

ILLUSTRATIVE PLAN

Full Build Out



DESIGN PRINCIPLES

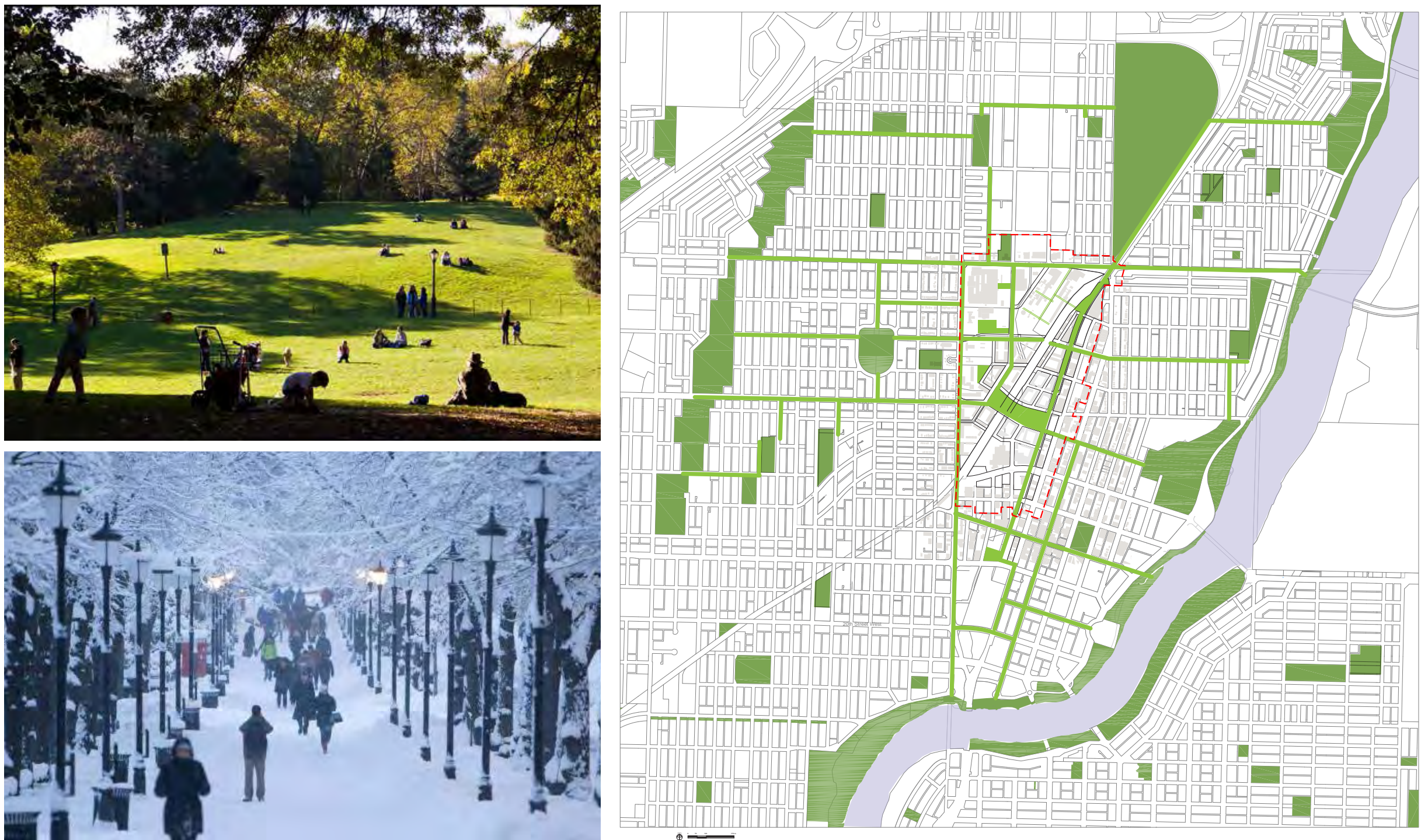
1 | COHESIVE CITY

Connect the site to the surrounding city grid and to the River to create a well-connected city.



2 | A GREEN NETWORK

Create a more comprehensive open space network for the city using the site as a catalyst to connect key open spaces.



3 | HERITAGE + IDENTITY

Draw out the distinctive nature of the historic warehouse district and showcase the unique elements of the rail yards to capture a sense of the site’s past.



4 | REDUCE GHG EMISSIONS

Build a District Energy Plant on site, and link all new buildings to the heating distribution system.



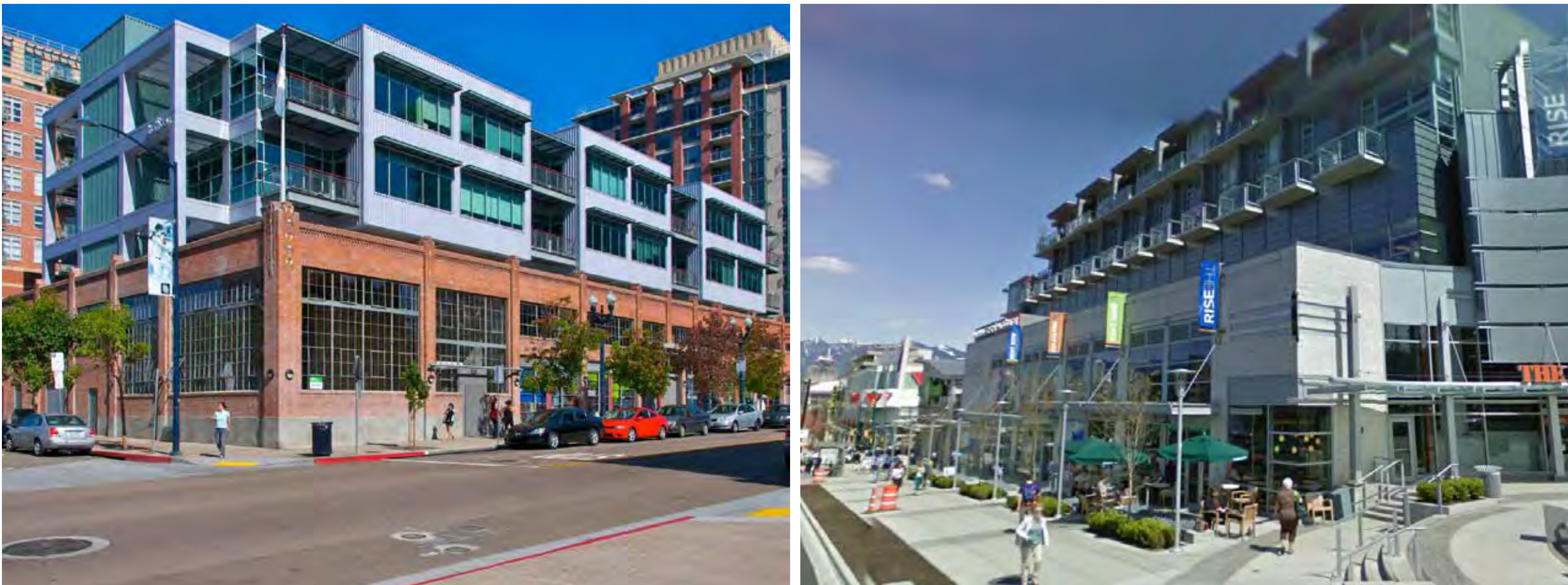
District Energy Plant at Dockside Development, Victoria

Building Piping Connection

DESIGN PRINCIPLES

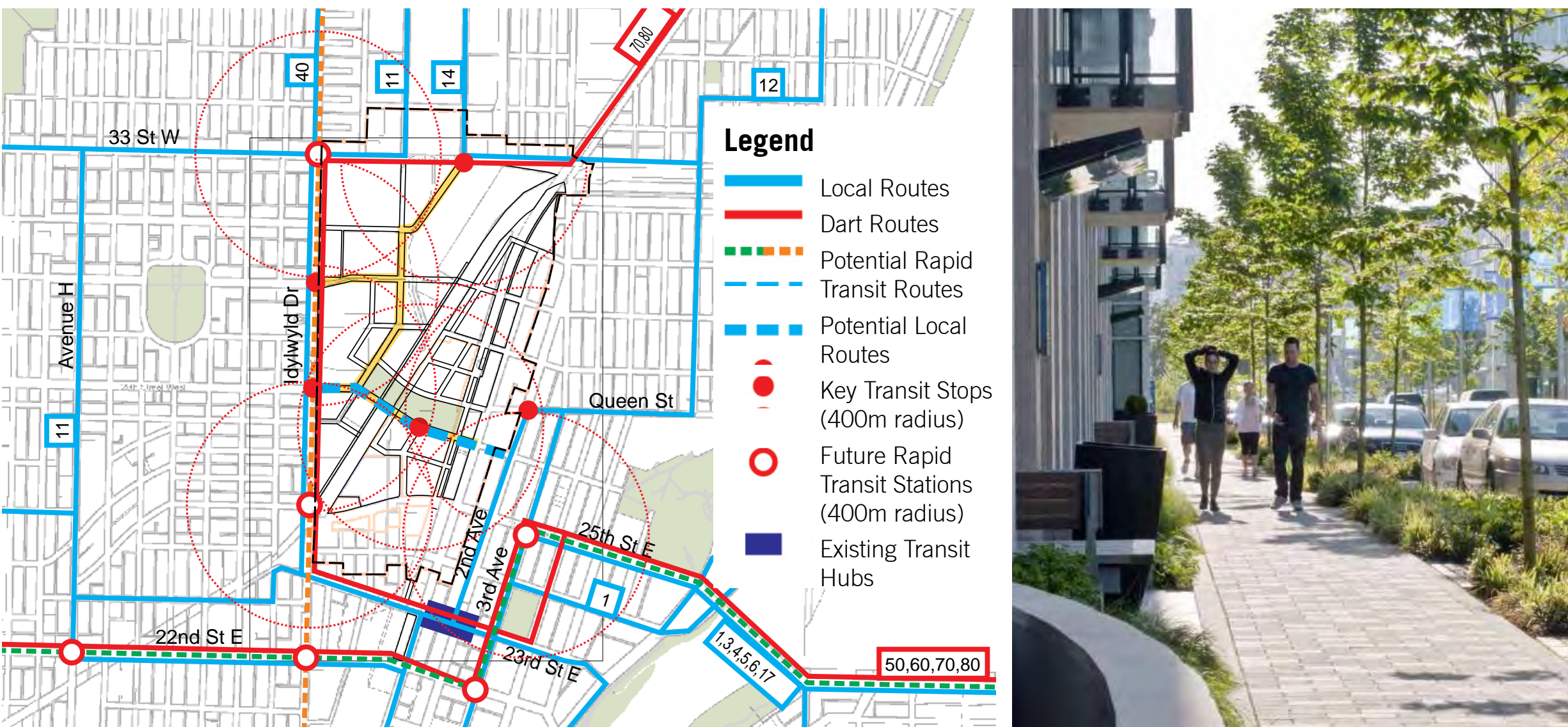
5 | EMPLOYMENT + VITALITY

Build on existing industries/ businesses to introduce a new mix of uses that weaves industry with commercial and live/work.



