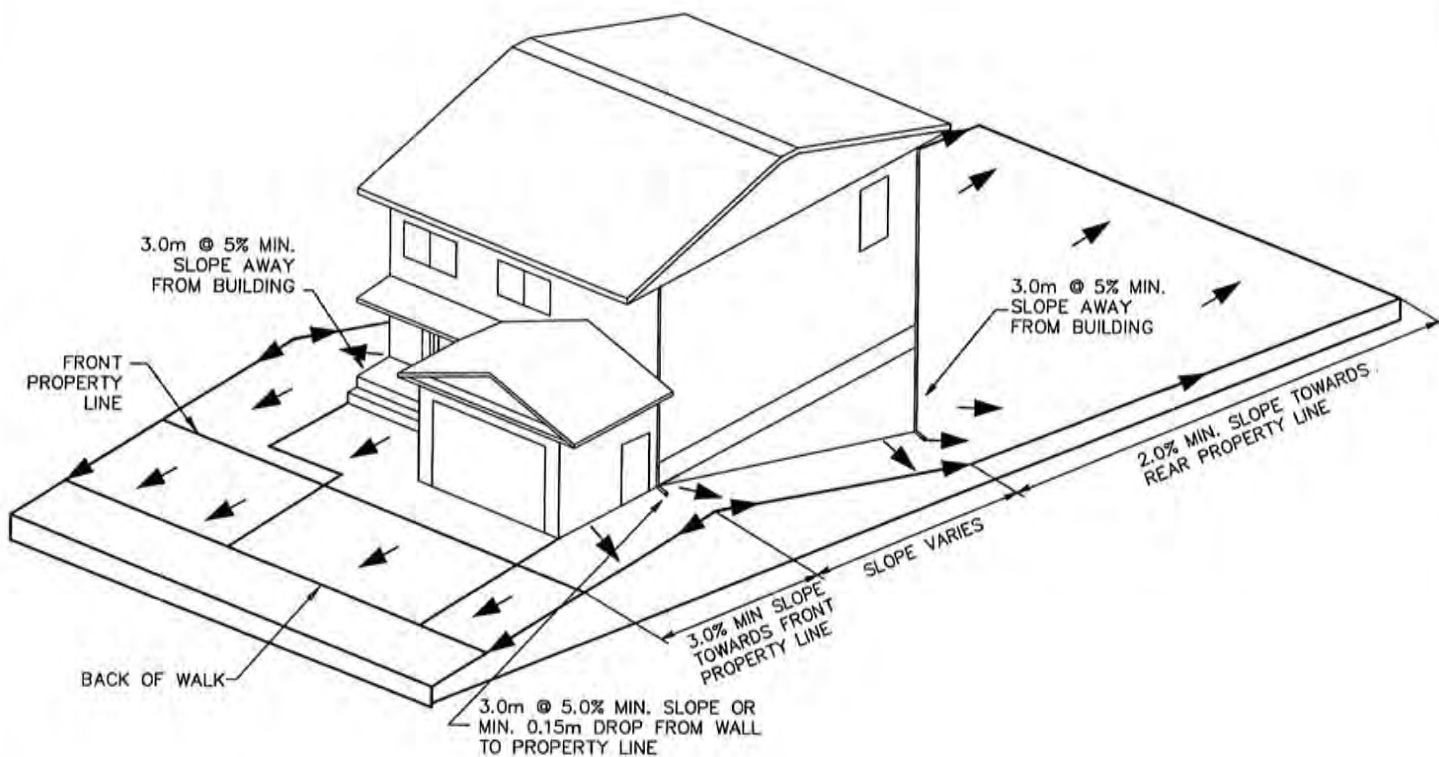
SIDE VIEW
SPLIT DRAINAGE

<p>REVISIONS</p> <table border="1"> <tr> <td>1</td> <td></td> </tr> <tr> <td>2</td> <td></td> </tr> <tr> <td>3</td> <td></td> </tr> </table>		1		2		3		<p>CITY OF SASKATOON INFRASTRUCTURE SERVICES DEPARTMENT</p>	<p>APPROVED</p> <p><i>[Signature]</i> Nov 3, 10 CITY ENGINEER P. ENG.</p>
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<p>DRAWN BY <u>LMD</u> DATE <u>04-OCT-2010</u></p> <p>CHECKED BY _____ DATE _____</p>		<p>ENGINEER</p> <p>SCALES : HOR. <u>N.T.S.</u> VERT. <u>N.T.S.</u></p> <p>PLAN NO. 102-0022-017r001</p>							
<p>LOT GRADING TYPE D</p>									



SIDE VIEW
FRONT TO BACK DRAINAGE

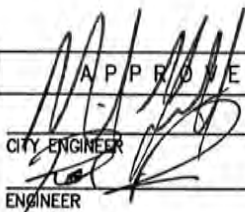
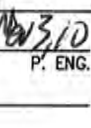
REVISIONS 1 2 3		CITY OF SASKATOON INFRASTRUCTURE SERVICES DEPARTMENT	APPROVED  CITY ENGINEER P. ENG.
DRAWN BY <u>LMD</u> DATE <u>04-OCT-2010</u> CHECKED BY _____ DATE _____			
		LOT GRADING TYPE C	

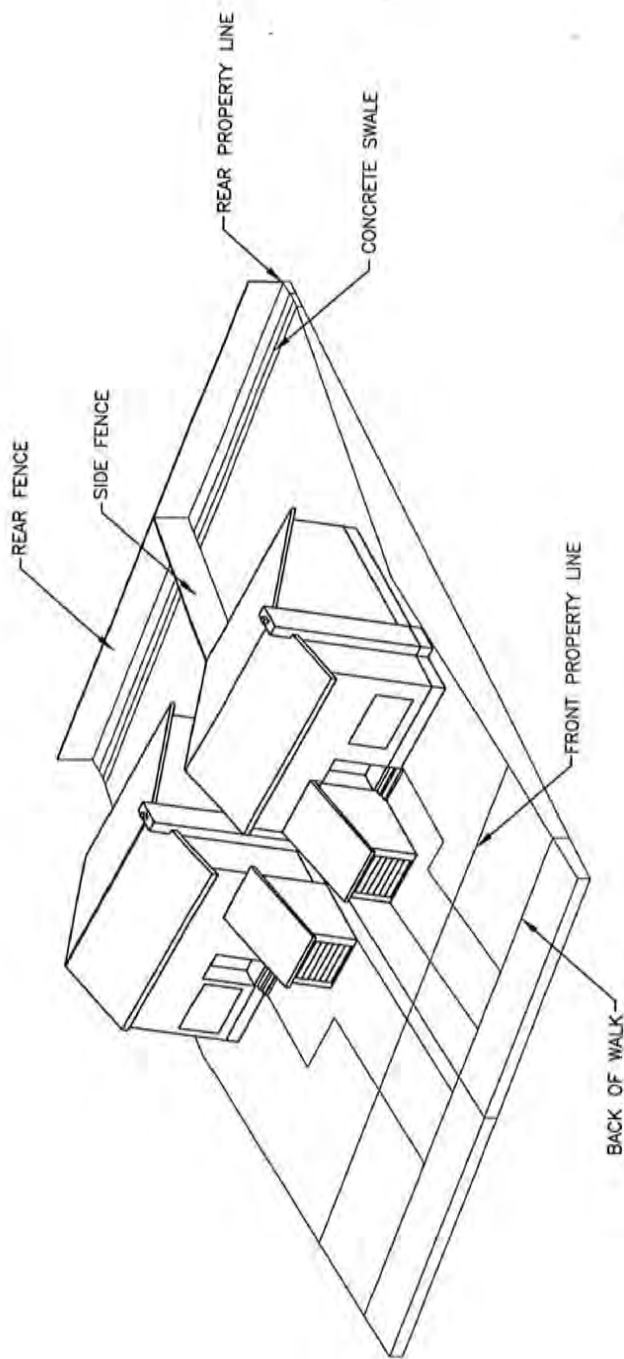


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DATE <u>04-OCT-2010</u>	
CHECKED BY _____	
DATE _____	

CITY OF SASKATOON
INFRASTRUCTURE SERVICES DEPARTMENT

LOT GRADING
TYPE E

APPROVED	
	
CITY ENGINEER	P. ENG.
ENGINEER	
ENGINEER	
SCALES: HOR. <u>N.T.S.</u> VERT. <u>N.T.S.</u>	
PLAN NO. 102-0022-019r001	



SIDE YARD FENCE
N.T.S.

PLAN DESCRIPTION/REVISIONS

4	
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DRAWN BY LMD
DATE 2010-SEP-20

SCALE: HOR. N.T.S. VERT. N.T.S.



