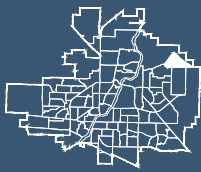




Phase 8 - Lot Information Map



297 Lots: Yuel Lane, Crescent, Link, Bend & Way



City of Saskatoon
Saskatoon Land - May 2025

Note: The Saskatoon Land does not guarantee the accuracy of this plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. Park and buffer readings are for illustrative purposes only and does not represent what will be constructed. To ensure accuracy, please refer to the Registered Plan of Survey. Distances are in meters unless shown otherwise. Do not scale.



Legend:

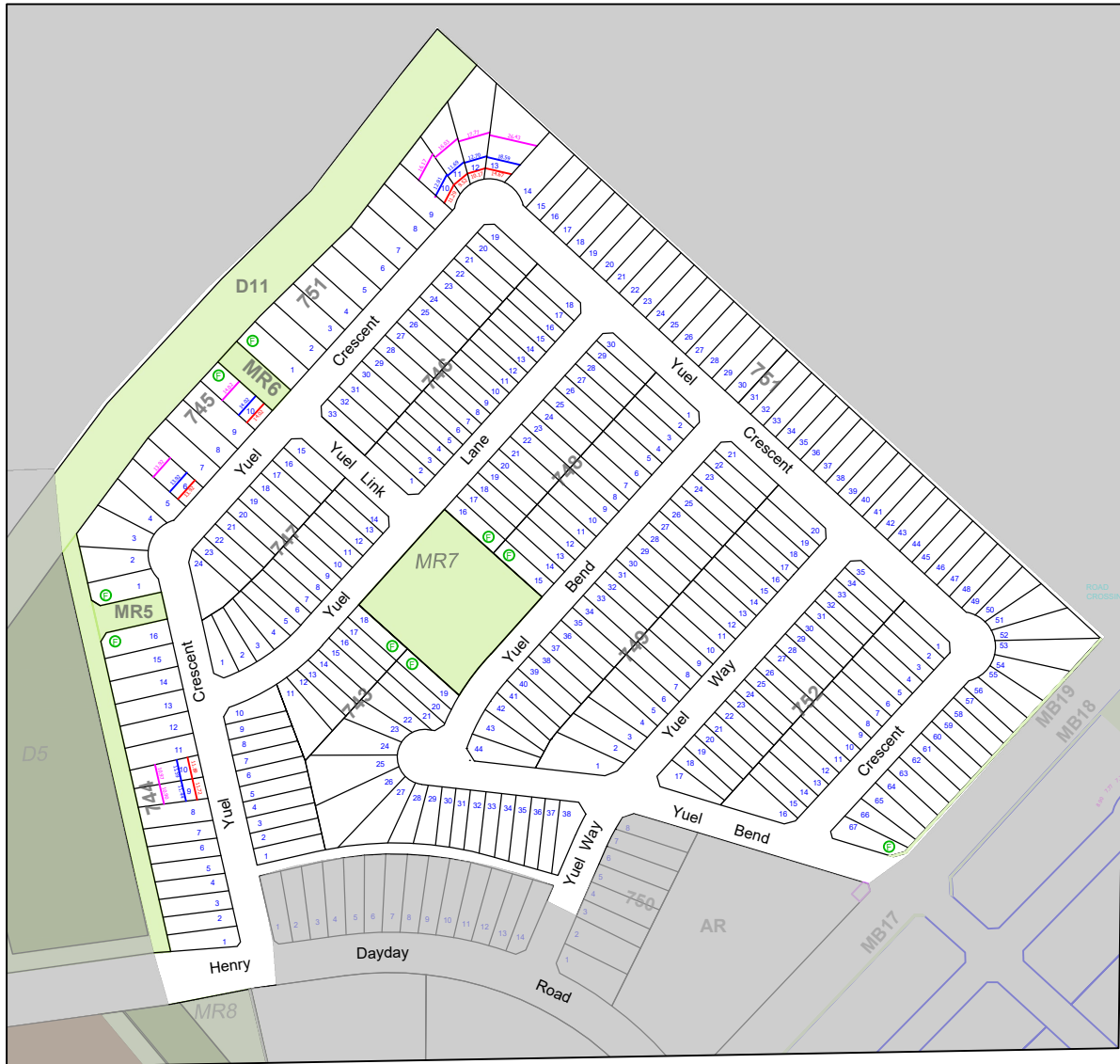
- Single Unit
- Highly Visible Lot
- Residential Care Home
- Multi-Unit Parcel Low/Medium Density
- Multi-Unit Parcel Medium Density
- Easement 2m
- Easement 3m
- Easement 5m
- Easement 6m
- City Easement

- Walkout Basement
- Transitional Lot
- Transformer
- Service Pedestal
- Block Number
- Lot Number
- Civic Address
- Mail Box
- Corner Garage Location

- Fire Hydrant
- Decorative Aluminum Fence
- Aluminum Fence 10" Within Rear Lot
- Vinyl Fence
- Vinyl Fence 10" Within Rear Lot
- Vertical Curb
- Street Light

City of Saskatoon
Saskatoon Land - August 2025

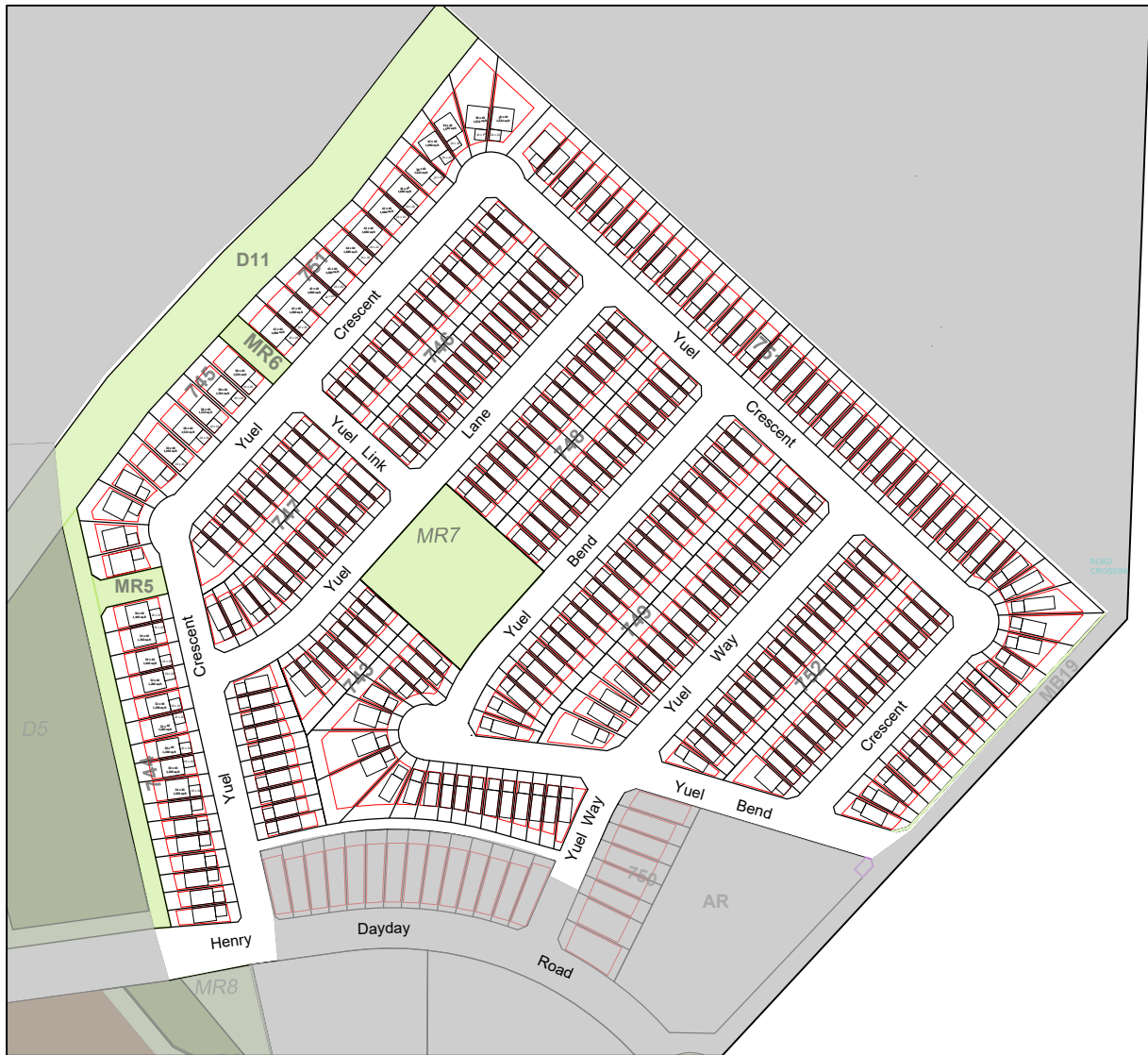
Note: The Saskatoon Land does not guarantee the accuracy of this plan. Lot dimensions and the location of other features are compiled from available information and are subject to change without notice. Park and buffer readings are for illustrative purposes only and does not represent what will be constructed. To ensure accuracy, please refer to the Registered Plan of Survey. Distances are in meters unless shown otherwise. Do not scale.
Note: This map is conceptual and subject to change.