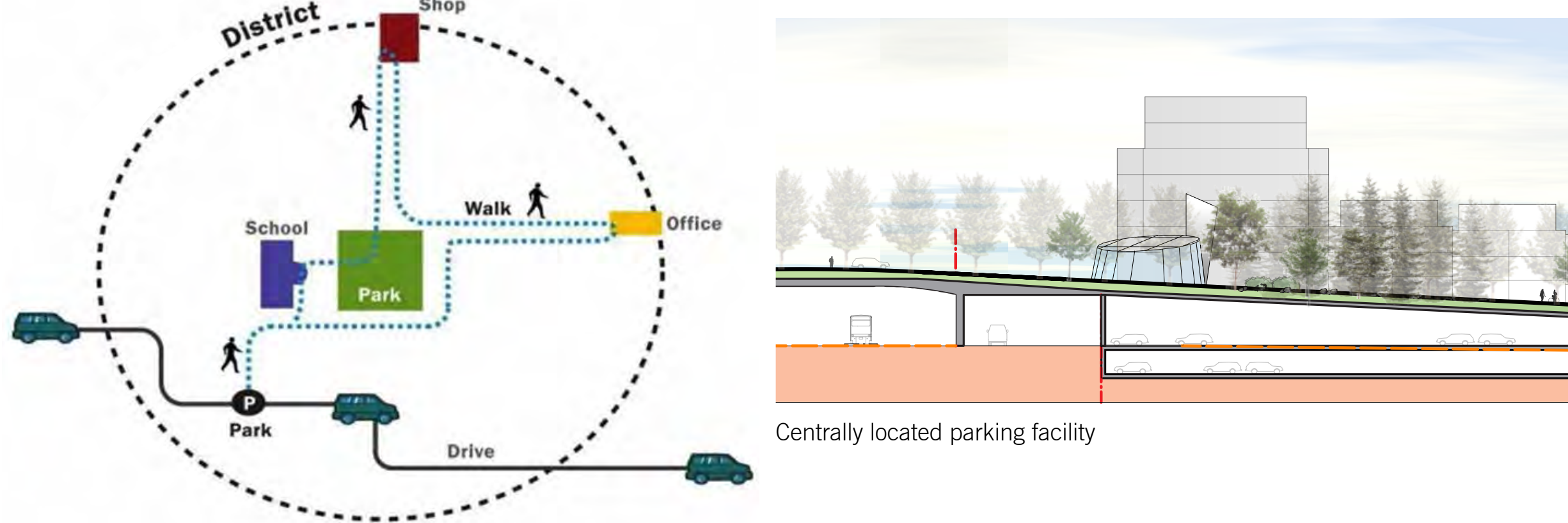
6 | CONNECT TO TRANSIT

Create a walkable neighbourhood where it is easy and comfortable to get to a variety of transit modes.



7 | MANAGE THE CAR

Ensure that cars and parking are dealt with to benefit livability, walkability, business activity and visual enjoyment.



8 | A RECOGNIZABLE ‘PLACE’ ON DAY ONE

Ensure the first phase of development is a memorable place with real ‘people appeal’.



9 | EMBRACE THE WINTER CITY

Celebrate all aspects of Saskatoon’s winter ensuring places and activities that take full advantage of the unique possibilities of winter weather.



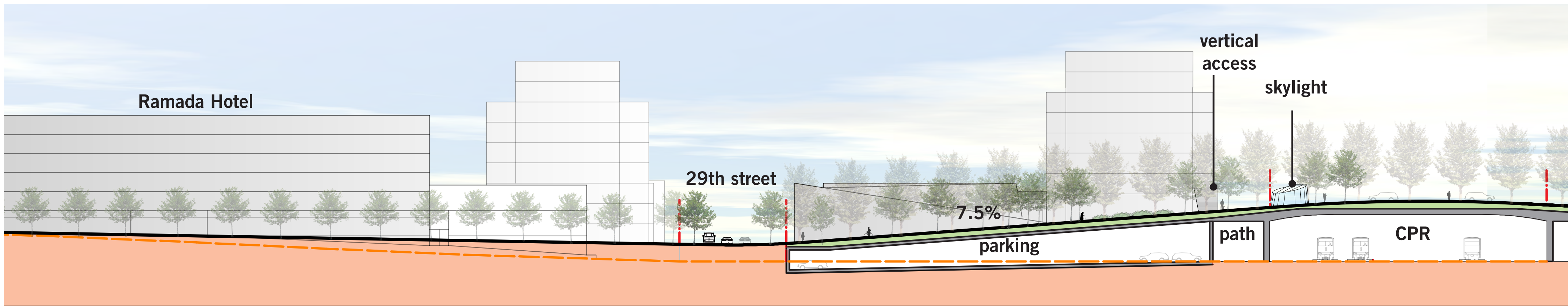
THE BIG IDEAS

Reconnect the City

A central park connecting east and west, spanning the rail tracks.

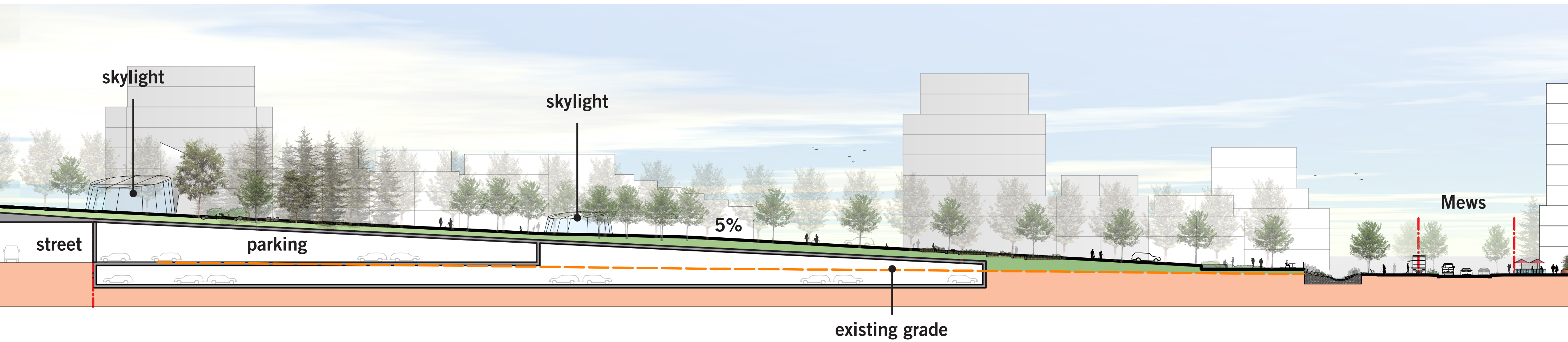
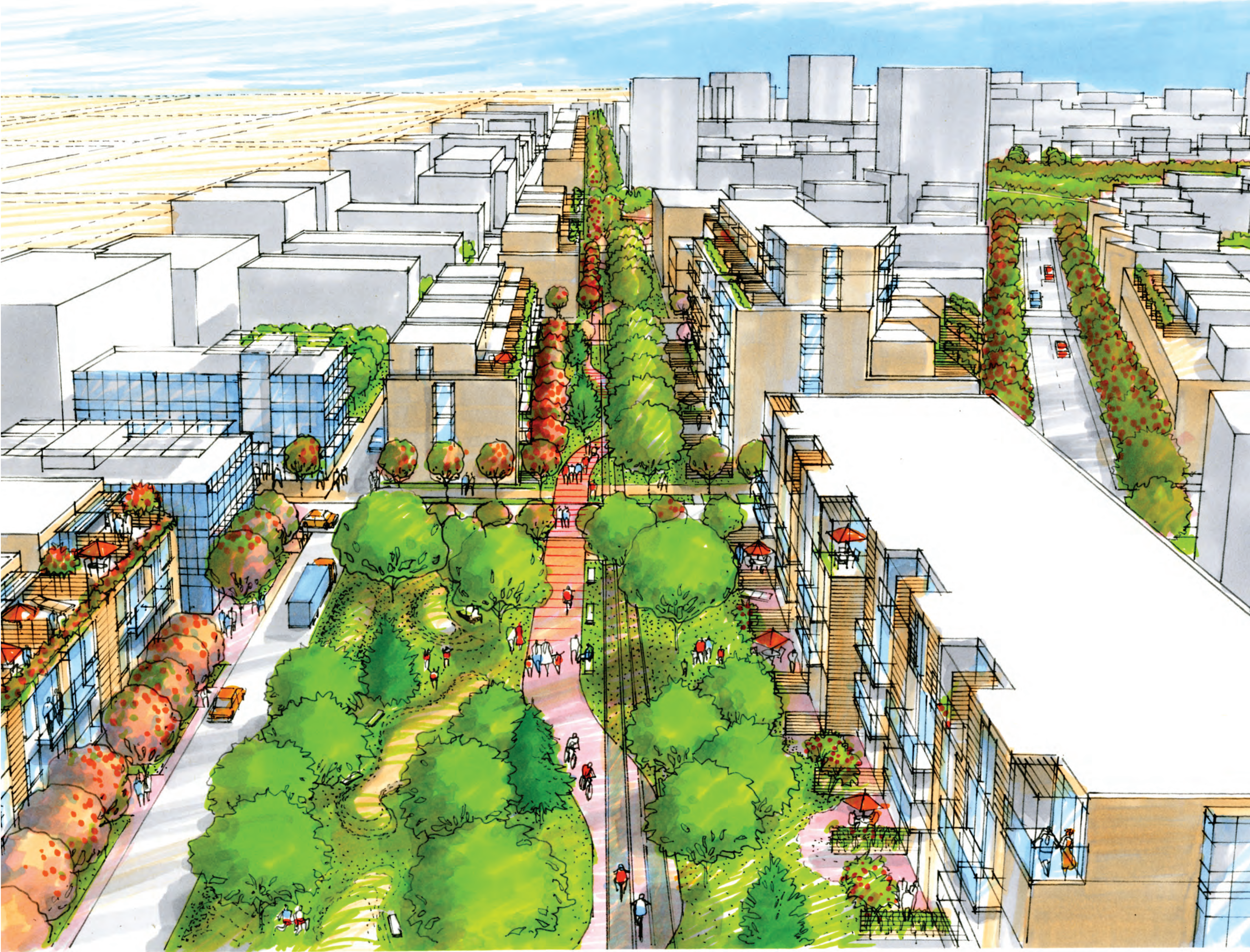


Bridging over rail tracks allows for parking below.