City of Saskatoon
Infrastructure Services Department

CONCRETE SWALE
BACK YARD

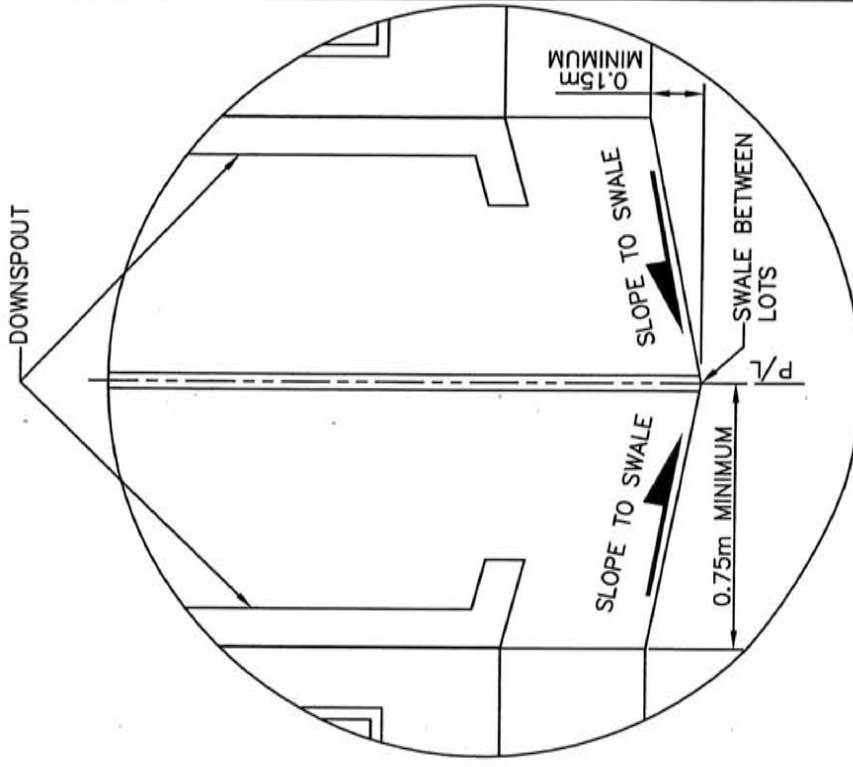
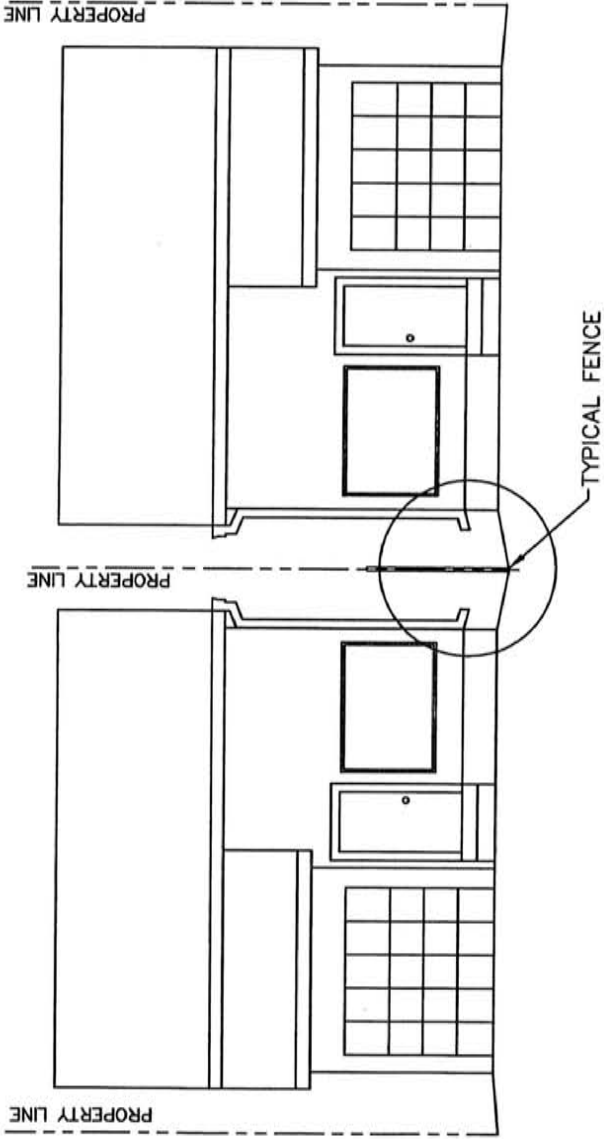
APPROVED

[Signature]
GENERAL MANAGER

ENGINEER




[Signature]
10/13/10

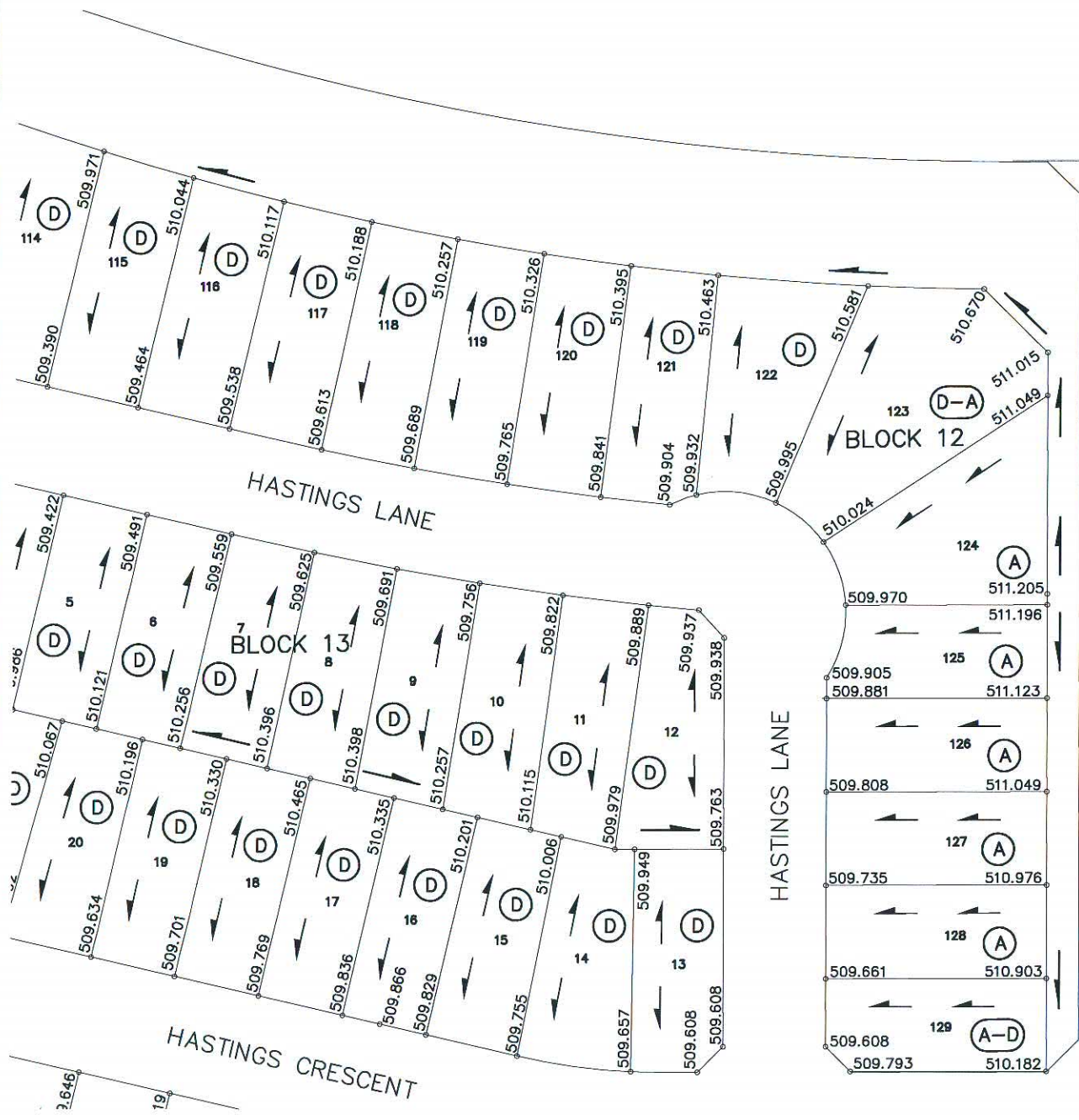
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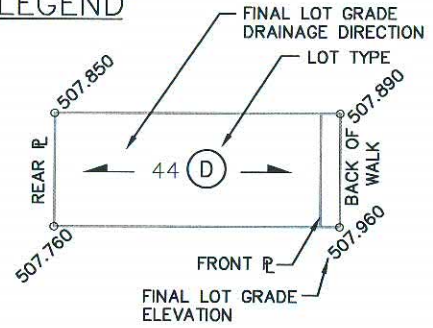
NOTES:

1. 0.75m MINIMUM DISTANCE FROM FOUNDATION WALL TO PROPERTY LINE
2. MINIMUM 0.15m DROP FROM FOUNDATION WALL TO PROPERTY LINE.

City of Saskatoon Infrastructure Services Department		SIDE YARD DRAINAGE SWALE	
PLAN DESCRIPTION/REVISIONS		DRAWN BY <u>LMD</u> DATE <u>2010-AUG-18</u>	
4		SCALE : HOR. <u>N.T.S.</u> VERT. <u>N.T.S.</u>	
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APPROVED 		GENERAL MANAGER 	
ENGINEER 		PLAN NO. 102-0022-012r001	



LEGEND



NOTE:

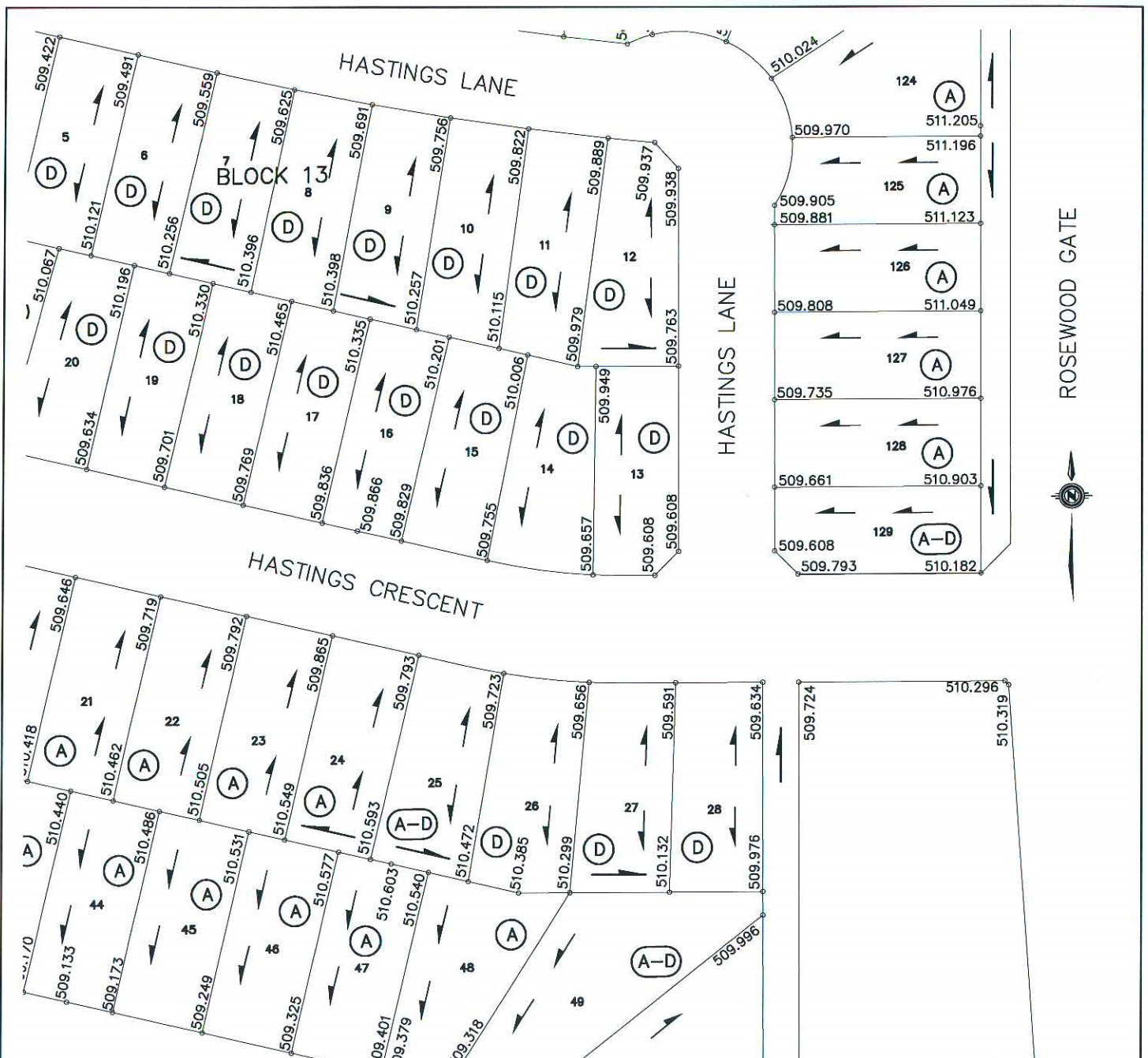
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HASTINGS LANE & CRESCENT