LEGEND

Note: The information contained on this map is for illustrative purposes only and should not be used for legal purposes. All the information was compiled from available sources and the line work is subject to change without notice. Parks and buffer renderings are for illustrative purposes only and does not represent what will be constructed.

- Conceptual 6m Setback
- Conceptual 12m Setback
- Conceptual 24m Setback
- Ⓡ Lot with side fence encroachment



Note: The information contained on this map is for illustrative purposes only and should not be used for legal purposes. All the information was compiled from available sources and the line work is subject to change without notice. Parks and buffer renderings are for illustrative purposes only and does not represent what will be constructed.



Date:
JULY 2025

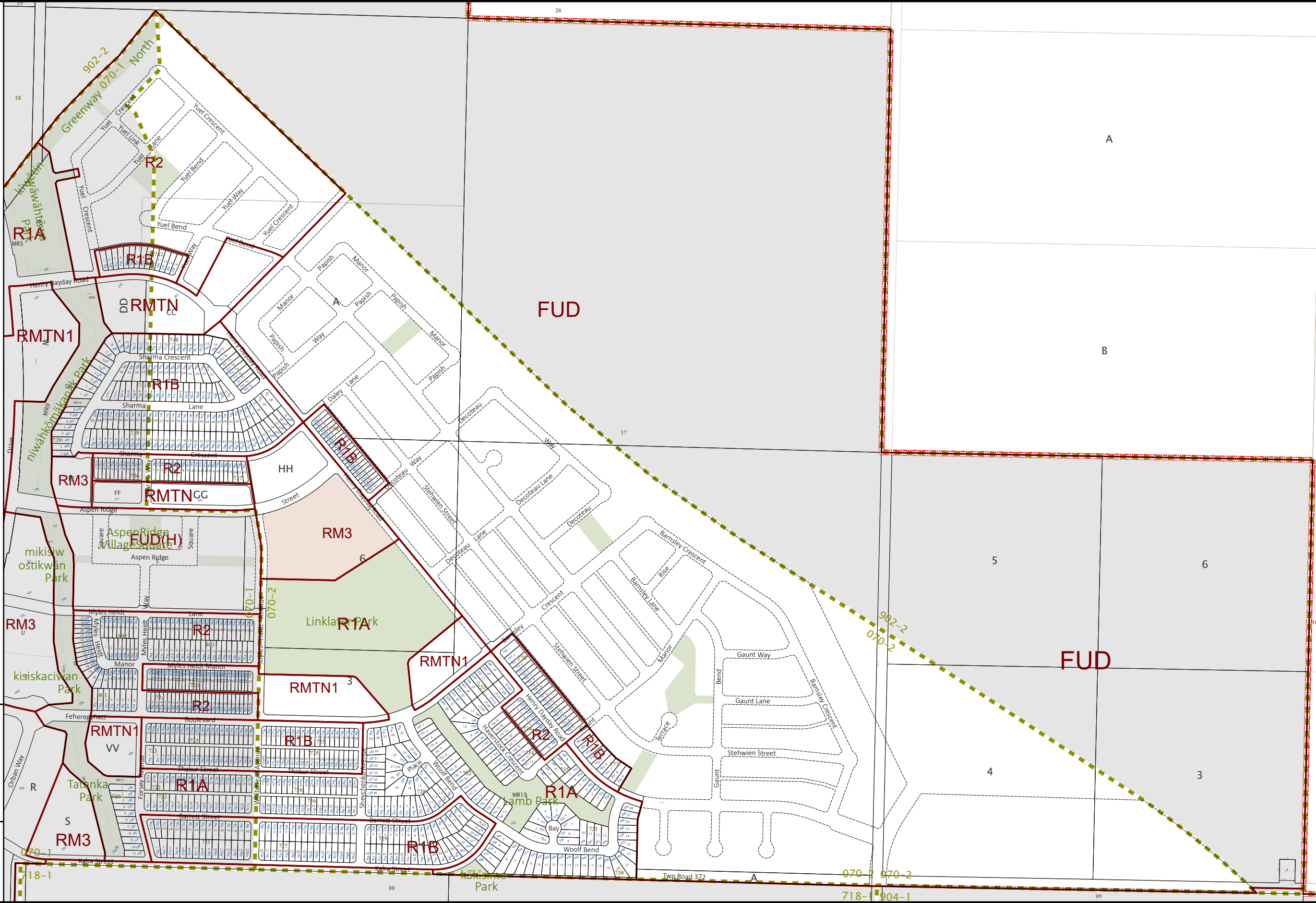
Scale:
NTS

Drawn By:
AMR

File No.

ASPEN RIDGE PHASE 8

HOUSING FOOTPRINTS AND
ZONING BYLAW BUILDING AREA



Address Map of Aspen Ridge



City of
Saskatoon

Note: The information contained on this map is for reference only and not to be used for legal purpose

- Zoning Designation
- ISC Lots
- ISC Blocks

Scale 1 : 6900

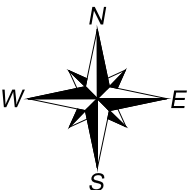
070-2

2/12/2025



ASPEN RIDGE LAND USE CONCEPT PLAN

NORTHEAST
SWALE



- LOW DENSITY
- LOW DENSITY MULTI-UNIT
- LOW/MEDIUM DENSITY MULTI-UNIT
- MEDIUM DENSITY MULTI-UNIT
- LOW-DENSITY MIXED-USE
- MEDIUM-DENSITY MIXED-USE
- POTENTIAL SCHOOL SITE
- MUNICIPAL RESERVE
- BUFFER STRIP
- SWALE
- GREENWAY
- LANDSCAPED DRAINAGE OPEN SPACE
- URBAN HOLDING AREA
- FUTURE INTERCHANGE
- POSSIBLE ROADWAY EXTENTION
- CONCEPT PLAN BOUNDARY
- SASKATOON FREEWAY ALIGNMENT
- SASKATOON FREEWAY OVERLAY
- CITY LIMITS
- Ⓜ POTENTIAL CELL TOWER LOCATION
- RCH POTENTIAL RESIDENTIAL CARE HOME SITE

* ST - STREET TOWNHOUSE
GT - GROUP TOWNHOUSE

ORIGINAL ASPEN RIDGE
CONCEPT PLAN
APPROVED JUNE 23, 2014

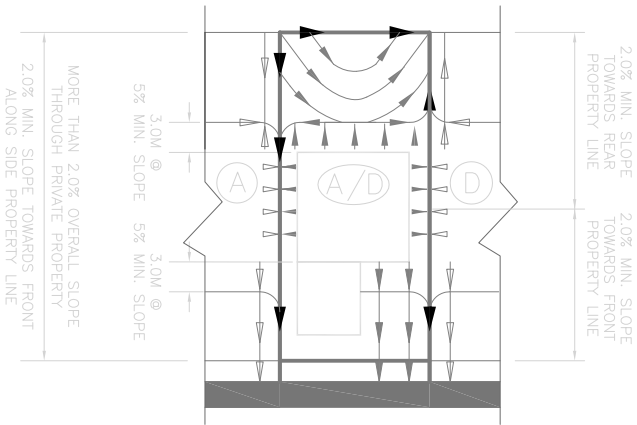
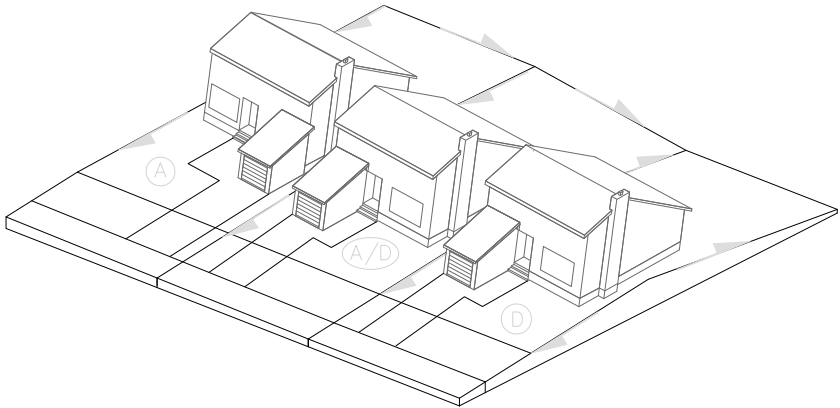
LAST AMENDED
DECEMBER 20, 2023