Reviving the old rail line as a Greenway

One path, multiple activities, dog park, play areas, community gardens.



SUSTAINABLE DEVELOPMENT STRATEGIES

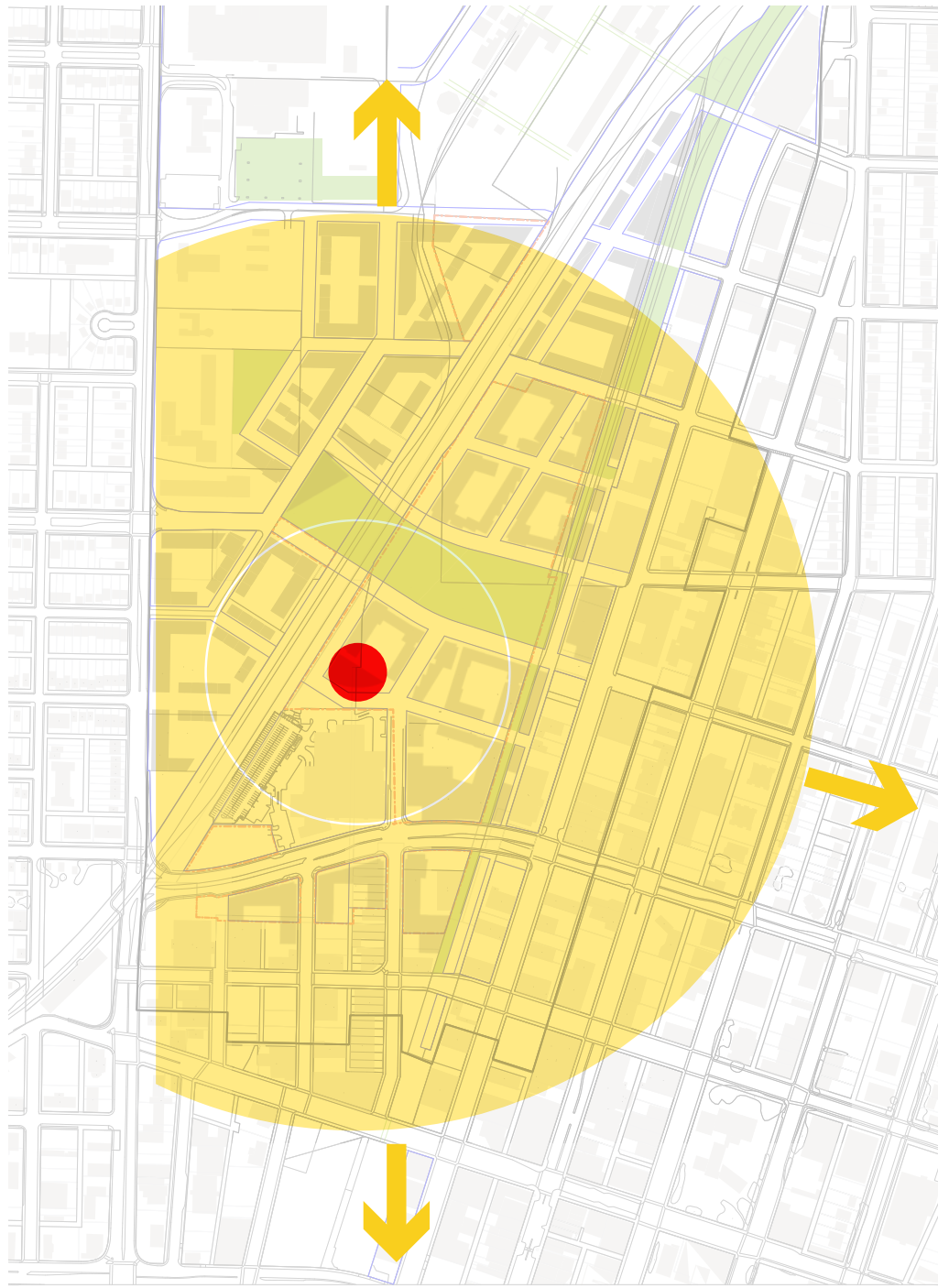
1 | DISTRICT ENERGY*

- Connect all buildings to the District Energy System.
- Provide energy and heating with low Greenhouse Gas emissions.

*Ongoing coordination with Energy Consultant.

2 | GREEN BUILDINGS

- Establish minimum sustainable performance goals in design and construction.
- Employ passive approaches to sustainable building (e.g., high performance walls and windows.)



Legend
● Location of District Energy Plant
● Distribution Zone
→ Potential for Expansion

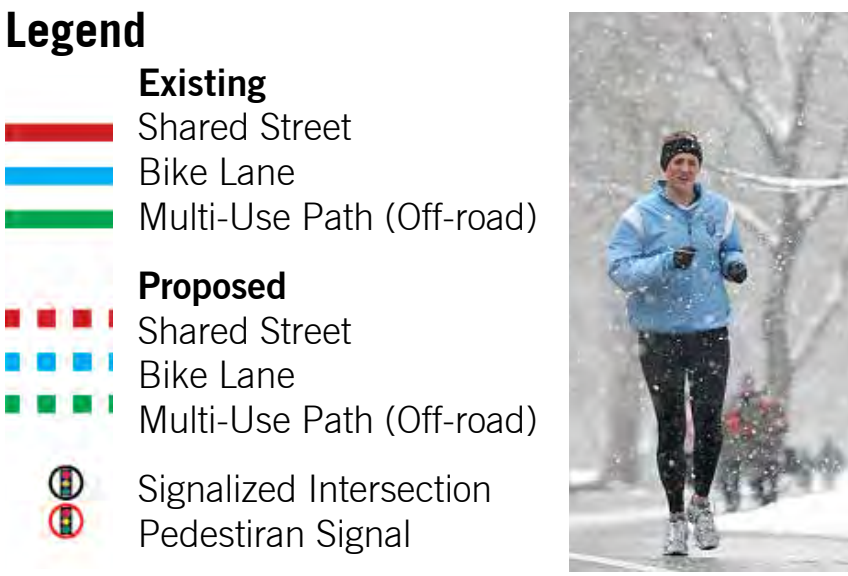
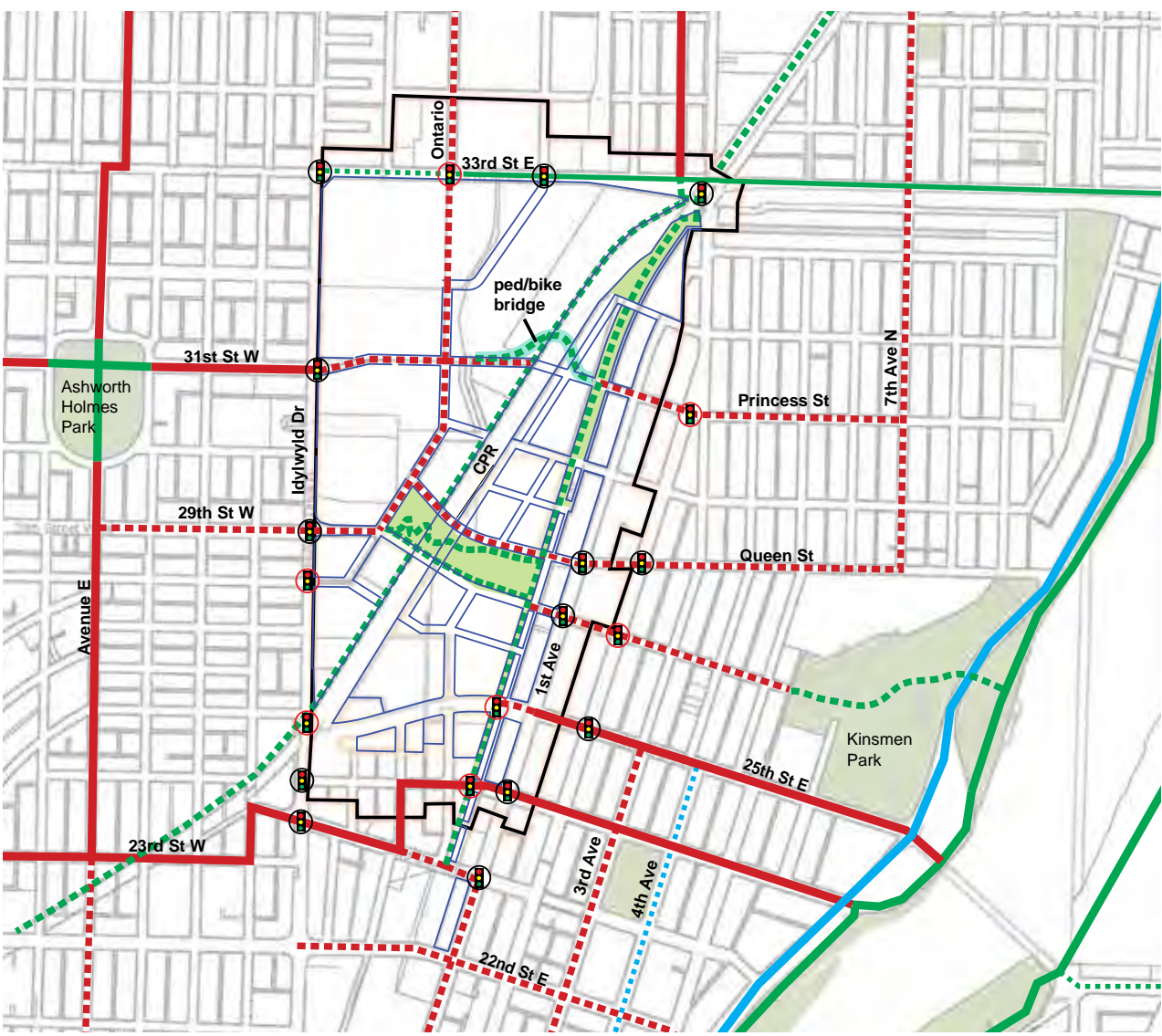
3 | STORMWATER MANAGEMENT

- Create a variety of water conveyance and temporary storage features that provide on-site 24 hour capacity for a 100-year storm event.



