

The following checklist may be used with your permit application:

Address: _____

ROOF:

Type of Roof Shingles: Asphalt Other _____

Type of Roof Sheathing: OSB Plywood

Sheathing Thickness: 3/8" 7/16"
Complete with H-Clips?

Spacing of Trusses/Rafters: 24" Other _____

If not using pre-engineered trusses

Size of Roof Joists/Rafters 2x4 2x6 2x8

Size of Ceiling Joists 2x4 2x6 2x8

Ridge Beam: _____

Slope of Roof: 4/12 6/12 Other _____

Width of Eave Overhang: 12" 18" 24"

Gable ends with Lookout Rafters:

WALLS:

Type of Siding: Vinyl Stucco Other _____
Building Paper House Wrap

Type of Wall Sheathing: OSB Plywood

Sheathing Thickness: 3/8" 7/16"

Stud Size: 2" x 4" 2" x 6"

Stud Spacing: 16" 24"

Height of Wall: 8'-0" 10'-0" Other _____

Pressure Treated Bottom Plate:

Garage Door Opening Width: _____

Size of Lintels/Beams: _____

FOUNDATION:

Slab on Grade:

Slab Thickness: _____

Thickened Edge:

Pile and Grade Beam:

Pile Details: _____

Grade Beam Details: _____

* See [Residential Pile and Grade Beams](#) handout



For more information contact:

Community Services Department
Building Standards
222 3rd Avenue North
Saskatoon SK S7K 0J5

Phone: (306) 975-3236

Fax: (306) 975-7712

Website: www.saskatoon.ca

Email: buildingstandards@saskatoon.ca

Office Hours

Monday - Friday, 8:00 a.m. to 5:00 p.m.

This pamphlet has no legal status and cannot be used as an official interpretation of the various codes and regulations currently in effect. Users are advised to contact Building Standards for assistance, as the City of Saskatoon accepts no responsibility to persons relying solely on this information.



COMMUNITY SERVICES
Department

A Guide to Detached Garages and Accessory Buildings

Regulations and Permit Information

**A building permit is not required for accessory buildings 10 m² or smaller.*

**Requirements of this guide also apply to accessory buildings that do not require a building permit.*

*"Striving for Excellence,
Our Commitment to
Keeping Saskatoon Special"*

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General Regulations

- The maximum size of all accessory buildings (combined) can be determined as follows:

Main floor area of the dwelling (excluding an attached garage)	Maximum of all accessory buildings combined
54 m ² or less (581 ft ²)	54 m ² (581 ft ²)
54 m ² to 87 m ² (581 ft ² to 936 ft ²)	Less than the main floor area of the dwelling
Greater than 87 m ² (936 ft ²)	87 m ² (936 ft ²)

- The combined floor area of all accessory buildings in the rear yard cannot exceed 30-50% of the rear yard depending on the size of the lot (refer to the Zoning Bylaw for additional details).
- An accessory building cannot exceed one storey. The maximum allowable wall height is 4.0 m (13 ft) from grade to soffit, and the vertical distance to the highest point on the roof must be less than 5.0 m (16 ft 4 in).
- An accessory building must be at least 15.0 m (50 ft) from the front property line and at least 1.2 m (4 ft) from the house, or at least 1.2 m (4 ft) behind the house (see Figure 1).
- Roof soffits are not allowed within 0.45 m (18 in) of the property line.
- Soffit protection is required for roof soffits that are closer than 1.2 m (4 ft) from the property line.
- It is recommended that an accessory building be 0.6 m (2 ft) or more from the side property line.
- On a corner site, an accessory building must be at least 0.75 m (30 in) from the side street property line [*1.5 m (5 ft) from the side street property line if it is located in an R1 zoning district] (see Figure 1).
- A detached garage must be at least 1.2 m (4 ft) from the lane if vehicle entry is from the lane.
- Garage foundations 55 m² (592 ft²), and larger must be either:
 - A pile and grade beam system as per the [City of Saskatoon Residential Piles and Grade Beams](#) handout, or
 - Reviewed and sealed by a design professional licenced to consult in the province of Saskatchewan. The architect or engineer (structural) must also provide a [letter of commitment for field review](#) and a [letter of assurance](#).
- A separate permit is required for electrical work. Contact SaskPower at 1-888-757-6937.