**City of
Saskatoon**
Planning and Development

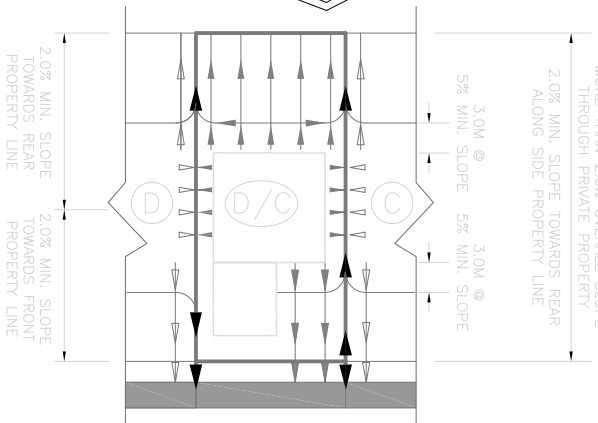
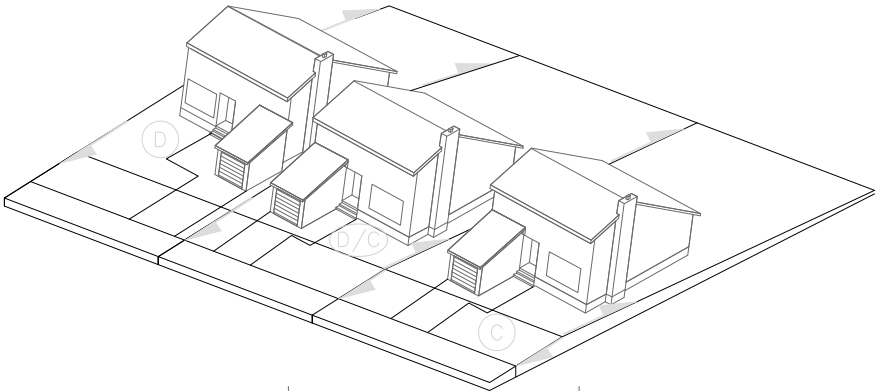
NOTE: The information contained on this map is for reference only and should not be used for legal purposes. All proposed line work is subject to change. This map may not be reproduced without the expressed written consent of the Long Range Planning, Mapping Section.

DRAWING NOT TO BE SCALED
March 6, 2024

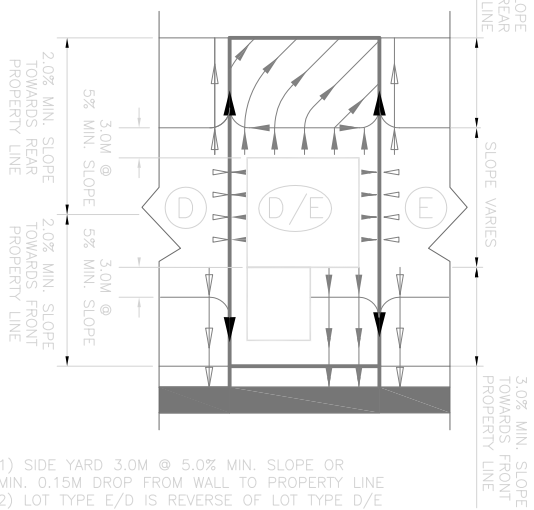
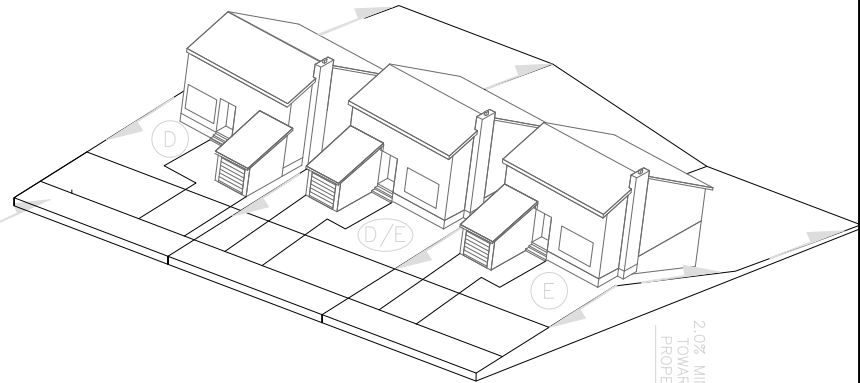
Lot Grading Types



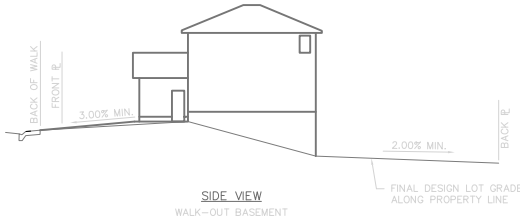
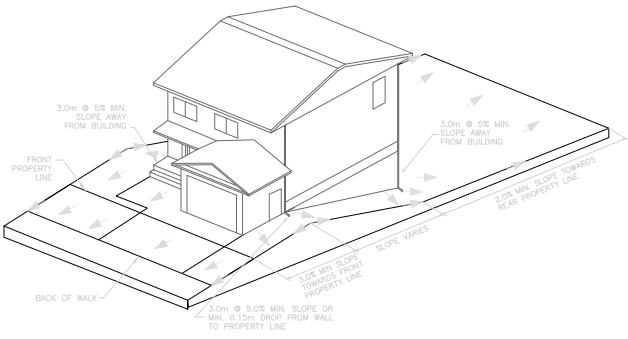
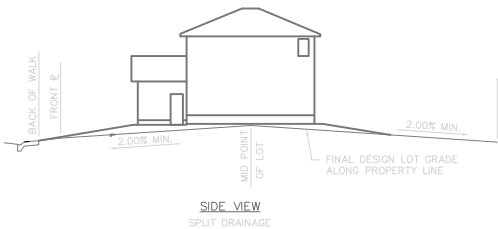
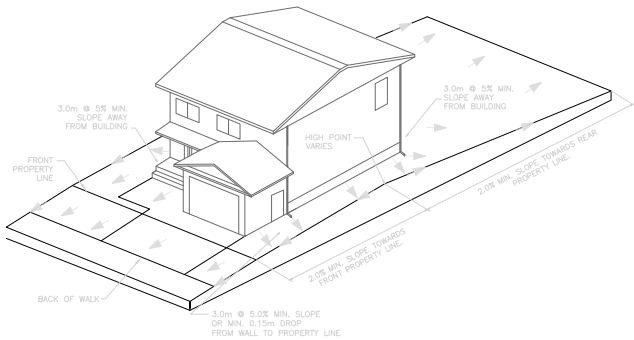
NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE D/A IS REVERSE OF LOT TYPE A/D

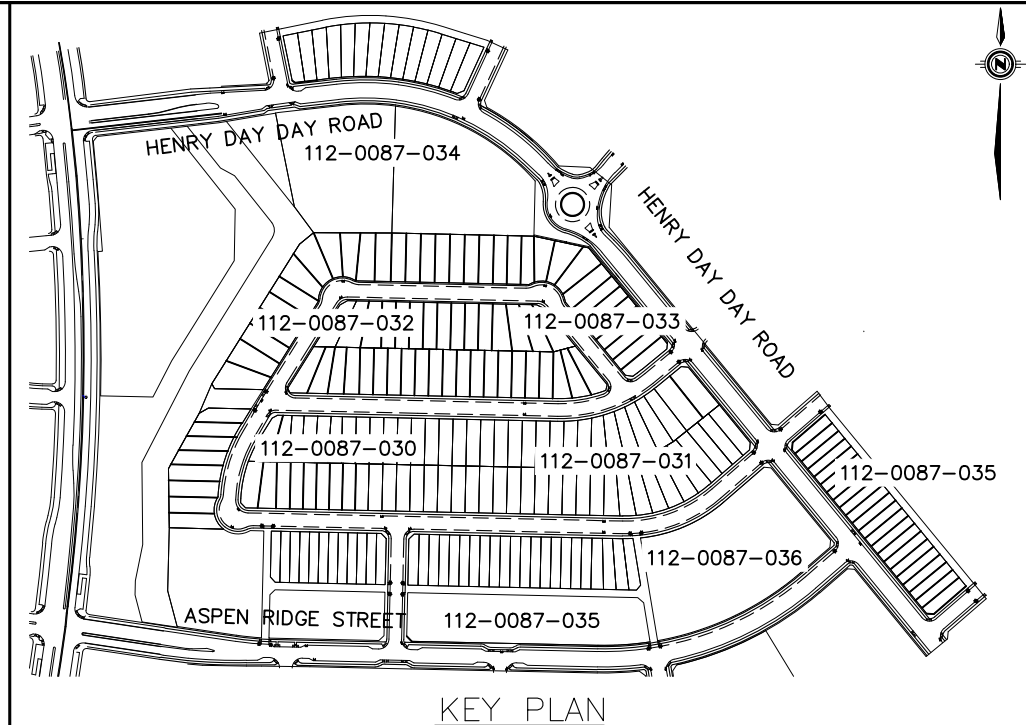


NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE C/D IS REVERSE OF LOT TYPE D/C