4 | ACTIVE TRANSPORTATION

- Create a network of walking, cycling, and running routes that make it easy to be active all year round.



5 | URBAN AGRICULTURE

- Create zones of community gardens at the Rail Greenway, flanking the CPR corridor and on the Landbridge Park.



LAND USE AND DISTRICTS

- Rich mix of uses
- Taller buildings around central park
- Integrating industry to support jobs

Idylwyld Drive

Densification to support transit.
Active uses at grade.
Better pedestrian environment.



Top: Arbutus Walk, Vancouver
Bottom: Hancock Mixed-Use, West Hollywood

Mill District (long-term)

Adaptive re-use of the Mills. Opportunity for new green space supporting infill development and SIAST.



Left: Mill District, Minneapolis
Right: Industrial Greenway Park, Montreal



Cross-rail District

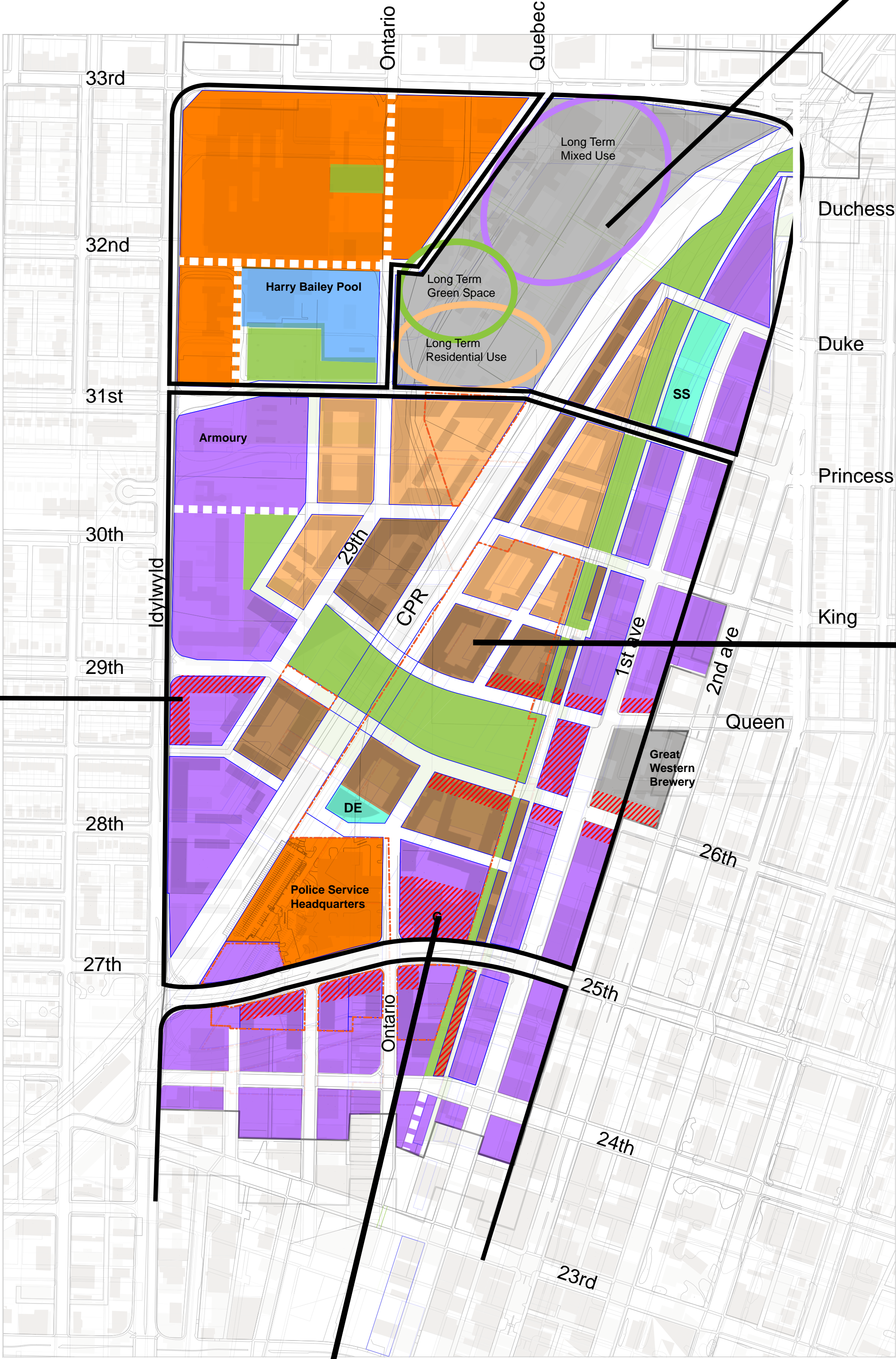
Grand central park surrounded by buildings up to 15 storeys.
Courtyard development.



Top: Dockside Development, Victoria
Middle 1: 4-storey development relates to courtyard, unknown location
Middle 2: Design for Brooklyn Queens Expressway Trench, NY
Bottom: Arbutus Walk, Vancouver

Warehouse District

Infill development enhances warehouse character. Old rail line transformed into a narrow urban corridor with new development on both sides.



Legend

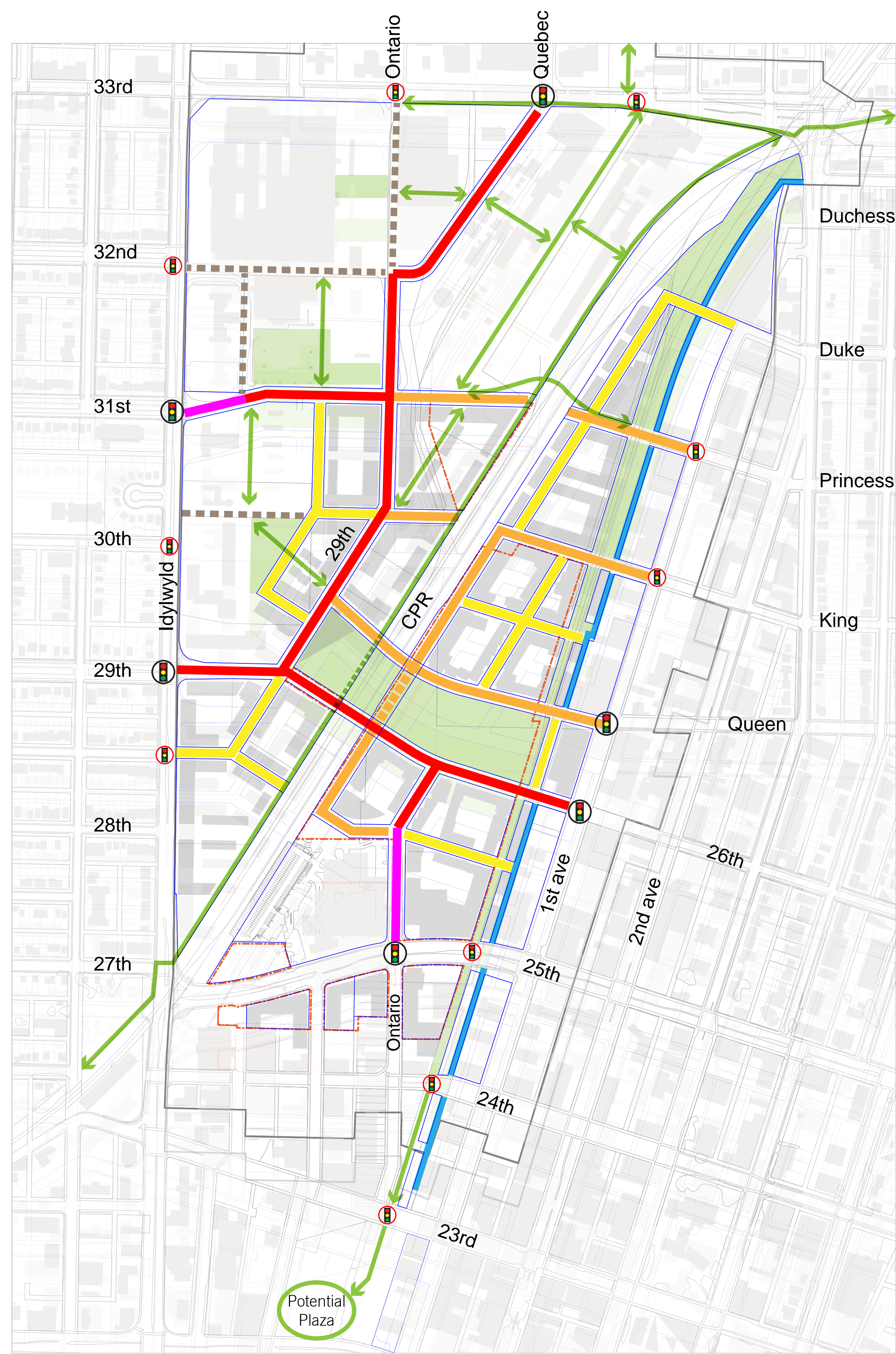
- Study Area Boundary
- City-Owned Land
- ▨ Privately-owned, Publicly accessible Street