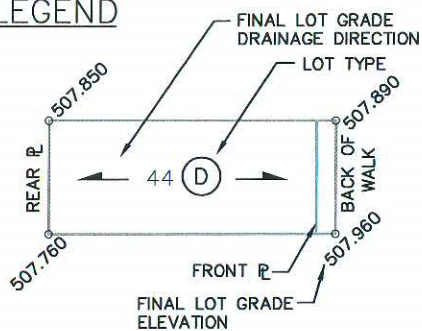
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PLAN No.:			
PAGE:	1 OF 9		



SOURCE DOCUMENT
PLAN No.: 112-0084-001r001
APPROVAL DATE: 2011-FEB-08
REVISION DATE:



LEGEND



NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

HASTINGS LANE & CRESCENT

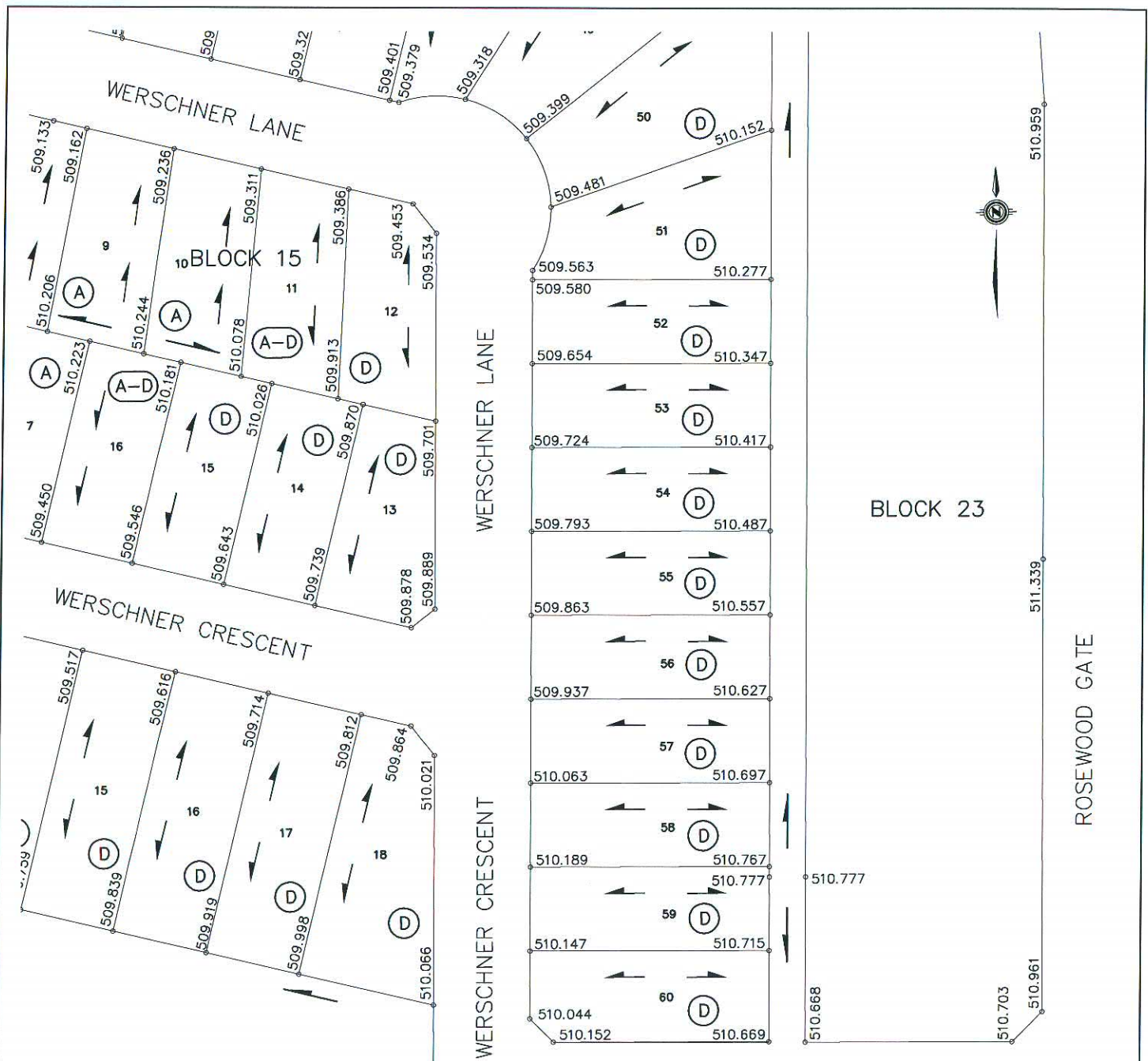
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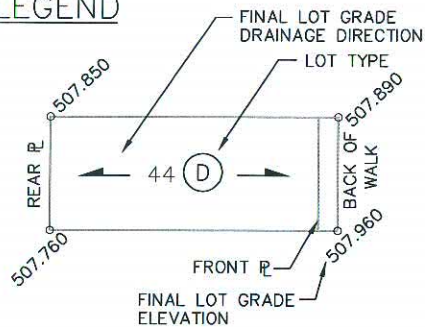
**City of
Saskatoon**
 Infrastructure Services Department

SOURCE DOCUMENT

PLAN No.: 112-0084-001r001
 APPROVAL DATE: 2011-FEB-08
 REVISION DATE:



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NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

HASTINGS LANE & CRESCENT

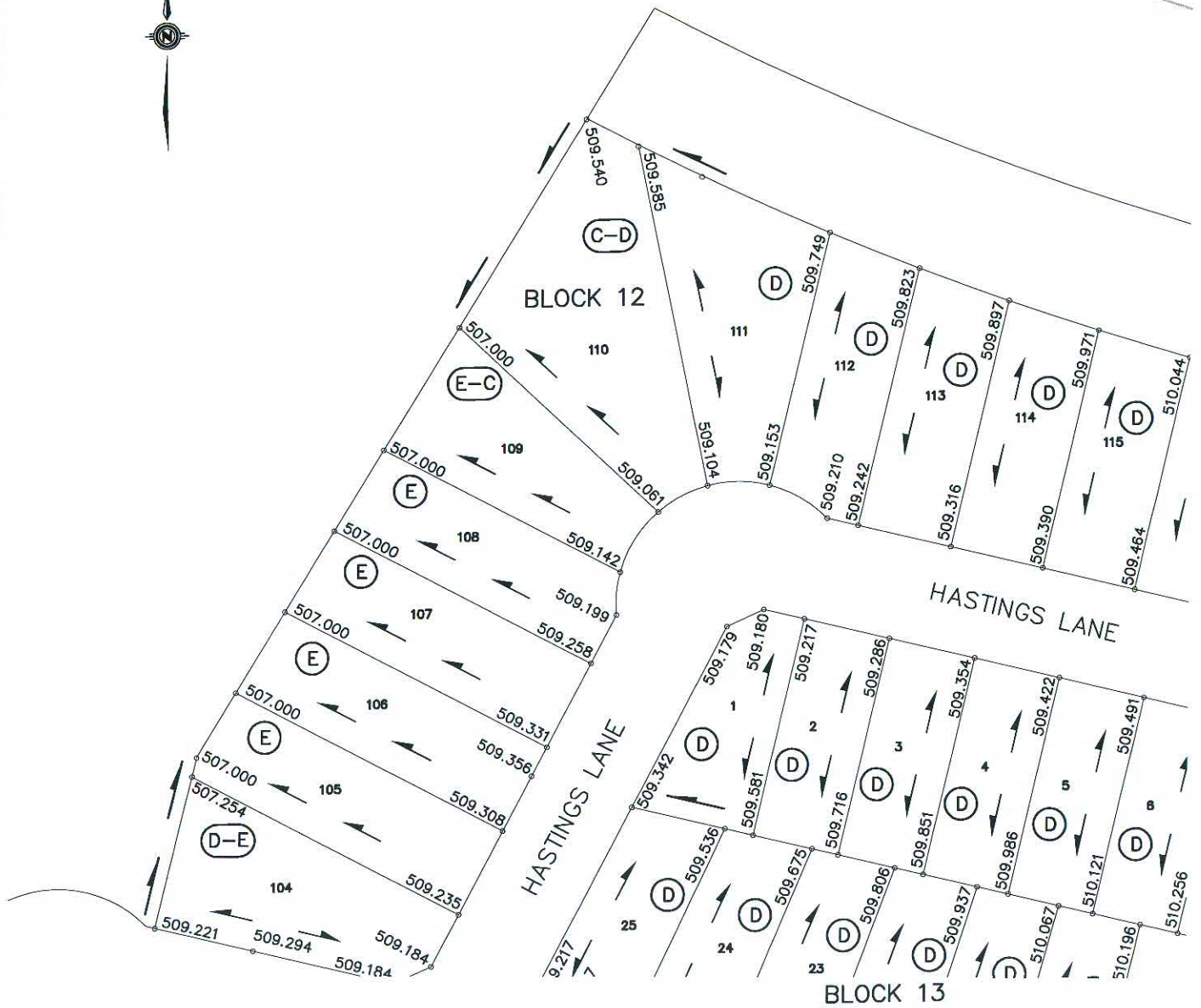
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 PAGE: 3 OF 9