Required Information for Permit Applications:

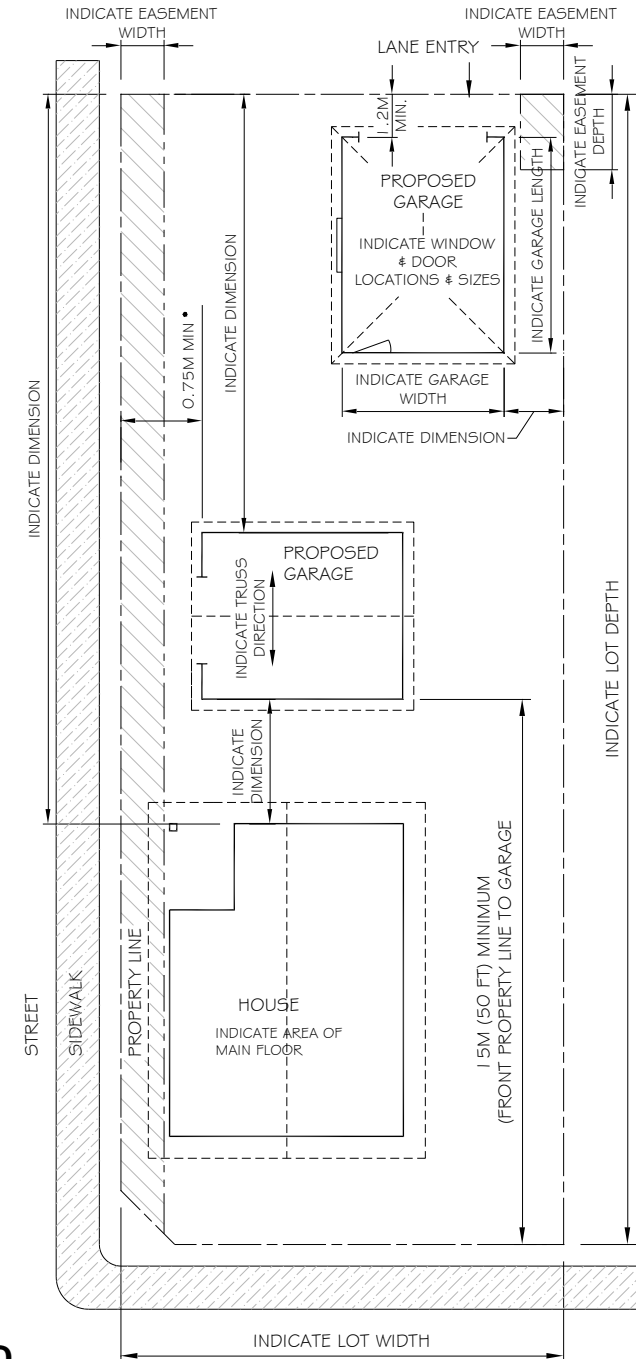
- A site plan showing the location and dimensions of the proposed accessory building and all other buildings on the property, and all easements (See Figure 1);
- A plan showing the direction of the trusses/rafters and the location and sizes of all doors and windows (See Figure 1);
- Information indicated on the attached checklist;
- A cross-section may be required in some instances to show the height of the garage above grade;
- Any building over 10 m² (107 ft²) to be demolished or relocated will require a demolition or removal permit.

Note: It is the owner's responsibility to contact Information Services Corporation (ISC) and utility companies to locate utility lines and easements. Construction over underground utilities is not permitted.

It is the owner's responsibility to obtain a [boulevard/ curb crossing permit](#) (where applicable) from Transportation & Construction www.saskatoon.ca/trafficpermits.

A BUILDING AND DEVELOPMENT PERMIT IS REQUIRED PRIOR TO CONSTRUCTION

Figure 1: Typical Site Plan



* 1.5m required in R1 districts.