- LAND USE
- Low Density Residential
 - Medium Density Residential
 - High Density Residential
 - Office/Institutional
 - Commercial
 - Neighbourhood (N) Special Area (SA) Grocery Store (G)
 - Industrial
 - Light (L) Heavy (H)
 - Mixed Use
 - Community Facility
 - Green Space
 - Public Utility
 - District Energy Plant (DE) Sub-Station (SS)



Top: Yaletown retail at grade, Vancouver
Bottom left: Mews at Distillery District, Toronto
Bottom right: Townhouse on narrow street, Amsterdam

A FAMILY OF COMPLETE STREETS

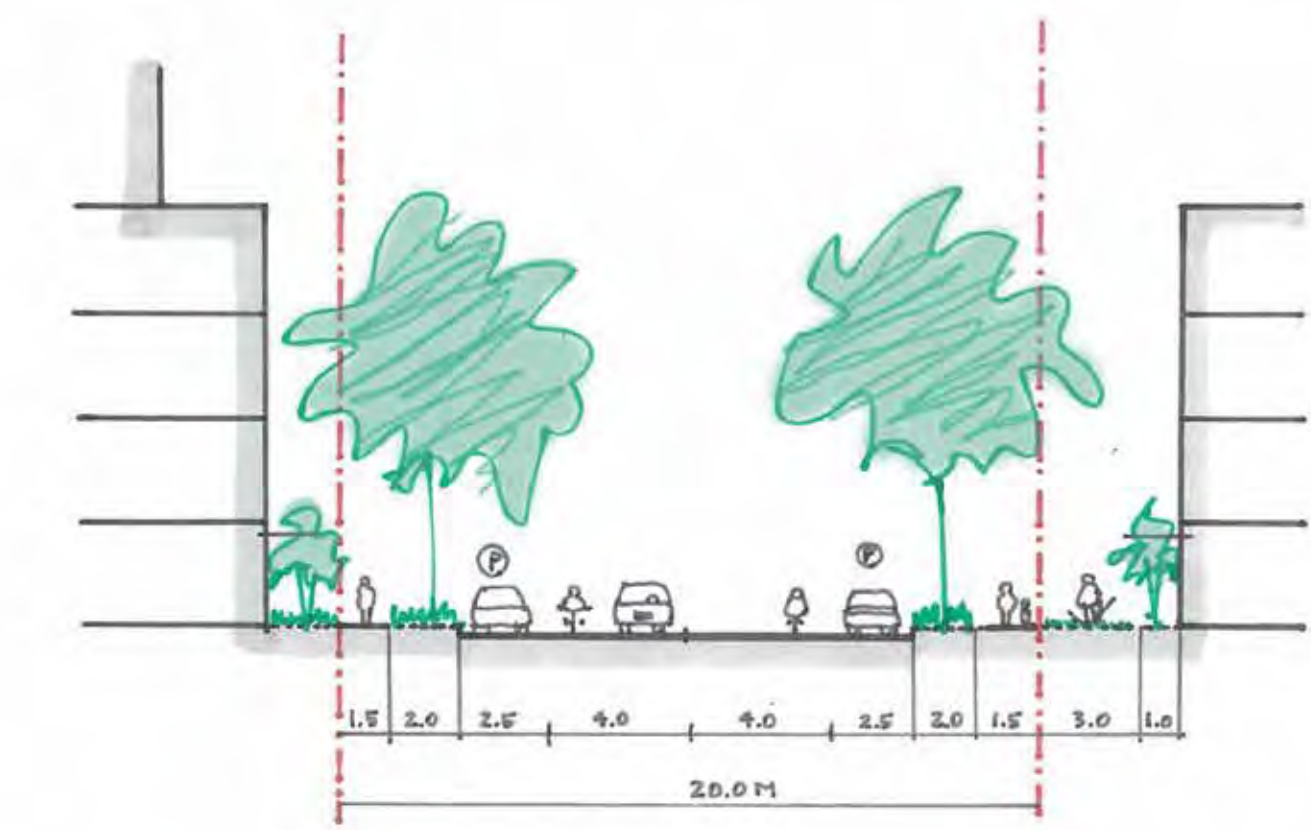
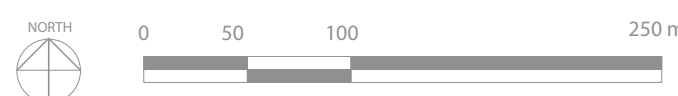


STREET NETWORK

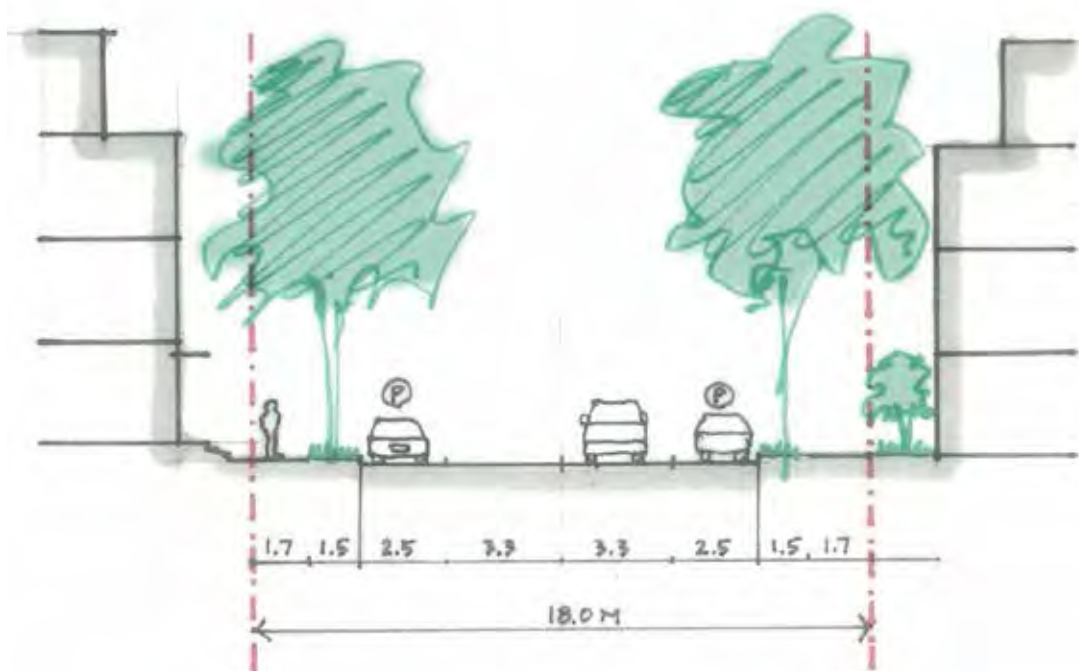
- Queen and 26th Street bridge over rail tracks
- Streets designed for pedestrians, cyclists and vehicles

Legend

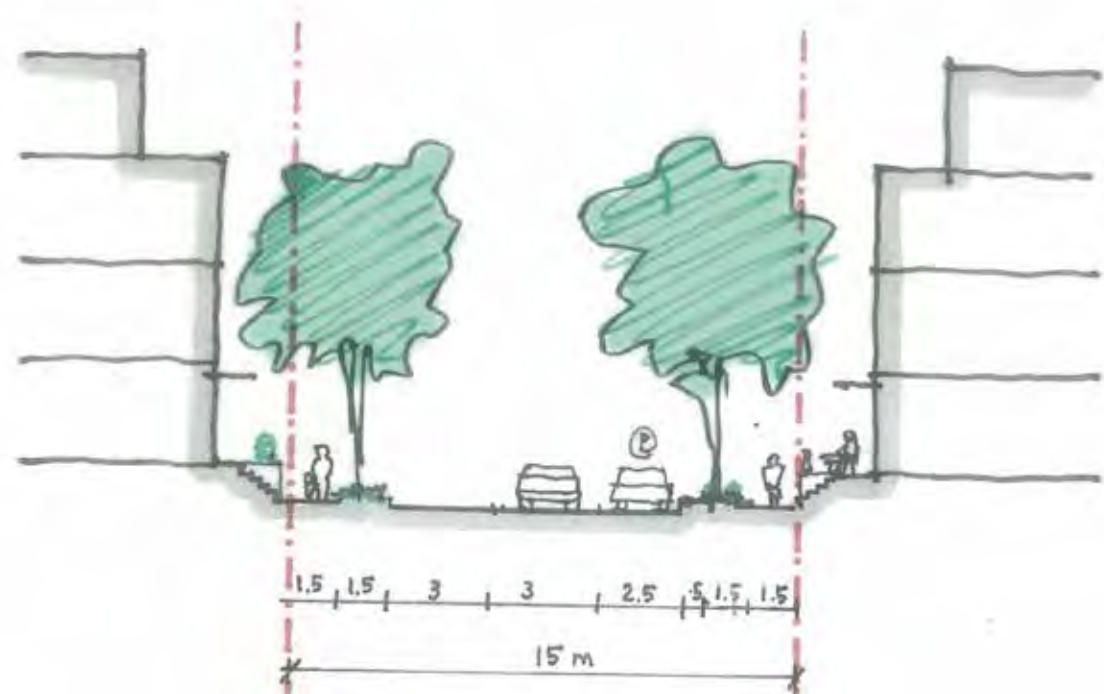
- Study Area Boundary
 - - - City-Owned Land
 - Existing Building
 - New Open Space
 - New Property Line
 - New Underground Parking
 - Potential Bike/Pedestrian Connection
- FAMILY OF STREETS**
- Existing Connector Street (+20m ROW)
 - Connector Street (20m ROW)
 - Local Street (18m ROW)
 - Mews (15m ROW)
 - Lane (6m ROW)
 - Privately-owned, Publicly Accessible Street
- Signalized Intersection
 - Pedestrian Signal
- Note: Dashed line indicates a street below the land bridge