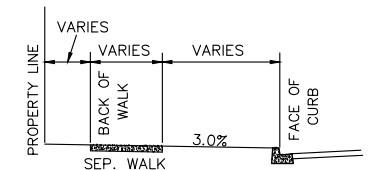


NOTE: 1) SIDE YARD 3.0M @ 5.0% MIN. SLOPE OR MIN. 0.15M DROP FROM WALL TO PROPERTY LINE
2) LOT TYPE E/D IS REVERSE OF LOT TYPE D/E

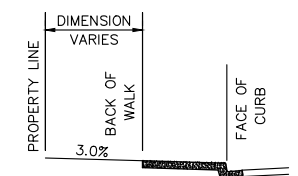




SEPARATE CURB & WALK



COMBINED CURB & WALK



LOT DRAINAGE DETAILS

CURB & WALK LEGEND

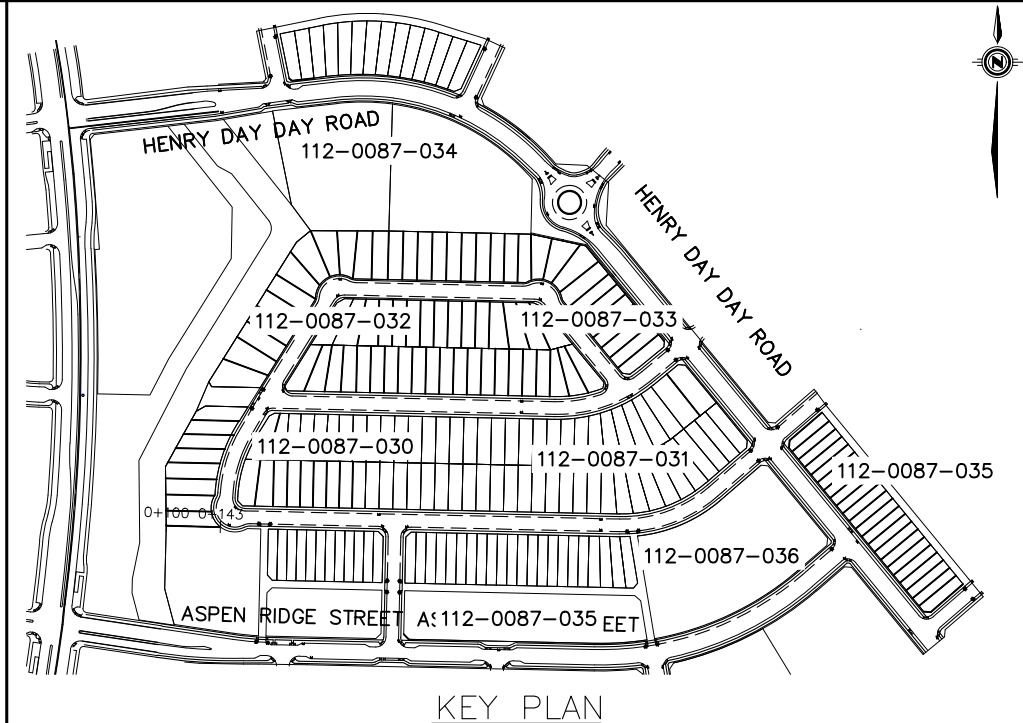
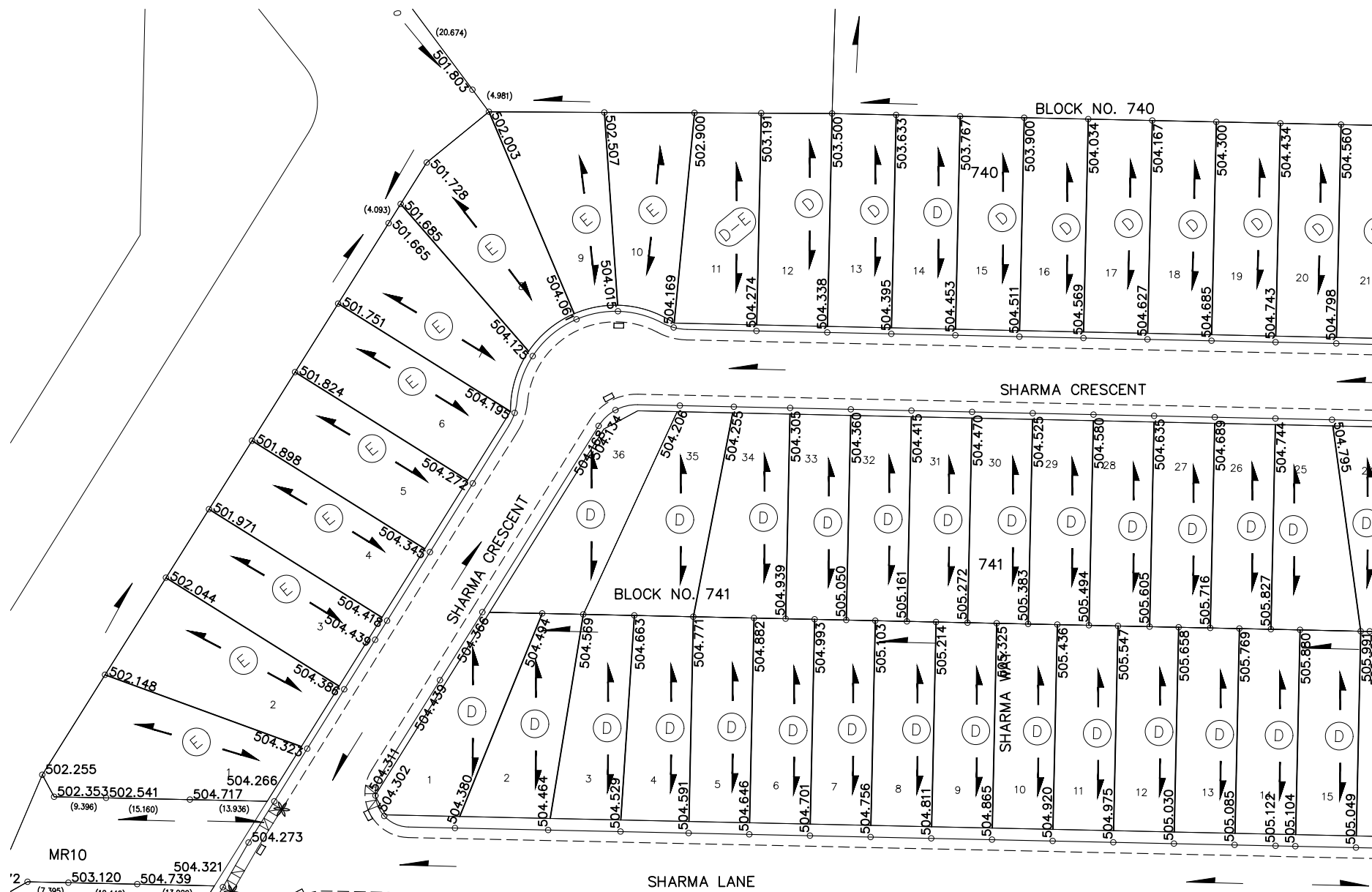
- CONST.**
PROJECT NO. 502-0087-308R001 CW



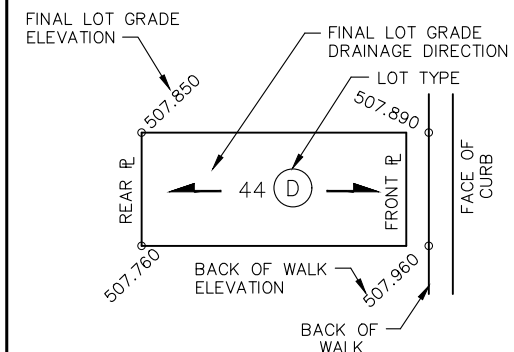
**City of
Saskatoon**
Transportation and Construction Division

LOT GRADES
ASPEN RIDGE STREET, SHARMA CRESCENT,
SHARMA WAY & SHARMA LANE

ENGINEERING MANAGER	
SCALES: HOR. <u>1:1000</u> VERT. <u> </u>	DATE
SHEET NO.	PLAN NO. 112-0087-030r001



LOT DRAINAGE LEGEND



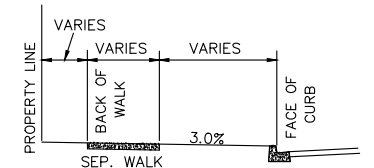
NOTE:

1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

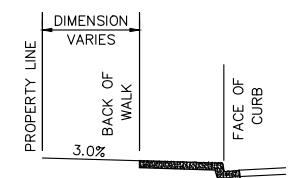
LOT DRAINAGE DETAILS

LOT TYPE 'D' - SEE DRAWING 102-0022-017
LOT TYPE 'E' - SEE DRAWING 102-0022-019

SEPARATE CURB & WALK



COMBINED CURB & WALK

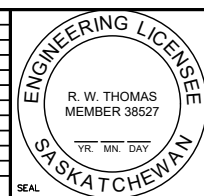


CURB & WALK LEGEND

- ROLLED CURB & WALK
- VERTICAL CURB & WALK
- ROLLED CURB ONLY
- VERTICAL CURB ONLY
- CONCRETE WALKWAY
- 8 EASEMENT POINT NO.
- PROPERTY LINE
- DRAINAGE ARROW
- DRIVEWAY
- PHASE BOUNDARY