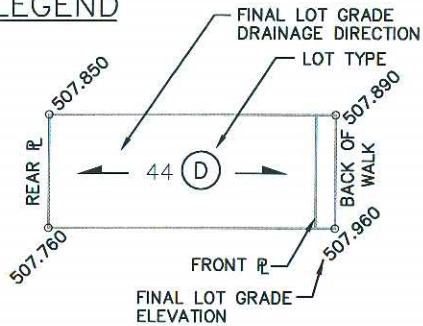
**City of
Saskatoon**
 Infrastructure Services Department

SOURCE DOCUMENT

PLAN No.: 112-0084-002r001
 APPROVAL DATE: 2011-FEB-08
 REVISION DATE:



LEGEND



NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

HASTINGS LANE & CRESCENT

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 PAGE: 4 OF 9

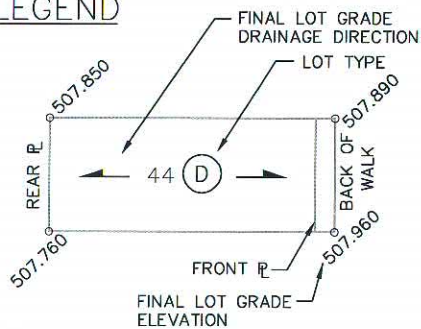


**City of
Saskatoon**
 Infrastructure Services Department

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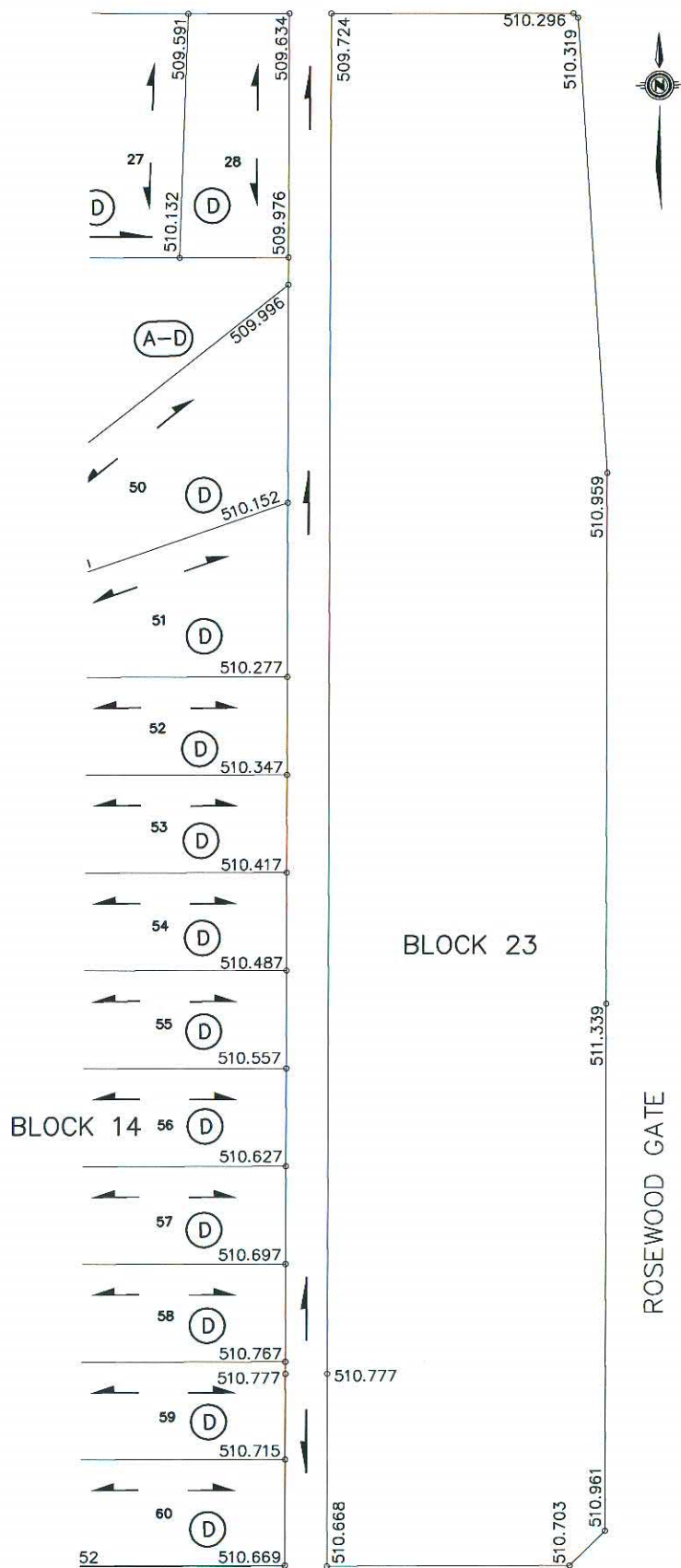
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 REVISION DATE:

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NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)



HASTINGS LANE & CRESCENT

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PLAN No.:

PAGE: 5 OF 9



**City of
Saskatoon**

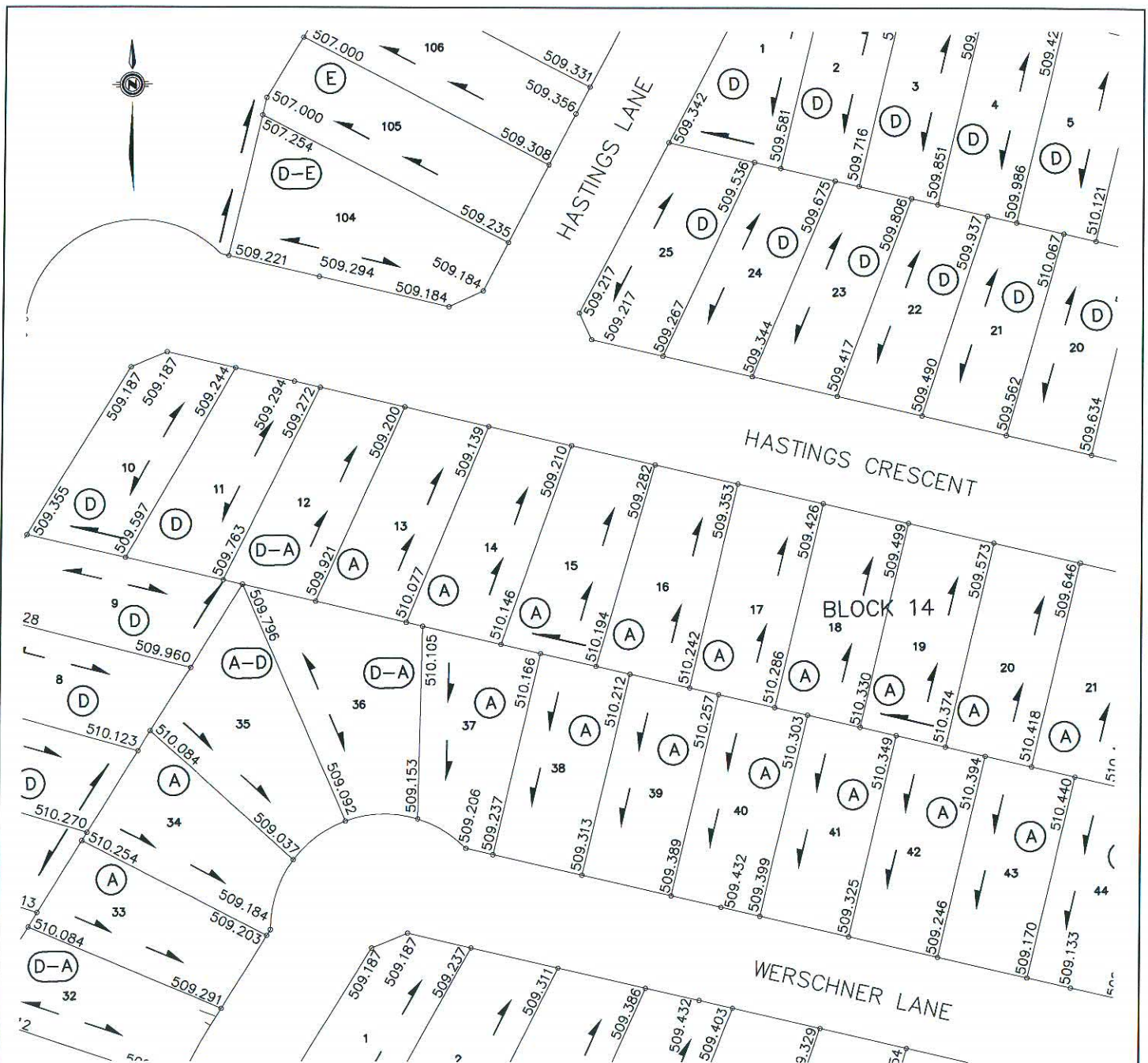
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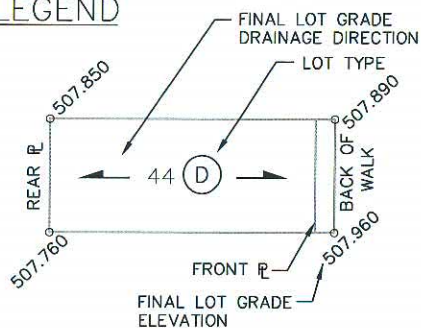
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REVISION DATE:



LEGEND



NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

HASTINGS LANE & CRESCENT

DRAWN BY KAS DATE 2011-02-08

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PLAN No.:

PAGE: 6 OF 9



**City of
Saskatoon**

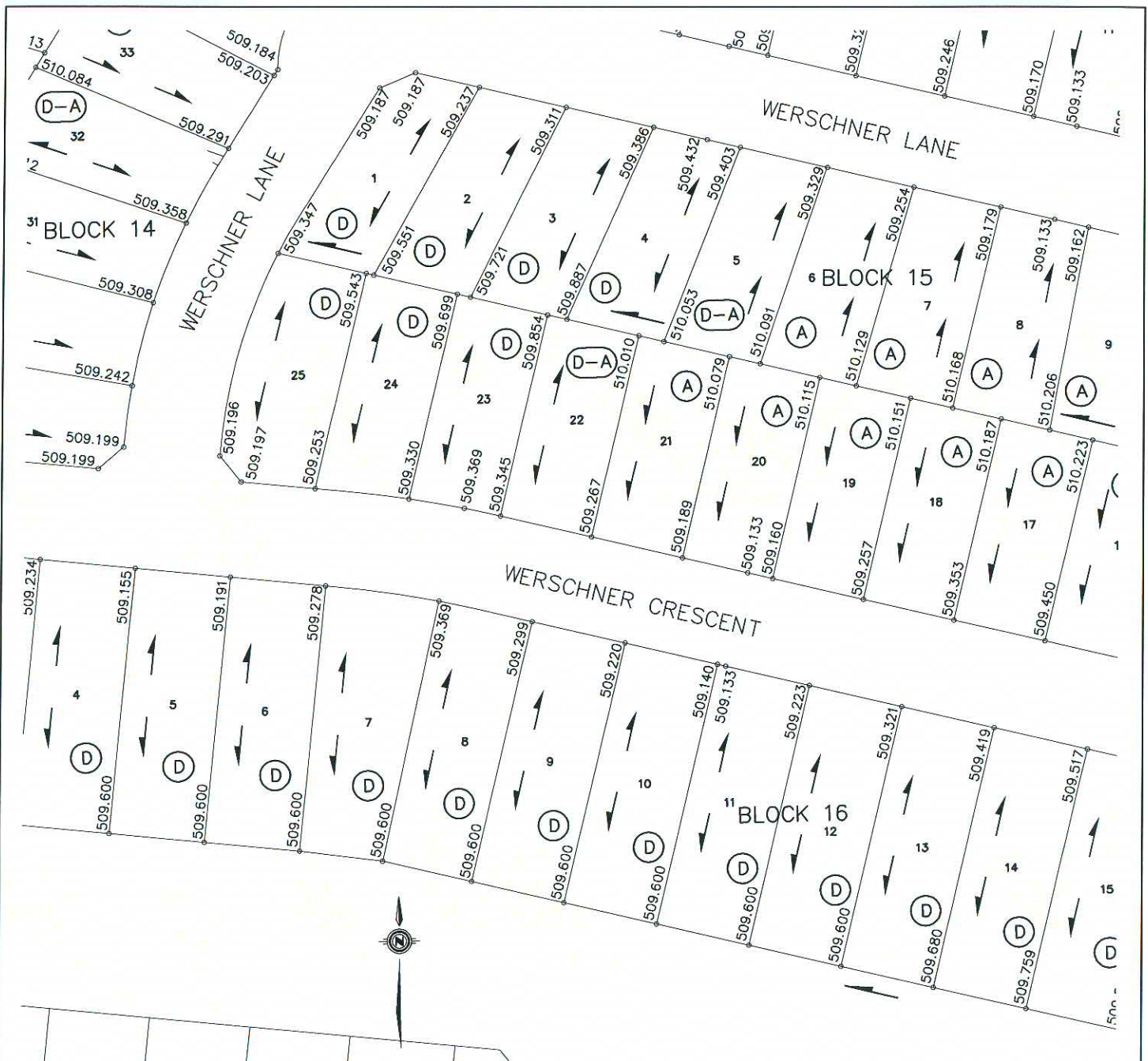
Infrastructure Services Department

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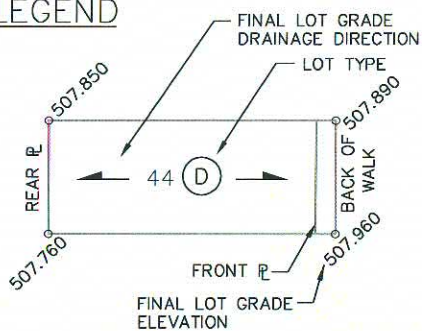
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APPROVAL DATE: 2011-FEB-08

REVISION DATE:



LEGEND



NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

HASTINGS LANE & CRESCENT

DRAWN BY KAS DATE 2011-02-08

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PLAN No.:

PAGE: 7 OF 9



**City of
Saskatoon**

Infrastructure Services Department

SOURCE DOCUMENT

PLAN No.: 112-0084-002r001

APPROVAL DATE: 2011-FEB-08

REVISION DATE:

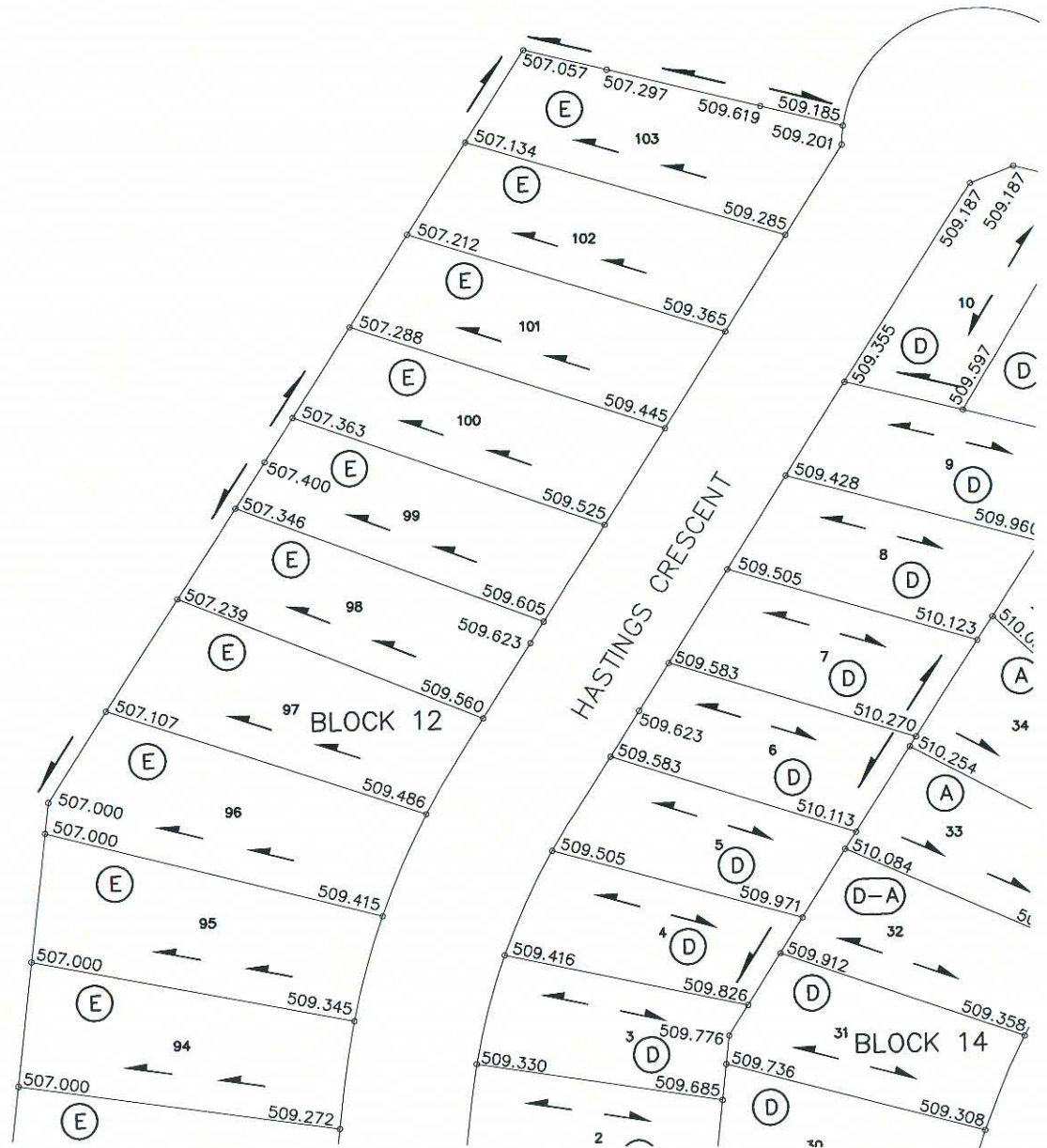
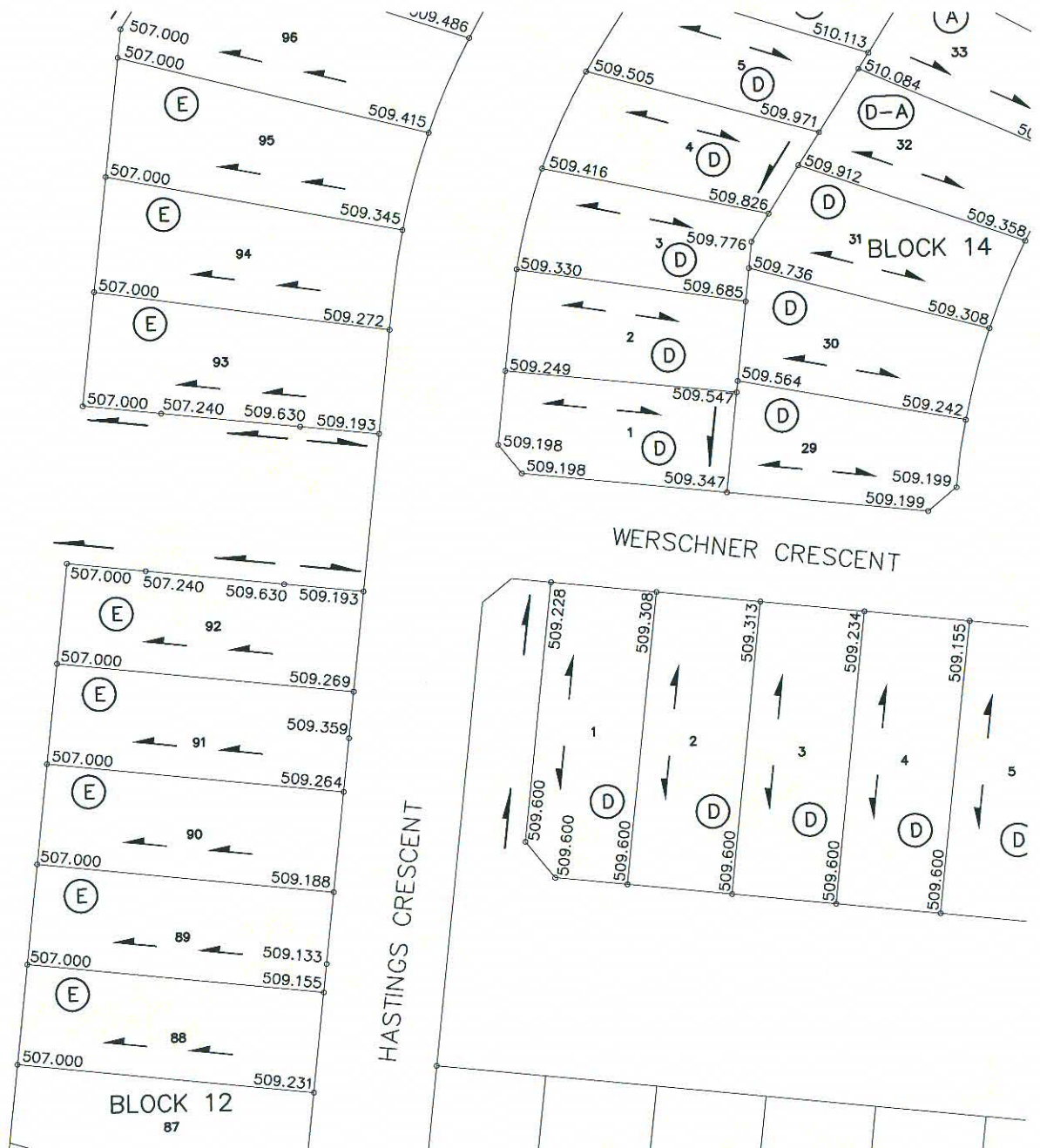