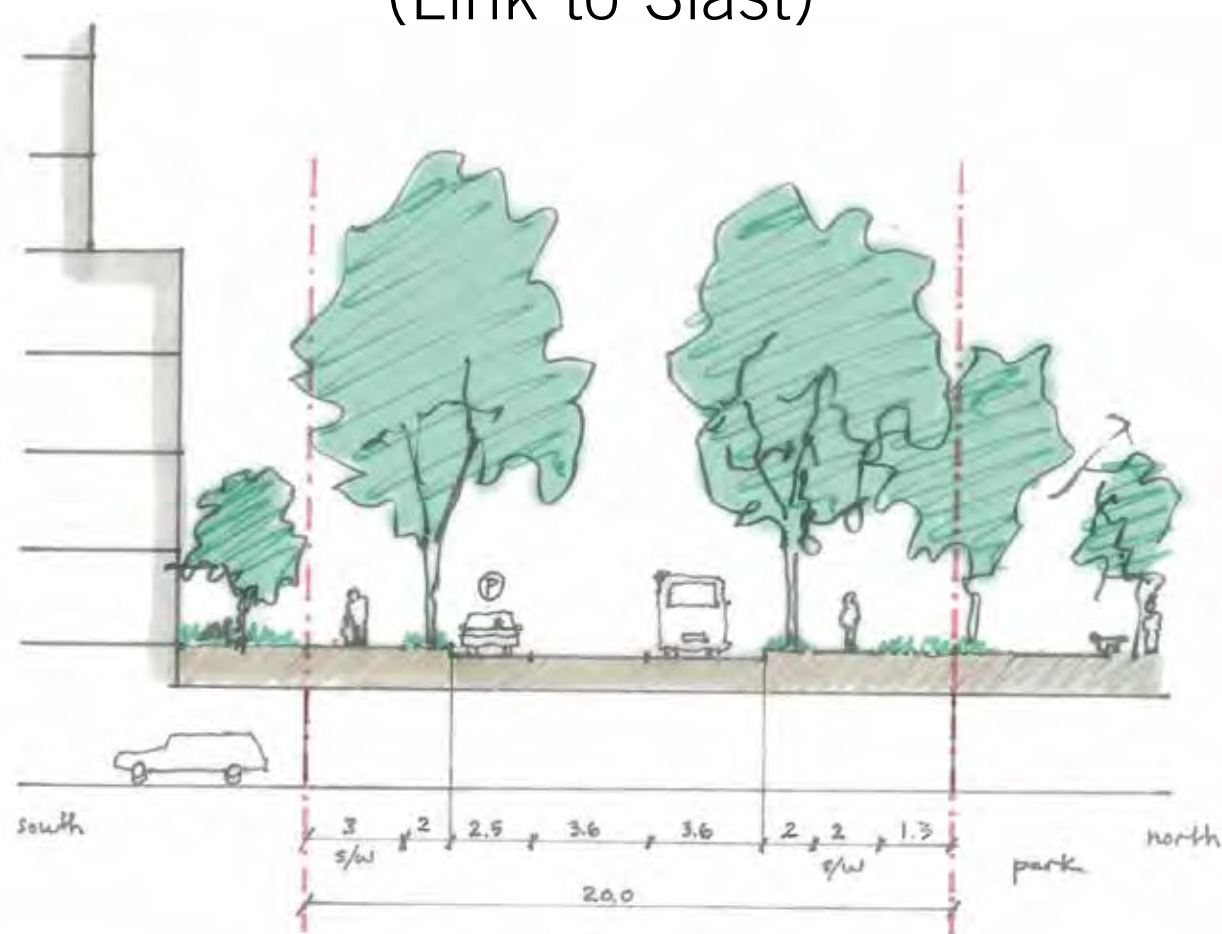
Connector Street Cross-section
(Link to Siast)



Local Street Cross-section
(Typical)



Mews Cross-section
(Typical)



Connector Street Cross-section
(South Side of Park)



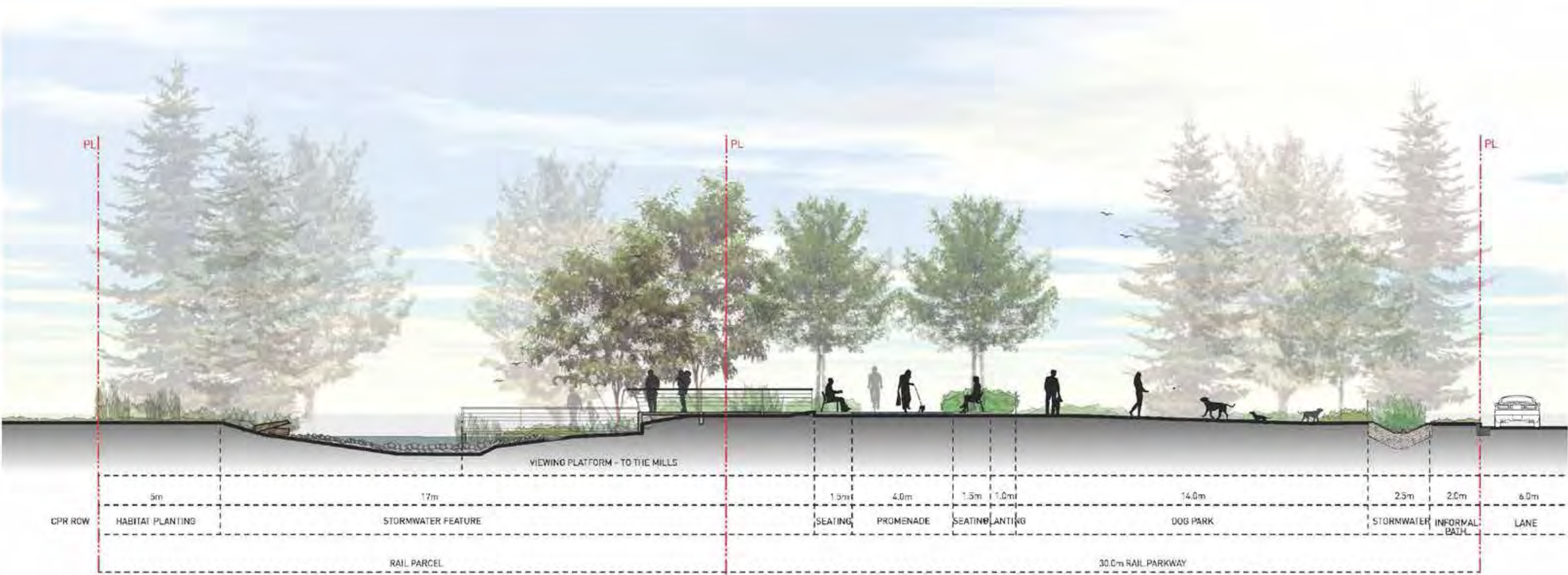
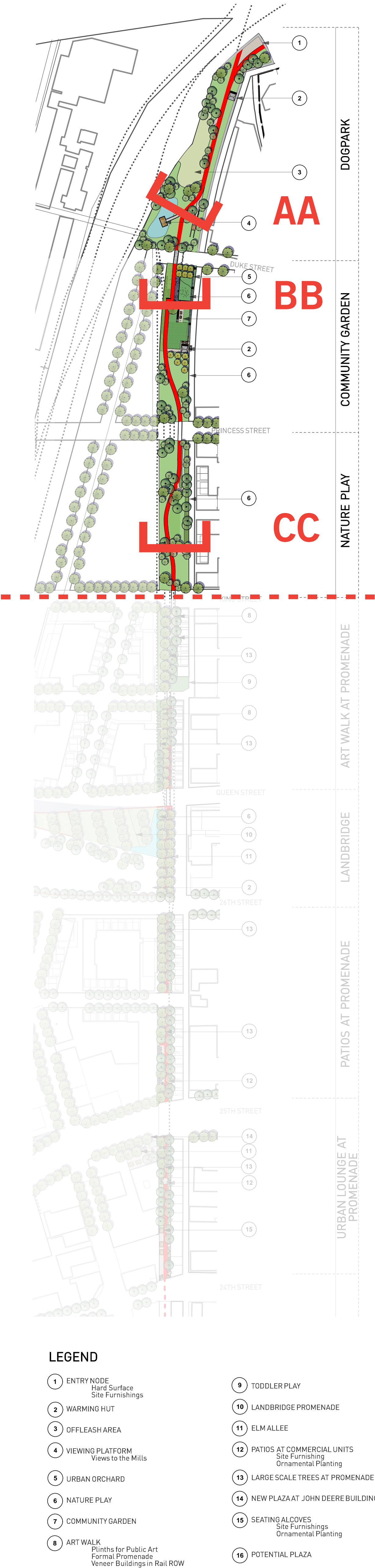
Local Street Cross-section
(East-side of CPR)