CONST.
PROJECT NO. 502-0087-308r001_CWL

PLAN DESCRIPTION/REVISION	DATE	BY	SEAL
1 ISSUED FOR CONSTRUCTION	2023-OCT-13	JVS	



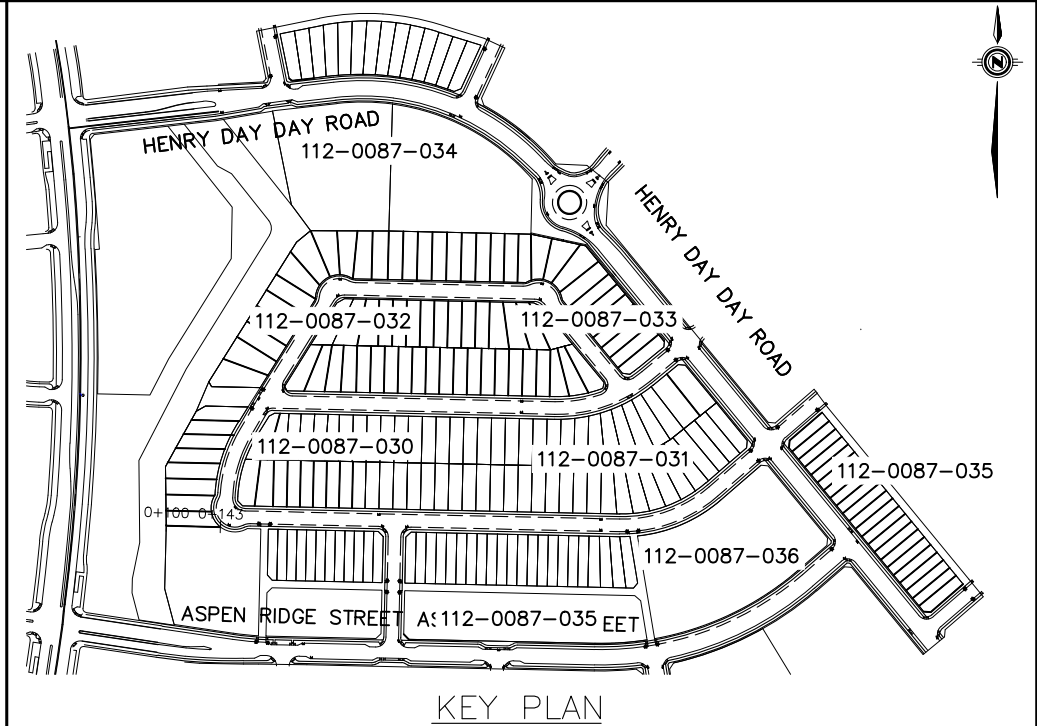
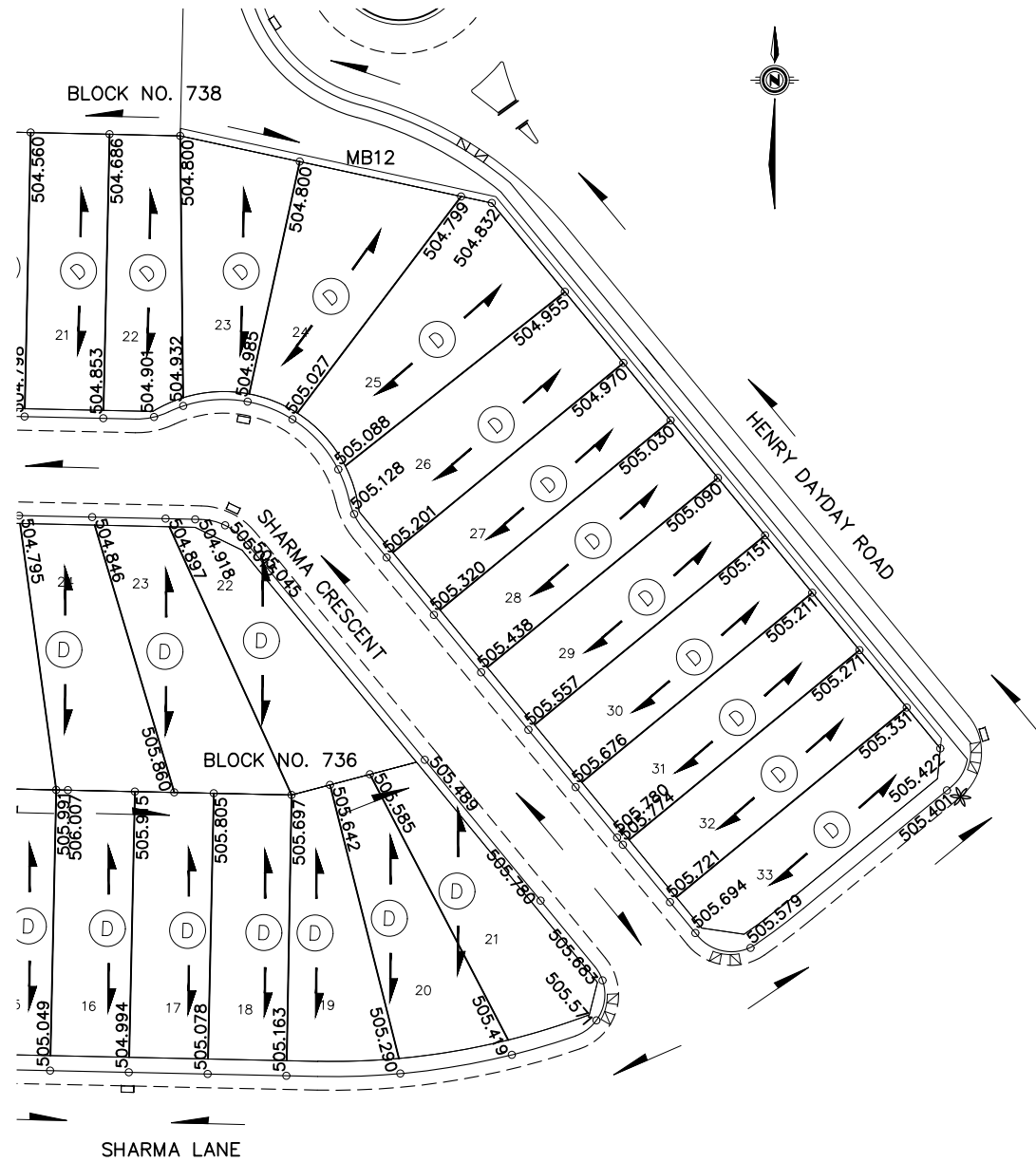
CHECKED BY:	CHECKED BY:
SIGNATURE	SIGNATURE
NAME	NAME
DATE	DATE
DRAWN BY JVS DATE 2023-OCT-13	DWG STDS CHECKED BY DATE



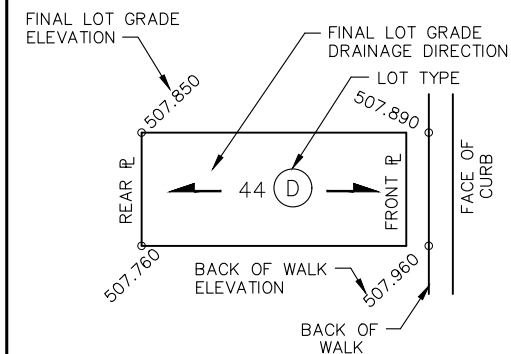
ASPEN RIDGE LOT GRADES - PHASE D1B

LOT GRADES
SHARMA CRESCENT & SHARMA LANE

ENGINEERING MANAGER
SCALES: HOR. 1:1000 VERT. _____ DATE _____
SHEET NO. _____ PLAN NO. 112-0087-032r001



LOT DRAINAGE LEGEND

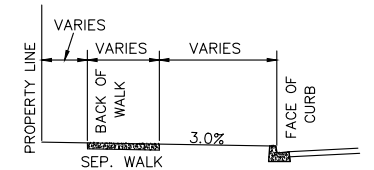


- NOTE:
1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
 2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

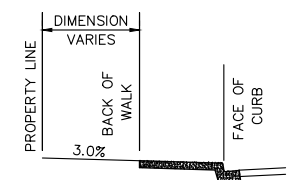
LOT DRAINAGE DETAILS

LOT TYPE 'D' - SEE DRAWING 102-0022-017
LOT TYPE 'E' - SEE DRAWING 102-0022-019

SEPARATE CURB & WALK



COMBINED CURB & WALK

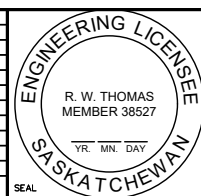


CURB & WALK LEGEND

- ROLLED CURB & WALK
- VERTICAL CURB & WALK
- ROLLED CURB ONLY
- VERTICAL CURB ONLY
- CONCRETE WALKWAY
- EASEMENT POINT NO.
- PROPERTY LINE
- DRAINAGE ARROW
- DRIVEWAY
- PHASE BOUNDARY