Diagram illustrating a rectangular lot with the following annotations:

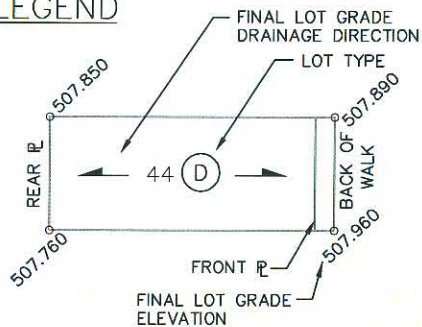
- FINAL LOT GRADE**: Indicated by arrows pointing to the top and bottom boundaries.
- DRAINAGE DIRECTION**: Indicated by arrows pointing left and right from the center of the lot.
- LOT TYPE**: Indicated by a circle containing the letter 'D' in the center of the lot.
- Elevations**:
 - Top-left corner: 507.850
 - Top-right corner: 507.890
 - Bottom-left corner: 507.760
 - Bottom-right corner: 507.960
- REAR R**: Label for the left boundary.
- FRONT R**: Label for the right boundary.
- BACK OF WALK**: Label for the right boundary.
- FINAL LOT GRADE ELEVATION**: Label for the bottom boundary.

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

REVISION DATE:



LEGEND



NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

HASTINGS LANE & CRESCENT

DRAWN BY KAS DATE 2011-02-08

SCALE: 1:1000

PLAN No.:

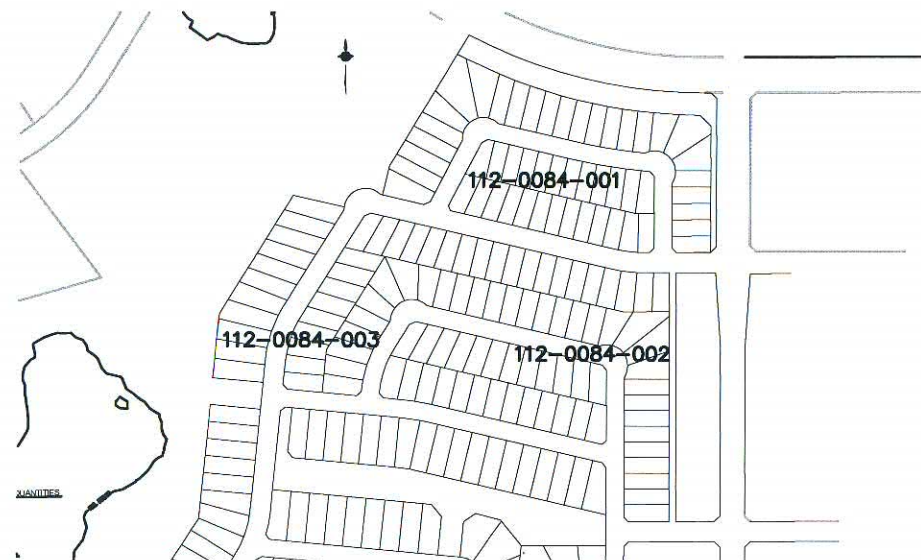
PAGE: 9 OF 9

SOURCE DOCUMENT

PLAN No.: 112-0084-003r001

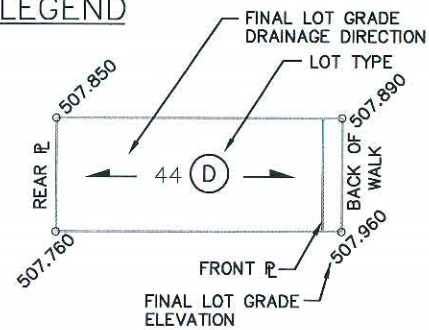
APPROVAL DATE: 2011-FEB-08

REVISION DATE:



KEY PLAN

LEGEND

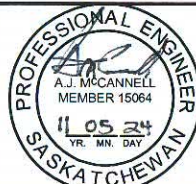
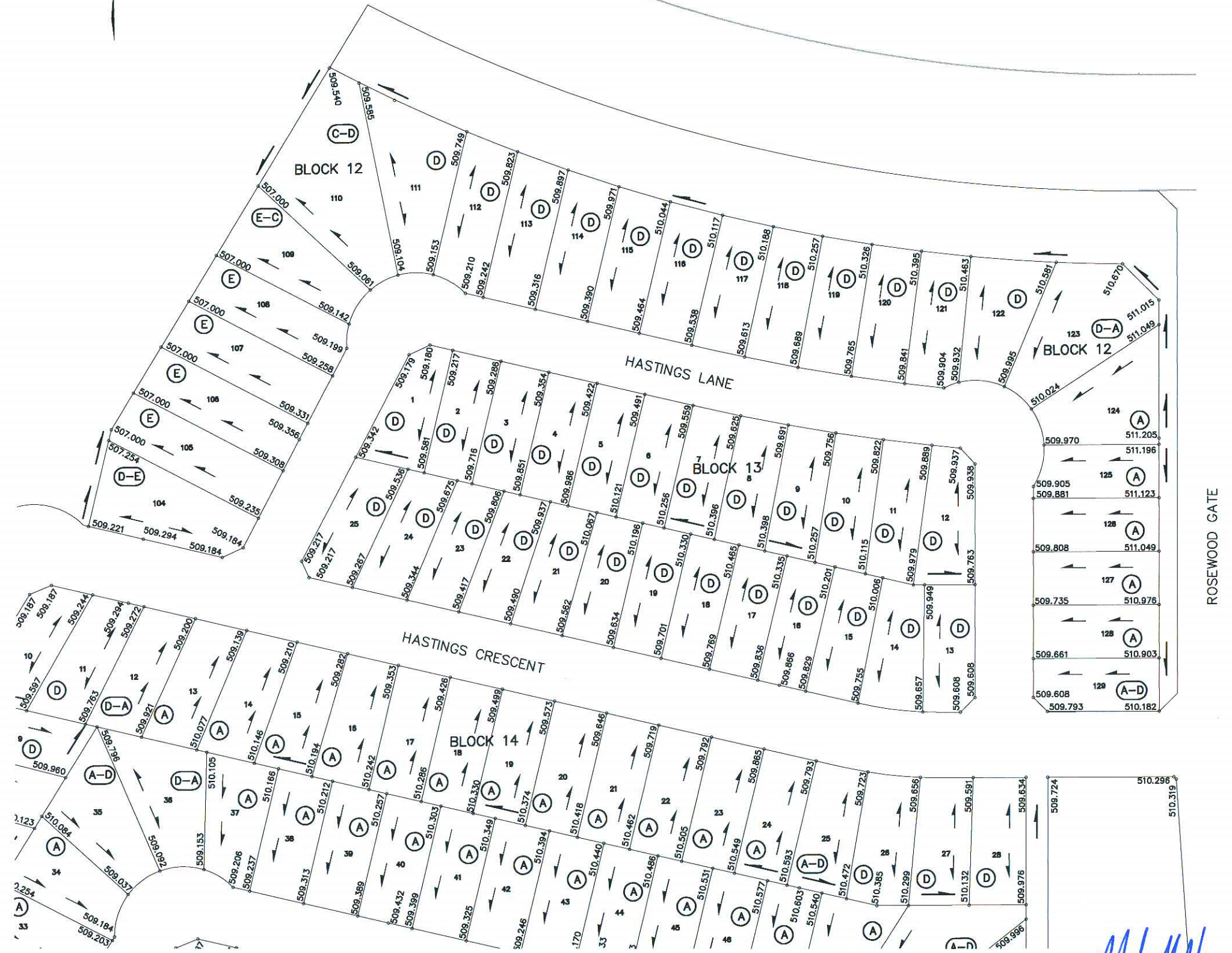


NOTE:

1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

LOT DRAINAGE DETAILS

- LOT TYPE 'A' - SEE DRAWING 102-0022-016
 LOT TYPE 'D' - SEE DRAWING 102-0022-017
 LOT TYPE 'E' - SEE DRAWING 102-0022-019
 LOT TYPE 'A-D', 'D-A' - SEE DRAWING 102-0022-013
 LOT TYPE 'D-C', 'C-D' - SEE DRAWING 102-0022-014
 LOT TYPE 'E-C', 'C-E' - SEE DRAWING 102-0022-021