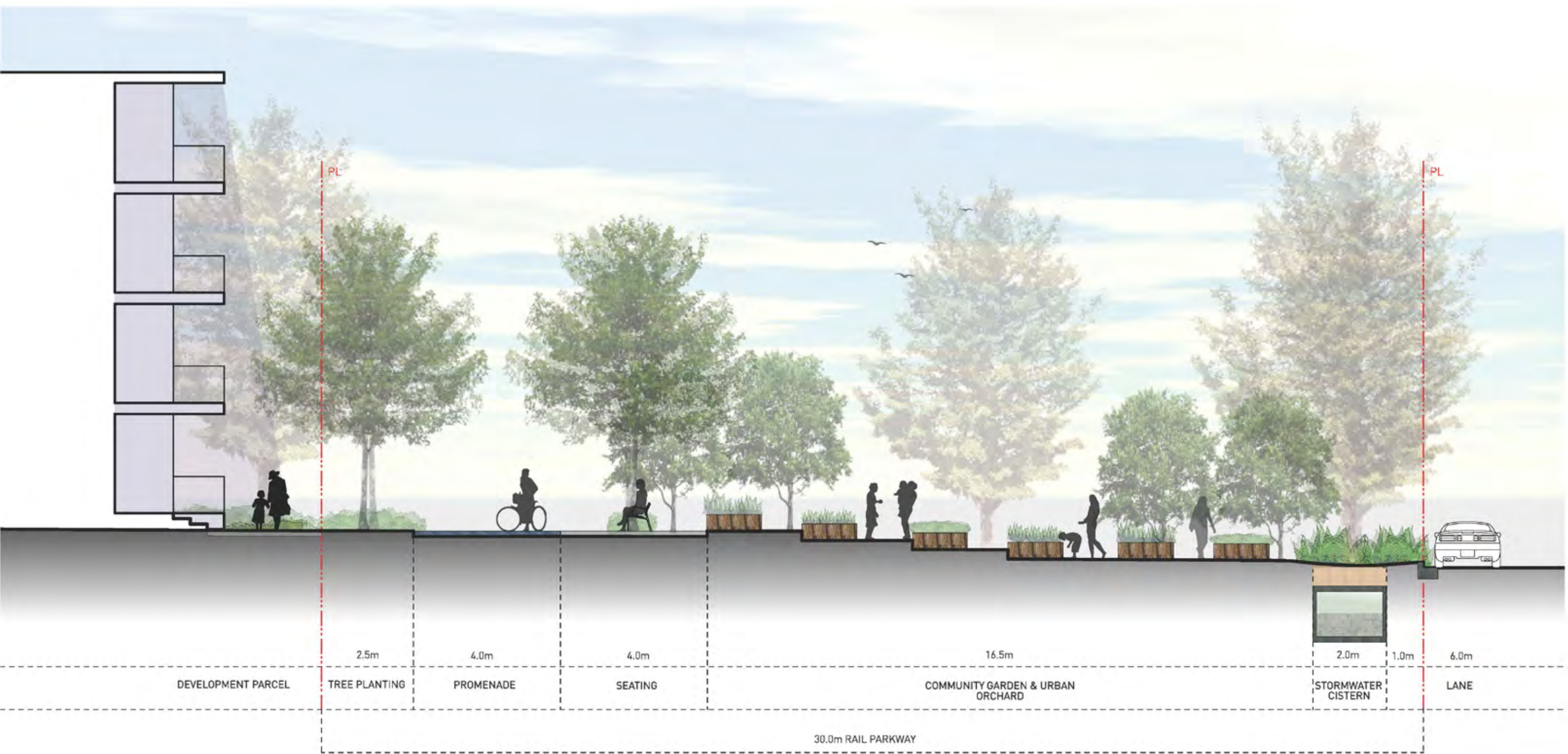
Path along west of CPR

RAIL GREENWAY: NORTH

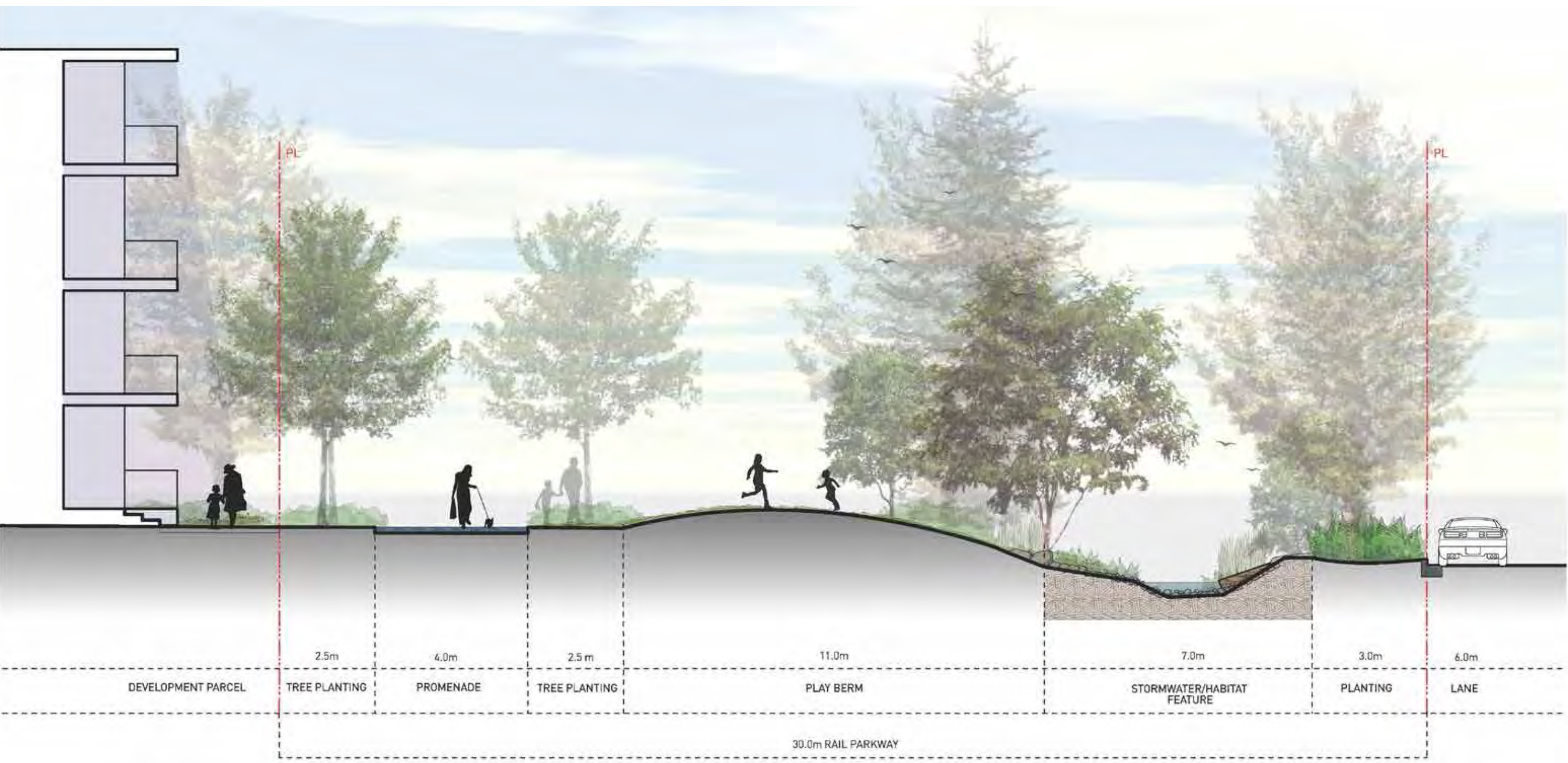
WIDE AND PARK-LIKE, DOG PARK, COMMUNITY GARDENS, NATURE PLAY



Cross-section AA - Dog Park and Stormwater Pond



Cross-section BB - Community Gardens



Cross-section CC - Play Areas

Key Plan - Rail Greenway: North

RAIL GREENWAY: SOUTH

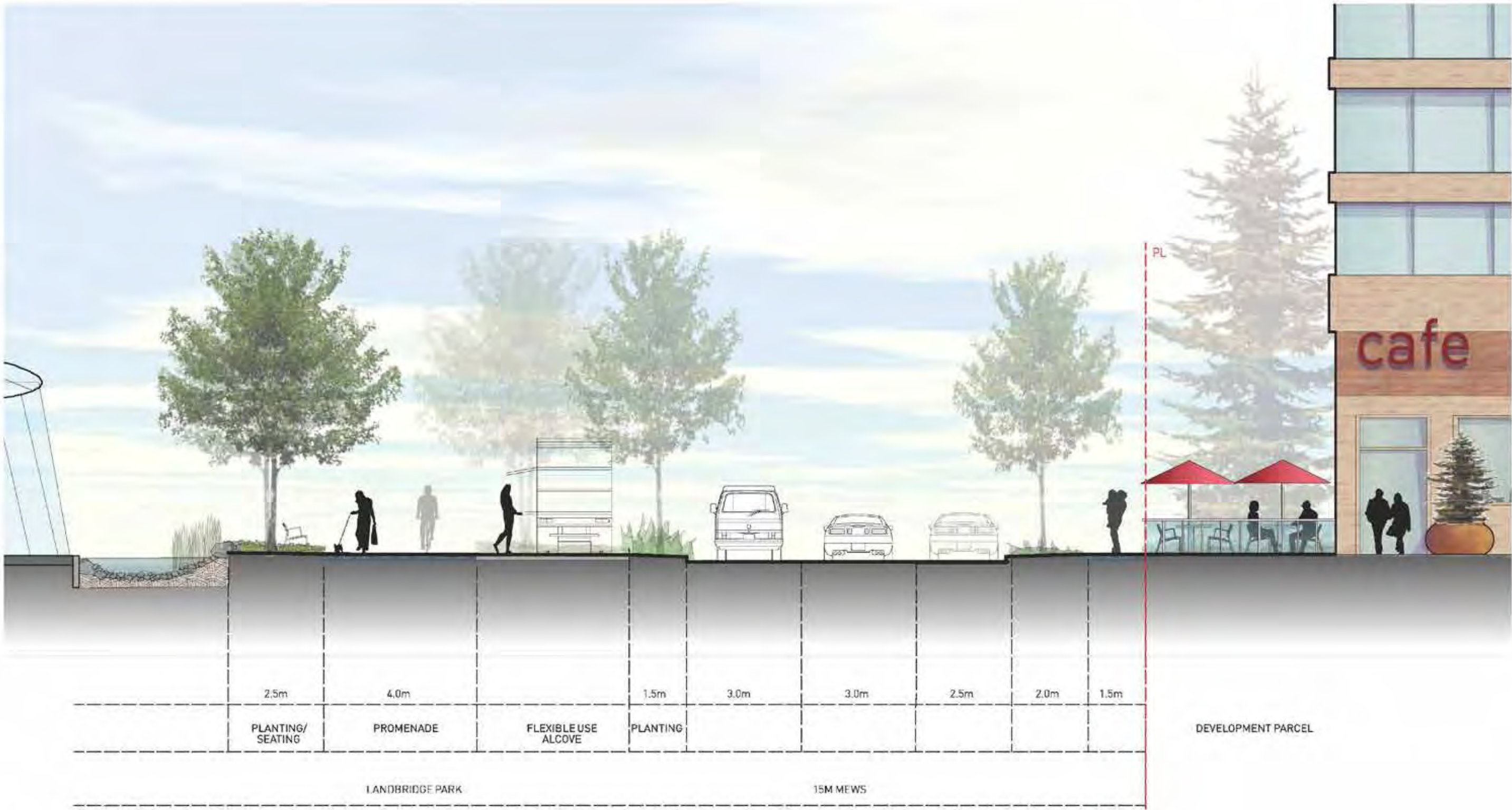
NARROW AND URBAN, RAILWALK, HOUSING, CAFÉS, LIVE-WORK



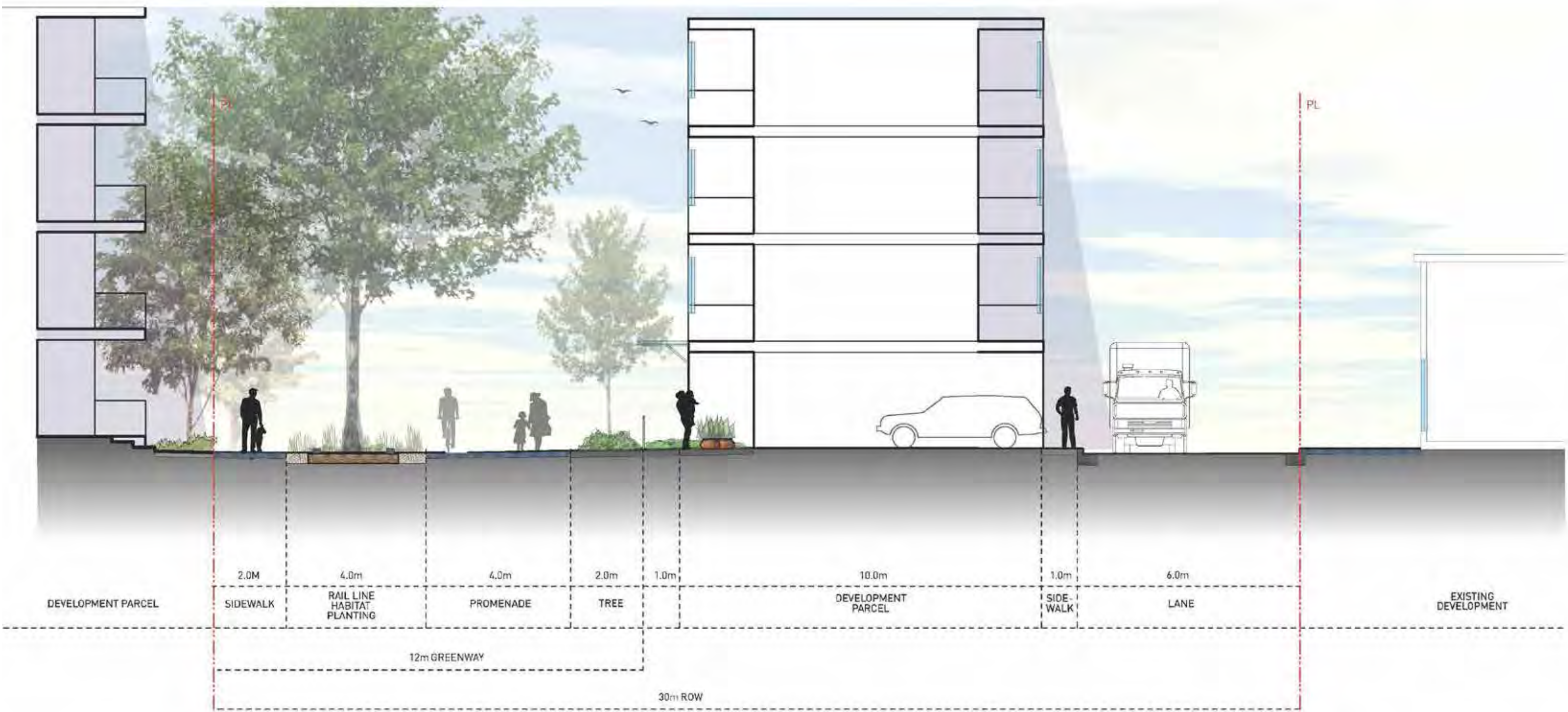
LEGEND

- 1 ENTRY NODE
Hard Surface
Site Furnishings
 - 2 WARMING HUT
 - 3 OFFLEASH AREA
 - 4 VIEWING PLATFORM
Views to the Mills
 - 5 URBAN ORCHARD
 - 6 NATURE PLAY
 - 7 COMMUNITY GARDEN
 - 8 ART WALK
Plinths for Public Art
Formal Promenade
Vener Buildings in Rail ROW
- 9 TODDLER PLAY
 - 10 LANDBRIDGE PROMENADE
 - 11 ELM ALLEE
 - 12 PATIOS AT COMMERCIAL UNITS
Site Furnishings
Ornamental Planting
 - 13 LARGE SCALE TREES AT PROMENADE
 - 14 NEW PLAZA AT JOHN DEERE BUILDING
 - 15 SEATING ALCOVES
Site Furnishings
Ornamental Planting
 - 16 POTENTIAL PLAZA

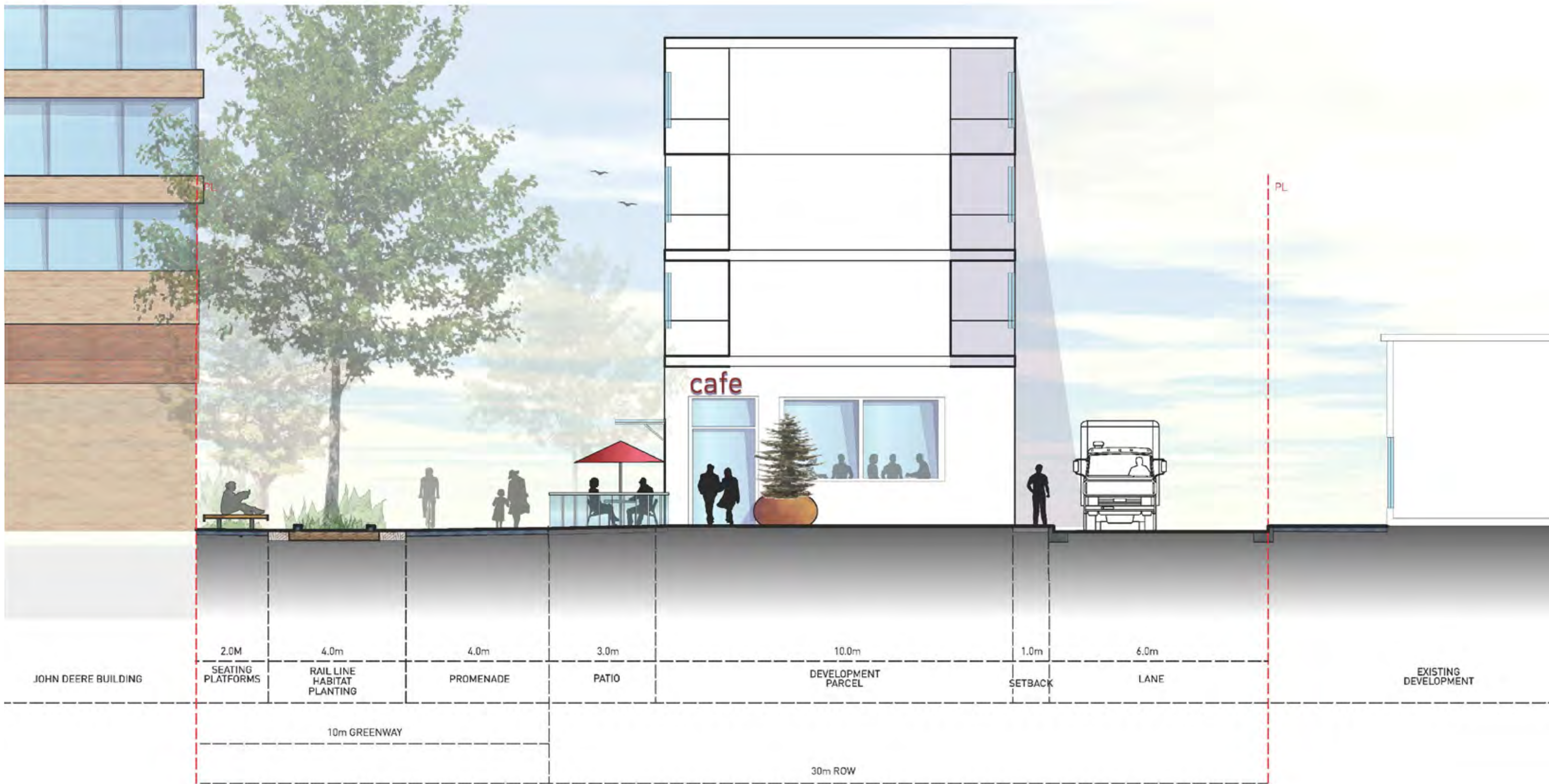
Key Plan - Rail Greenway: South



Cross-section DD - Park Frontage



Cross-section EE - Stacked Townhouses and Service Lane



Cross-section FF - John Deere Block: Cafés, Restaurants and Live-work At-grade