CONST.
PROJECT NO. 502-0087-308r001_CWL

PLAN DESCRIPTION/REVISION	DATE	BY
1 ISSUED FOR CONSTRUCTION	2023-OCT-13	JVS



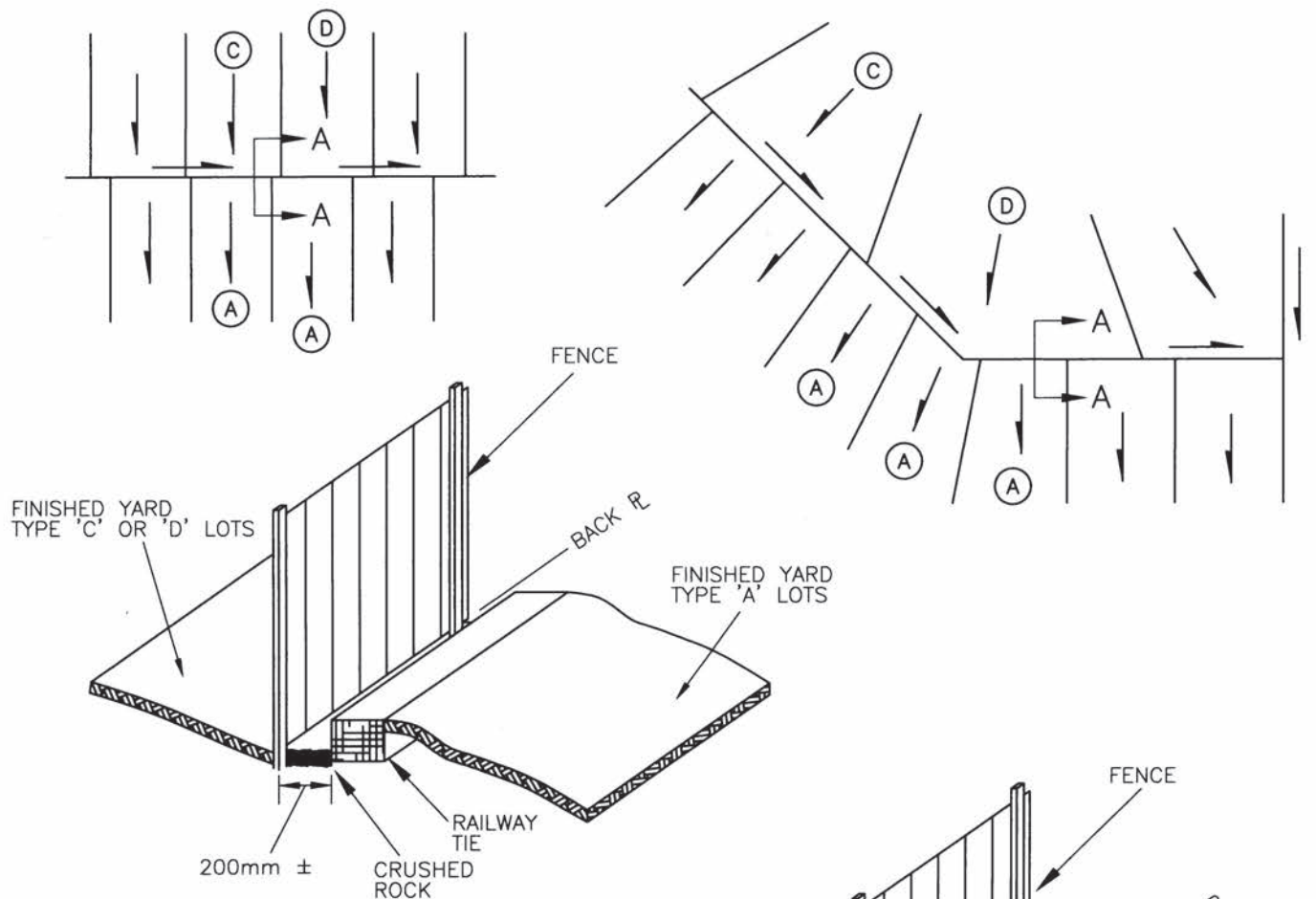
CHECKED BY:	CHECKED BY:
SIGNATURE	SIGNATURE
NAME	NAME
DATE	DATE
DRAWN BY JVS DATE 2023-OCT-13	DWG STDS CHECKED BY DATE



ASPEN RIDGE LOT GRADES - PHASE D1B

LOT GRADES
SHARMA LANE & SHARMA CRESCENT

ENGINEERING MANAGER	
SCALES:	
HOR. 1:1000	
VERT. DATE	
SHEET NO. PLAN NO.	
	112-0087-033r001



SECTION A-A
OPTION 1

SECTION A-A
OPTION 2

THE PURPOSE OF THIS DRAINAGE SWALE IS TO ENSURE THAT DRAINAGE FROM THE BACK OF THE TYPE 'C' AND 'D' LOTS DOES NOT ENTER THE TYPE 'A' LOTS ON THE OTHER SIDE OF THE EASEMENT.

THE UTILITY KIOSKS LOCATED ALONG THE UTILITY EASEMENTS WILL HAVE THE ELEVATION MARKED TO SHOW THE FINAL GRADE AT THE BACK PROPERTY LINE.

THIS WOULD APPLY TO THE BACK OF ALL TYPE 'A' LOTS.

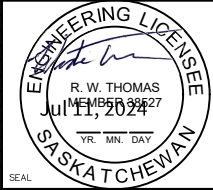
REVISIONS 1 2 3		CITY OF SASKATOON INFRASTRUCTURE SERVICES DEPARTMENT	APPROVED CITY ENGINEER P. ENG. ENGINEER	
DRAWN BY <u>MRH</u> DATE <u>13/06/02</u> CHECKED BY _____ DATE _____			DRAINAGE SWALE BACK OF LOT, 1 OF 2 SCALES : HOR. <u>N.T.S.</u> VERT. <u>N.T.S.</u> PLAN NO. 102-0022-005r001	

D2 AREA GRADING - - -



CONST.

11			
10			
9			
8			
7			
6			
5			
4			
3	ISSUED FOR CONSTRUCTION	2024-MAY-23	EDH
2	ISSUED FOR CONSTRUCTION	2019-MAY-13	STT
1	ISSUED FOR TENDER	2019-FEB-04	EDH
	PLAN DESCRIPTION/REVISION	DATE	BY



CHECKED BY:	CHECKED BY:
<i>Josh Quintal</i>	
Jul 11, 2024	
DATE	DATE
DRAWN BY:	DATE

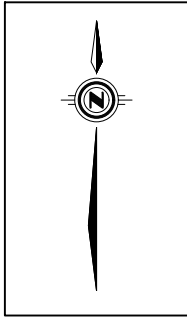


City of Saskatoon
Transportation & Utilities Department

ASPEN RIDGE LAND DEVELOPMENT PHASE D2	
AREA GRADING	
DESIGN CONTOURS	

CHIEF ENGINEER	Jul 11, 2024
DATE	
SCALES:	
HOR. 1:2500	
VERT. 1:2500	
SHEET NO.	PLAN NO.
	113-0087-322r003

PHASE 2
D2 AREA GRADING



THE CONTRACTOR IS RESPONSIBLE
FOR DETERMINING THE LOCATION
AND ELEVATION OF ALL
UNDERGROUND UTILITIES.

LIFT STATION

FOREBAY

HENRY DAYDAY ROAD

MR6

MR7

YUEL CRESCENT

YUEL LINK

YUEL LANE

YUEL CRESCENT

YUEL CRESCENT

YUEL CRESCENT

YUEL BEND

YUEL BEND

11			
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3			
2			
1	ISSUED FOR TENDER	2019-FEB-04	EDH
	PLAN DESCRIPTION/REVISION	DATE	BY

SEAL

CHECKED BY:	CHECKED BY:
_____	_____
DATE	DATE
_____	_____
DRAWN BY	DATE
_____	_____



**City of
Saskatoon**
Transportation & Utilities Department

ASPEN RIDGE LAND DEVELOPMENT PHASE D2

AREA GRADING

DESIGN CONTOURS

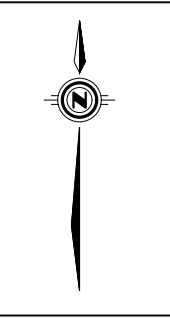
**APPROVED FOR
TENDER**

TRANSPORTATION & UTILITIES
CITY OF SASKATOON

REVISION No. 1
Feb 04, 2019

CHIEF ENGINEER	
SCALES :	DATE
HOR. 1:2500	_____
VERT. 1:2500	_____
SHEET NO.	PLAN NO.
_____	113-0087-322r001

PHASE 2
D2 AREA GRADING



LEGEND:

	-0.25	CUT CONTOUR
	0.25	FILL CONTOUR
	0.0	0.0 CUT/FILL CONTOUR

NOTE:

1. CUT/FILL CONTOURS DERIVED FROM A VOLUMETRIC COMPARISON OF "EXISTING GROUND -250MM" (TOPSOIL) (COS SURVEY APR 2018) vs "PRELIMINARY DESIGN"



THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES.