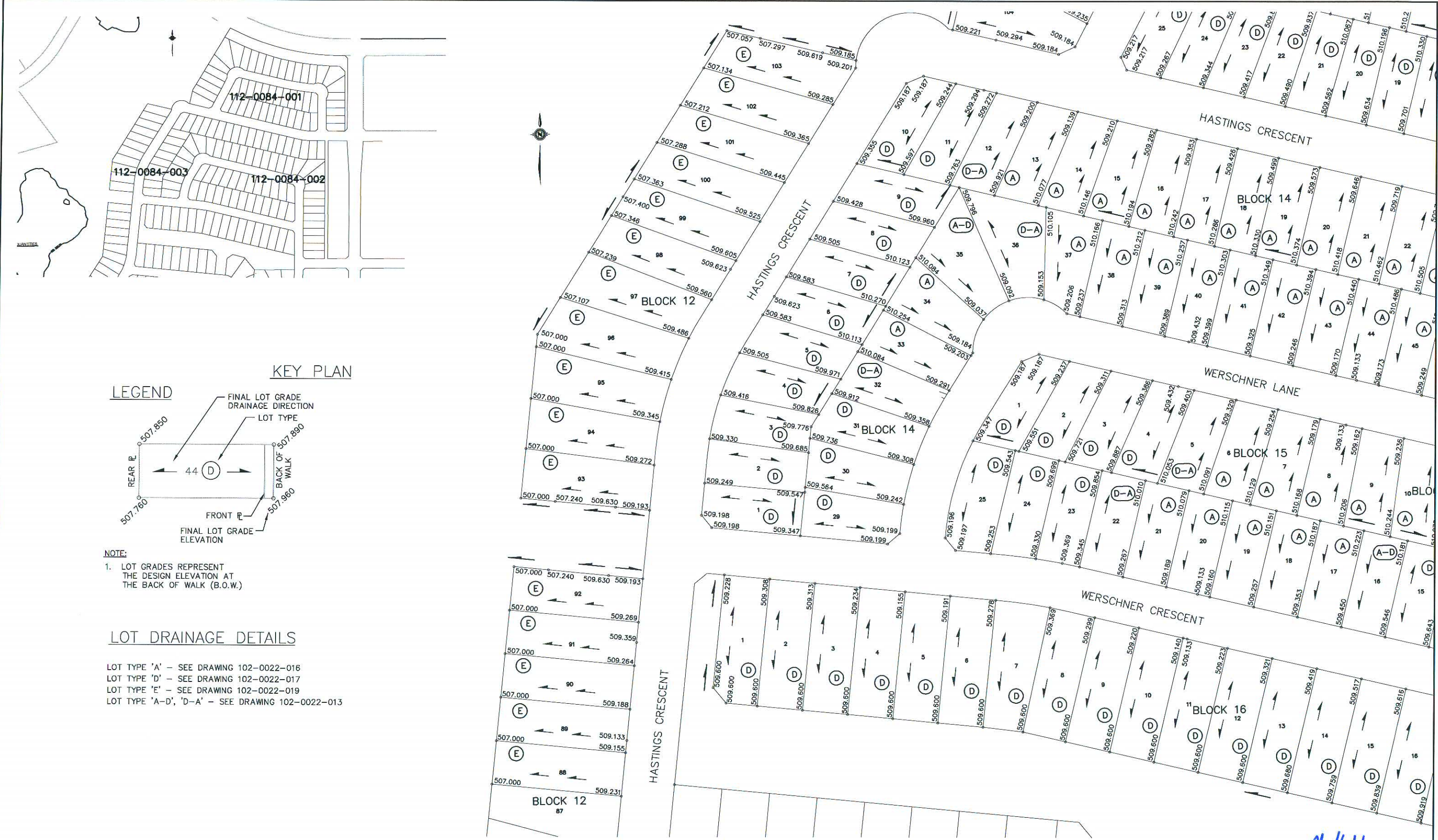


CONSTRUCTION & DESIGN		TRANSPORTATION	PUBLIC WORKS
ENGINEER	<i>[Signature]</i>	ENGINEER	<i>[Signature]</i>
DATE	11/05/25	DATE	June 13/11
DATE		DATE	June 22, 2011
DRAWN BY	KAS	CHECKED BY	
DATE	2011-FEB-08	DATE	

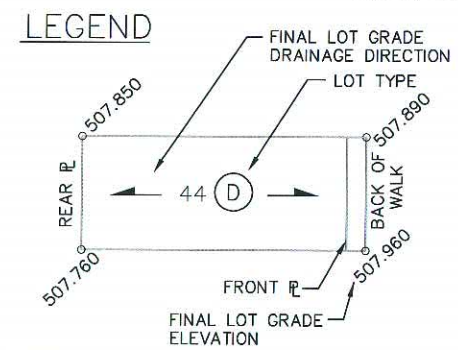


2011 ROSEWOOD ROADWAYS - PHASE B1
 LOT GRADES
 HASTINGS CRESCENT, LANE

GENERAL MANAGER	
SCALES:	1:1250
VERT.	
SHEET NO.	PLAN NO.
	112-0084-001r001



KEY PLAN

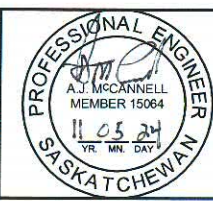





NOTE:
1. LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)

LOT DRAINAGE DETAILS

LOT TYPE 'A' - SEE DRAWING 102-0022-016
LOT TYPE 'D' - SEE DRAWING 102-0022-017
LOT TYPE 'E' - SEE DRAWING 102-0022-019
LOT TYPE 'A-D', 'D-A' - SEE DRAWING 102-0022-013


PLAN DESCRIPTION/REVISION	DATE	BY



CONSTRUCTION & DESIGN	TRANSPORTATION	PUBLIC WORKS
 ENGINEER DATE 11/05/25	 ENGINEER DATE June 13/11	 ENGINEER DATE June 22, 2011
DRAWN BY KAS DATE 2010-MAY-25	CHECKED BY DATE	CHECKED BY DATE

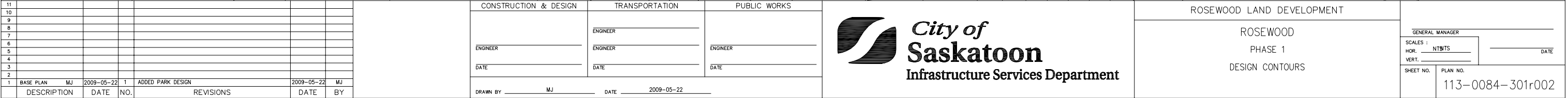
**City of Saskatoon**
Infrastructure Services Department