LANDBRIDGE PARK PROGRAMMING



FITNESS

AMENITY

SUSTAINABILITY

PLAY

- Walking/Running/Biking
- Snowshoeing
- Ice Climbing
- Seating
- Entry Gateway
- Elevator
- Open Lawn
- Garden Rooms
- Large Scale Trees
- Habitat Creation
- Play Area
- Informal Play

FITNESS

AMENITY

SUSTAINABILITY

PLAY

- Walking/Running/Biking
- Snowshoeing
- Zipline
- Sports Courts
- Seating
- Gathering
- Viewing Tower / Elevator
- Viewing Skylights
- Landscape Terraces
- Large Scale Trees
- Stormwater Feature
- Habitat Creation
- Play Area
- Informal Play
- Nature Play
- Youth Play

FITNESS

AMENITY

SUSTAINABILITY

PLAY

- Walking/Running/Biking
- Snowshoeing
- Pulling Toboggan
- Seating
- Entry Gateway
- Warming Hut/Fire
- Picnic Tables
- Plaza / Gathering
- Elevator
- Festival / Event Lawn
- Large Scale Trees
- Garden Rooms
- Stormwater Feature
- Habitat Creation
- Play Area
- Nature Play

LEGEND

1

 PLAY AREA

2

 INFORMAL PLAY

3

 PICNIC TABLE

4

 SPORTS COURT

5

 LANDBRIDGE PLAZA

6

 WARMING HUT

7

 GARDEN ROOM

8

 STORMWATER FEATURE

9

 ELEVATOR

10

 VIEWING SKYLIGHTS

11

 STAGING AREA

12

 ENTRANCE GATEWAY

13

 OPEN LAWN

14

 HABITAT

15

 LANDSCAPE TERRACES

16

 VIEWING TOWER

Notes Seasonal Activity

WEST SLOPE

UPPER PARK TERRACE

EAST SLOPE