APPROVED FOR TENDER
TRANSPORTATION & UTILITIES
CITY OF SASKATOON
REVISION No. 1
Feb 04, 2019

11			
10			
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8			
7			
6			
5			
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3			
2			
1	ISSUED FOR TENDER	2019-FEB-04	EDH
	PLAN DESCRIPTION/REVISION	DATE	BY

SEAL

CHECKED BY:	CHECKED BY:
_____ DATE	_____ DATE
DRAWN BY: _____	DATE _____

 **City of Saskatoon**
Transportation & Utilities Department

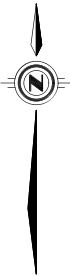
ASPEN RIDGE LAND DEVELOPMENT PHASE D2

AREA GRADING

CUT & FILL CONTOURS

CHIEF ENGINEER _____	
SCALES:	DATE _____
HOR. 1:2500	
VERT. 1:2500	
SHEET NO.	PLAN NO.
	113-0087-323r001

D2 AREA GRADING



LEGEND:

- 0.25

CUT CONTOUR
- 0.25

FILL CONTOUR
- 0.0

0.0 CUT/FILL CONTOUR

NOTE:

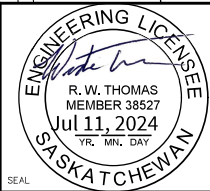
1. CUT/FILL CONTOURS DERIVED FROM A VOLUMETRIC COMPARISON OF "FINAL EMBANKMENT" (COS SURVEY) vs "PRELIMINARY DESIGN"

Cut/Fill Summary						
Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
FINAL Excavation vs 2024 AR D2 DESIGN - Extension_Fix	1.000	1.000	84962.241sq.m	10984.468 Cu. M.	25331.582 Cu. M.	14347.114 Cu. M. <Fill>
Totals			84962.241sq.m	10984.468 Cu. M.	25331.582 Cu. M.	14347.114 Cu. M. <Fill>



CONST.

11			
10			
9			
8			
7			
6			
5			
4			
3	ISSUED FOR CONSTRUCTION	2024-MAY-22	EDH
2	ISSUED FOR CONSTRUCTION	2019-MAY-13	STT
1	ISSUED FOR TENDER	2019-FEB-04	EDH
	PLAN DESCRIPTION/REVISION	DATE	BY



CHECKED BY:	CHECKED BY:
Josh Quintal	
Jul 11, 2024	
DATE	DATE
DRAWN BY:	DATE:



City of
Saskatoon

Transportation & Utilities Department

ASPEN RIDGE LAND DEVELOPMENT PHASE D2

AREA GRADING

CUT & FILL CONTOURS

CHIEF ENGINEER	Jul 11, 2024
SCALES:	
HOR. 1:2500	DATE
VERT.	
SHEET NO.	PLAN NO.
	113-0087-323r003

PLAN OF SURVEY

SHOWING
SURFACE SUBDIVISION

OF PART OF
PARCEL A - PLAN 101478821

WITHIN
N.W.¼ SEC.17-TWP.37-RGE.4-W.3Mer.,

PART OF
N.W.¼ SEC.17-TWP.37-RGE.4-W.3Mer.,

PART OF
PARCEL AA - PLAN 102294716

BETWEEN **N.W.¼ SEC.17 & N.E.¼ SEC.18**

TWP.37-RGE.4-W.3Mer.,

AND PART OF
N.E.¼ SEC.18-TWP.37-RGE.4-W.3Mer.

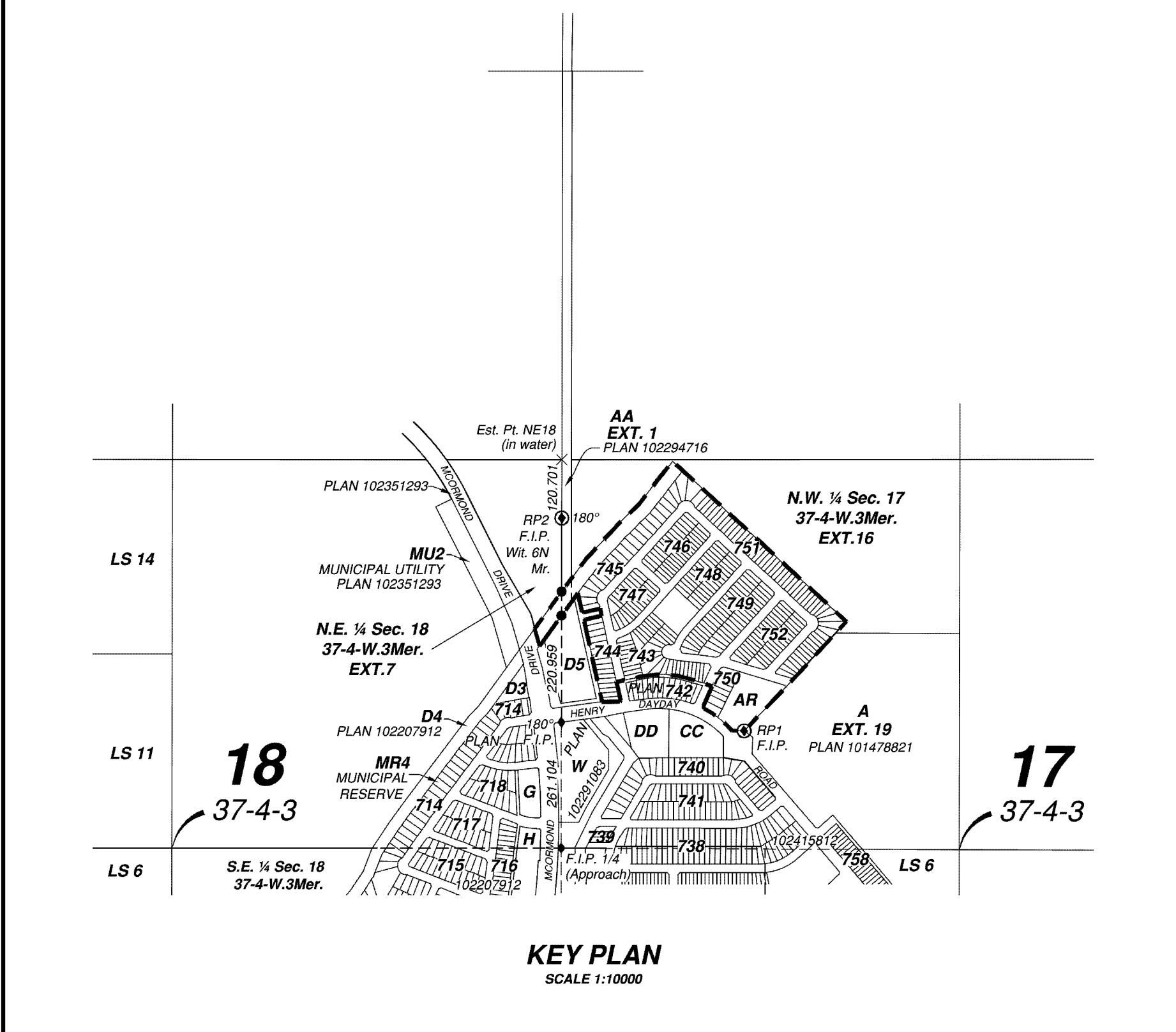
SASKATOON

BY: D.L. CODLING, S.L.S.

DATE: AUGUST 2024 to JULY 2025

SCALE 1:1000

NOTES:
MEASUREMENTS ARE IN METRES AND DECIMALS THEREOF.
MONUMENTS FOUND ARE SHOWN THUS: 
STANDARD IRON PITS PLANTED ARE SHOWN THUS: 
ESTABLISHED POINTS ARE SHOWN THUS: 
REFERENCE POINTS ARE SHOWN THUS: 
ALL LOT CORNERS NOT MARKED BY A STANDARD IRON POST ARE
MARKED BY 0.015 x 0.455 SMALL IRON POSTS.
AREA TO BE APPROVED IS OUTLINED WITH A HEAVY DASHED LINE.
MONUMENTS PLANTED OR RE-ESTABLISHED IN THIS SURVEY ARE
MARKED WITH UNIQUE IDENTIFIER OF SIZE.
ALL PARCELS WITHIN THE LINE OF APPROVAL HAVE AN EXTENSION D.
STANDARD ROAD ALLOWANCES SHOWN ARE 20.117 METRES IN WIDTH.
DATUM USED: NAD83(2011)
PROJECTION USED: UTM ZONE 13N EXTENDED
GEOREFERENCED POINTS DERIVED FROM GNSS OBSERVATION.
RP COORDINATES WERE DERIVED ON AUGUST 1, 2024.