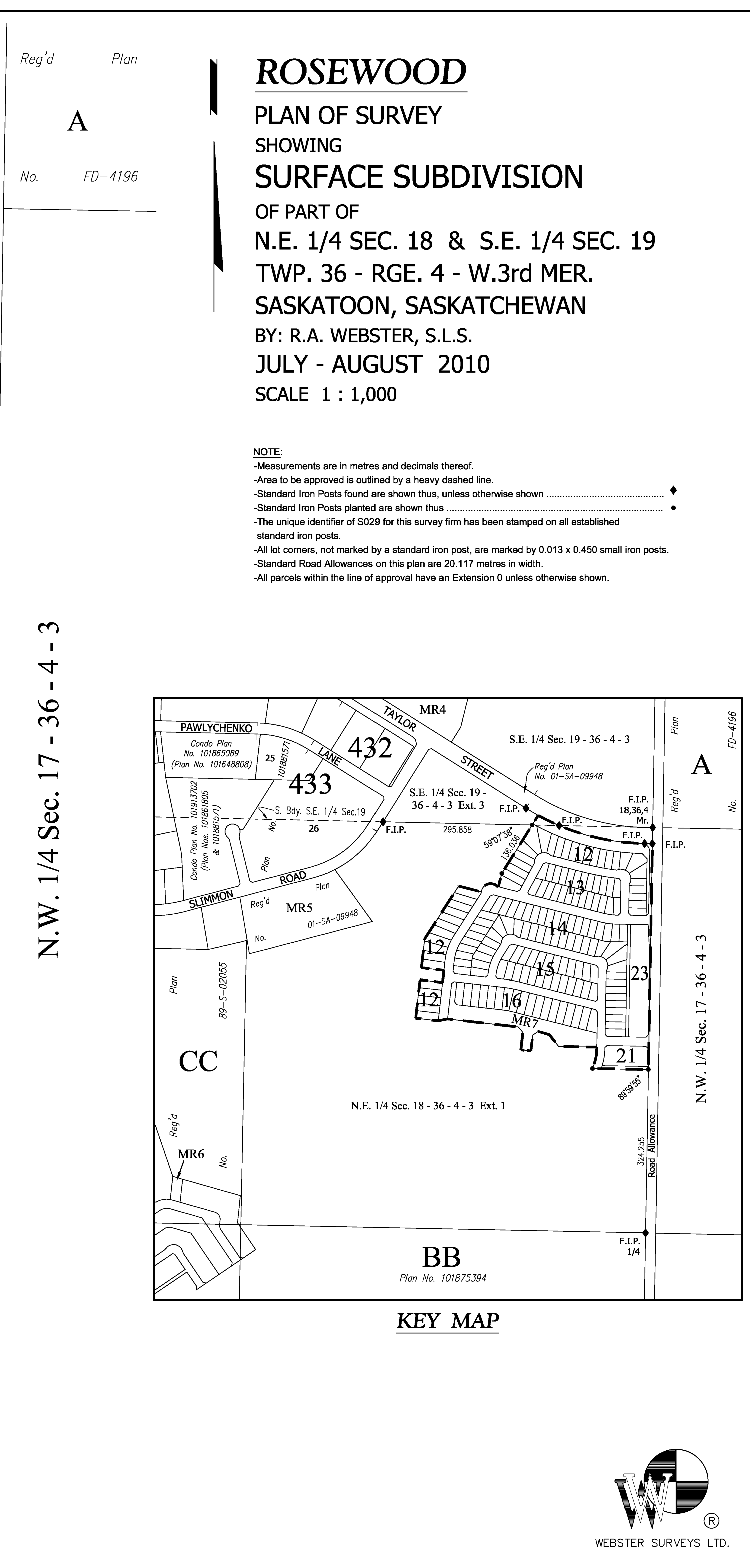
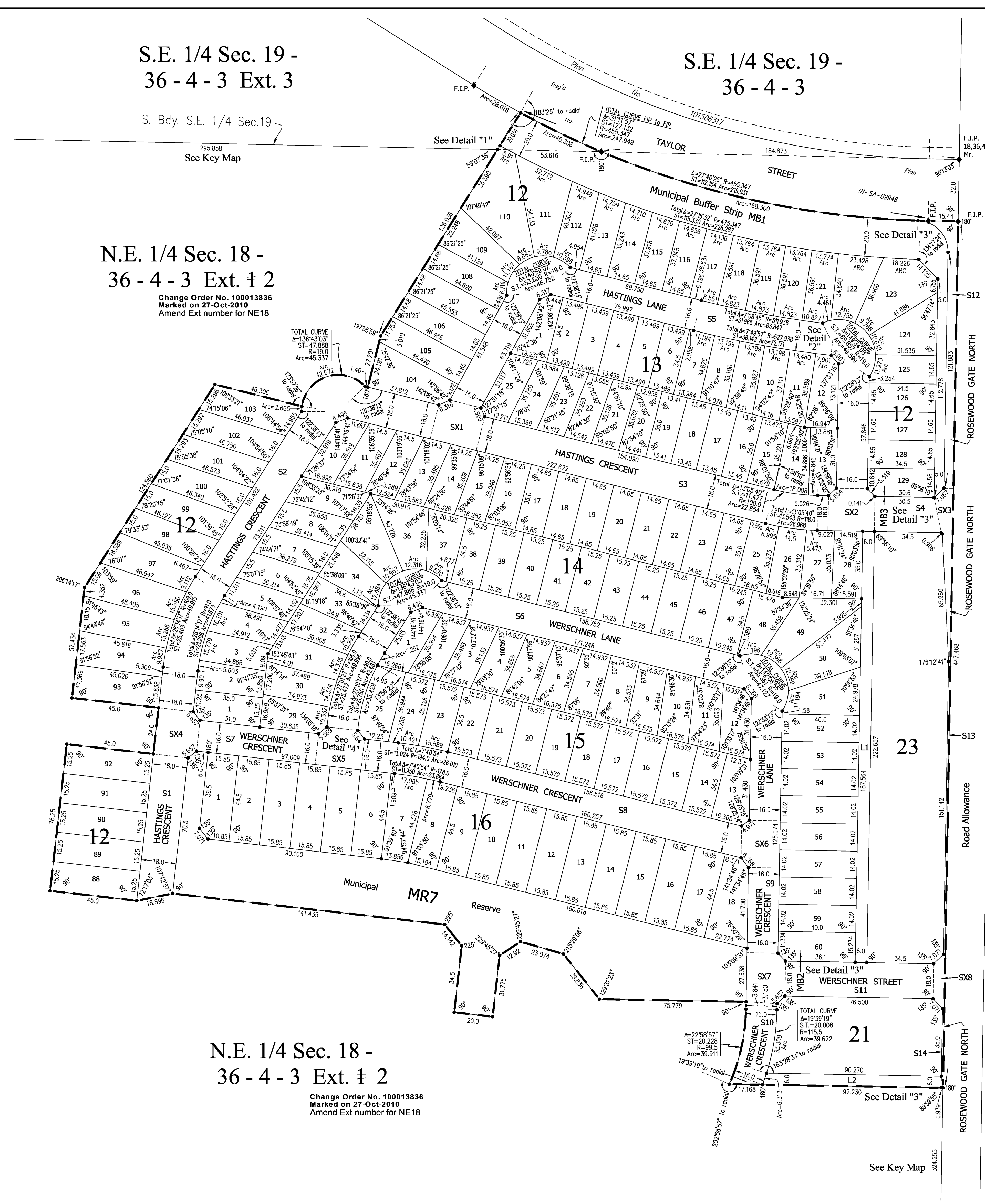
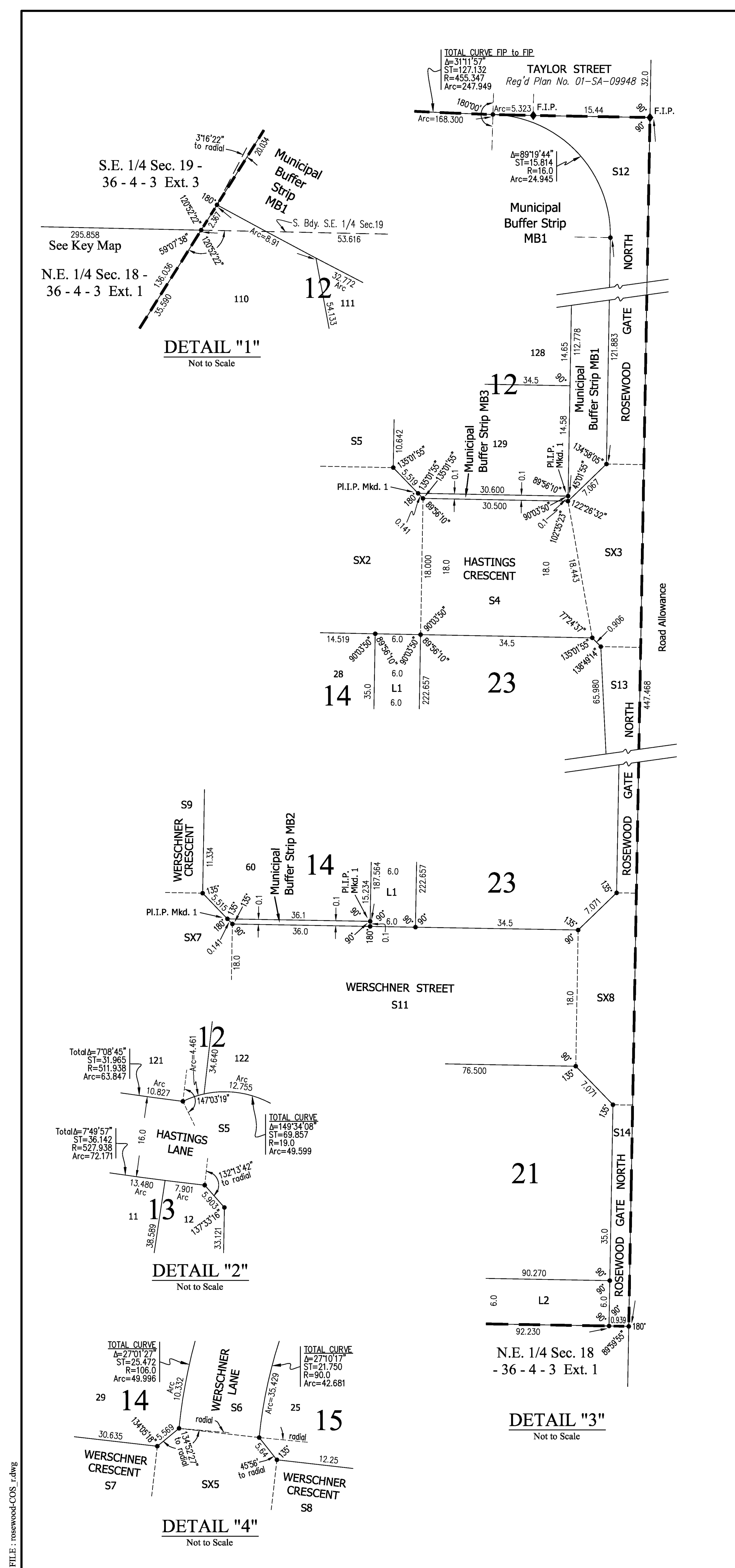
2010 EVERGREEN ROADWAYS - PHASE B1
LOT GRADES
POHORECKY CRESCENT, STREET, COVE,
BAY, WAY, CLOSE

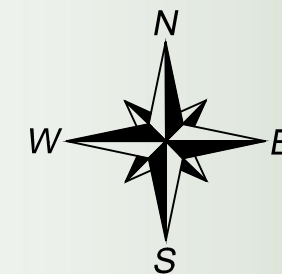
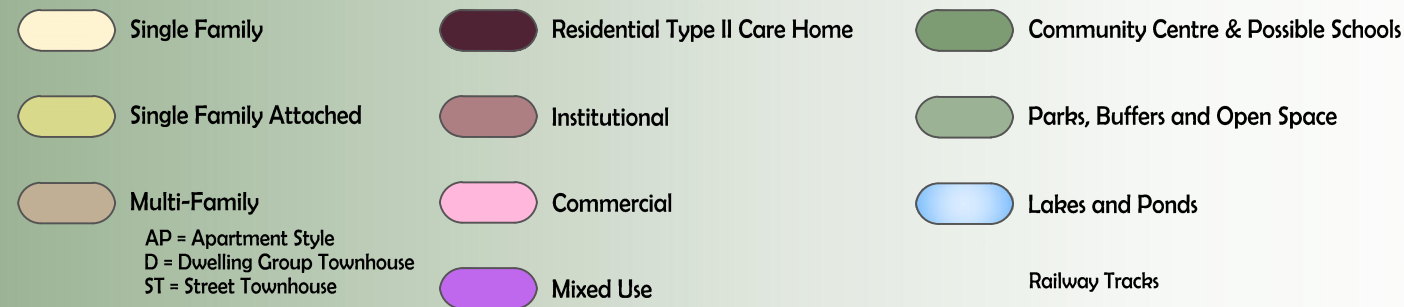

GENERAL MANAGER
DATE JUN 23/11

SCALES :
HOR. 1:1250
VERT. 1:1250

SHEET NO. 112-0084-003r001
PLAN NO.







Community Services - Land Branch - September 2011

Note: The Land Branch does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Plan of Survey. This plan is not to scale.


Rosewood Phase 1

Lot Information - Hastings & Werschner



ROSEWOOD





Community Services - Land Branch - September 2011

Note: The Land Branch does not guarantee the accuracy of this plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. To ensure the accuracy of features such as utility pedestals, mailboxes, bus stops, easements, and garage locations check with the appropriate authority. Park and buffer renderings are for illustrative purposes only and does not represent what will be constructed. To ensure accuracy, please refer to the Registered Plan of Survey. Distances are in metres unless shown otherwise. Do not scale.

Legend

Garage Location		Decorative Fencing		Utility Pedestal
Corner Garage Location		Fencing (type to be determined)		Light Standard
Civic Address		Chain Link Fencing		Fire Hydrant
3m Easement		Mailbox		Water Huts
5m Joint Use Easement		Proposed Bus Stop		Walkout
1.5m Easement		Transformer		Picnic Area
Street Townhouse Site		ST		