KEY PLAN
SCALE 1:10000

DETAIL 'L' NOT TO SCALE

DETAIL 'M' SCALE 1:500

DETAIL 'N' SCALE 1:500

DETAIL 'O' SCALE 1:500

DETAIL 'P' SCALE 1:500

DETAIL 'Q' SCALE 1:500

DETAIL 'R' SCALE 1:500

DETAIL 'S' SCALE 1:500

DETAIL 'T' SCALE 1:500

DETAIL 'U' SCALE 1:500

DETAIL 'V' SCALE 1:500

DETAIL 'W' SCALE 1:500

DETAIL 'X' SCALE 1:500

DETAIL 'Y' SCALE 1:500

DETAIL 'Z' SCALE 1:500

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DETAIL 'BN' SCALE 1:500

DETAIL 'BO' SCALE 1:500

DETAIL 'BP' SCALE 1:500

DETAIL 'BQ' SCALE 1:500

DETAIL 'BR' SCALE 1:500

DETAIL 'BS' SCALE 1:500

DETAIL 'BT' SCALE 1:500

DETAIL 'BU' SCALE 1:500

DETAIL 'BV' SCALE 1:500

DETAIL 'BW' SCALE 1:500

DETAIL 'BX' SCALE 1:500

DETAIL 'BY' SCALE 1:500

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DETAIL 'CB' SCALE 1:500

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DETAIL 'HZ' SCALE 1:500

DETAIL 'IA' SCALE 1:500

DETAIL 'IB' SCALE 1:500

N.E.¼SEC.18-37-4-W3Mer.
5 ha ±

AA
2 ha ±

PLAN 102294716

D5
PLAN 102294716

N.W.¼SEC.17-37-4-W3Mer.
17 ha ±

PLAN OF PROPOSED SUBDIVISION

OF PART OF
PARCEL A - PLAN 101478821
N.W.¼ SEC.17-TWP.37-RGE.4-W.3Mer.,
PART OF
N.W.¼ SEC.17-TWP.37-RGE.4-W.3Mer.,
PART OF
N.E.¼ SEC.18-TWP.37-RGE.4-W.3Mer.,
AND PART OF
PARCEL AA - PLAN 102294716
N.W.¼ SEC.17-TWP.37-RGE.4-W.3Mer.
SASKATOON, SK

SCALE 1:1000

NOTES

PRELIMINARY SURVEY DONE ON AUGUST 1, 2024.
PORTION TO BE SURVEYED IS OUTLINED IN A HEAVY DASHED LINE, AND CONTAINS
17.60 ha. (43.49 acres).
MEASUREMENTS ARE IN METRES AND DECIMALS THEREOF.
DISTANCES ARE APPROXIMATE AND MAY VARY BY ± 1 METRES.
STANDARD ROAD ALLOWANCE SHOWN ARE 20.117m IN WIDTH.
SOURCE PARCEL NUMBERS ARE 204068827, 204068917, 203857386, & 203746158.
SOURCE PARCEL AREAS ARE DERIVED FROM ISC PARCEL MAPPING.
EXISTING EASEMENTS ARE SHADED GRAY.
PROPOSED 6Mx6M JOINT USE EASEMENT FOR SASKPOWER,
SASKTEL, AND ROGERS COMMUNICATIONS
PROPOSED 3M JOINT USE EASEMENT FOR SASKPOWER,
SASKENERGY, SASKTEL, AND ROGERS COMMUNICATIONS
PROPOSED 3M EASEMENTS FOR SASKPOWER,
SASKTEL, AND ROGERS COMMUNICATIONS
PROPOSED 3M EASEMENTS FOR SASKENERGY
PROPOSED 2.5M EASEMENTS FOR SASKENERGY
PROPOSED 12M EASEMENT FOR CITY OF SASKATOON
PROPOSED CENTRALIZED COMMUNITY MAILBOX LOCATIONS ARE SHOWN THUS: [Symbol]

EXAMINED: CITY OF SASKATOON

Approved under the Provisions of Bylaw No. 6537 of the City of Saskatoon

General Manager of the Community Services Department

Date: _____, A.D. 2024

CITY OF SASKATOON (Representative)

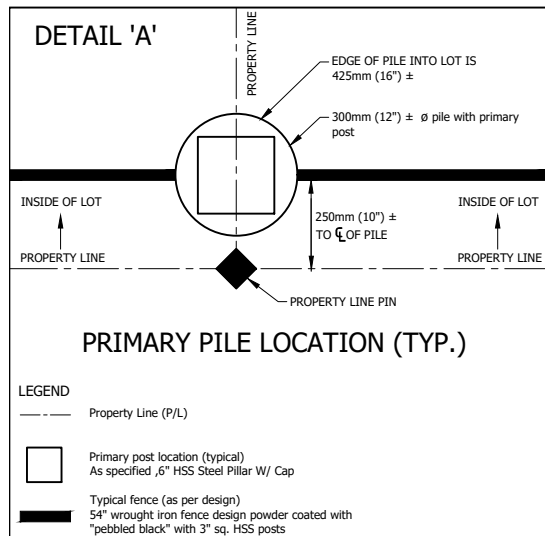
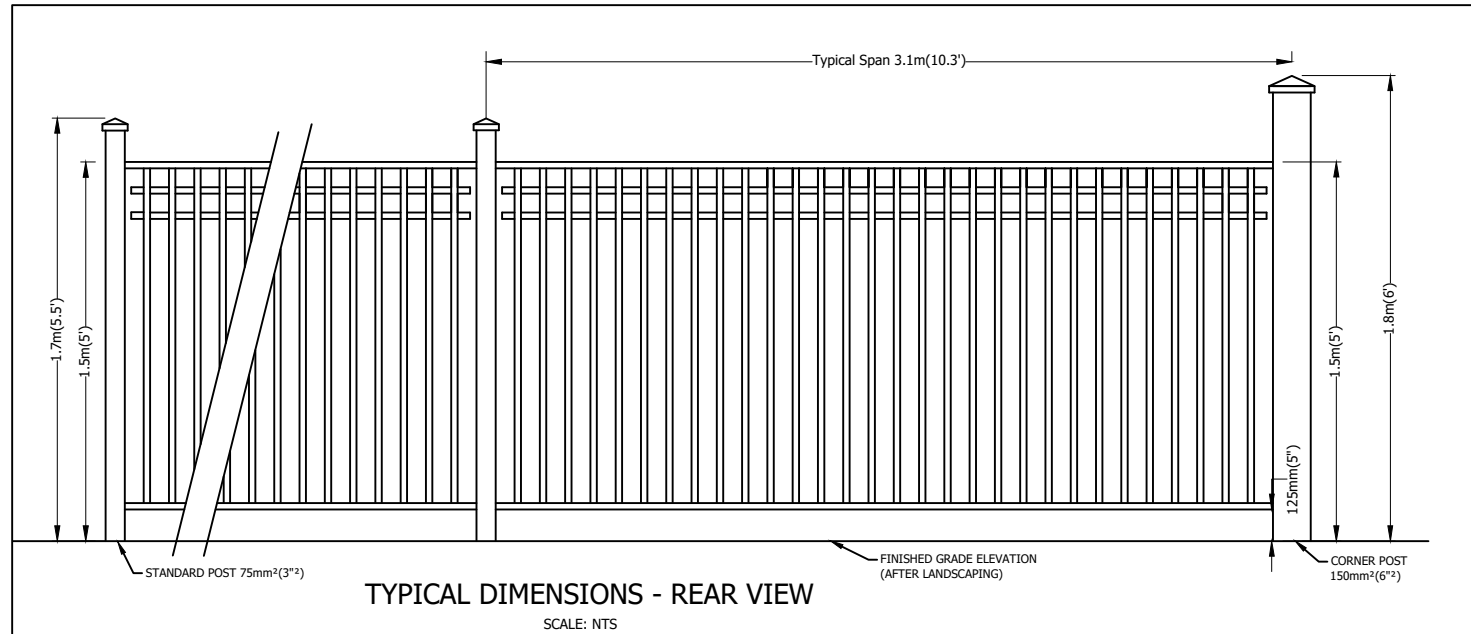
Approval: Owner **PARCEL A - PLAN 101478821**
N.W.¼ SEC.17-TWP.37-RGE.4-W.3Mer.
N.E.¼ SEC.18-TWP.37-RGE.4-W.3Mer.
PARCEL AA - PLAN 102294716

No.	REVISIONS	DATE	DR	CH
9	Adjusted Lots in Blocks 746, 747 & 751	April 24, 2025	mlk	dc
8	Adjusted Mailbox Locations	February 4, 2025	mlk	dc
7	Adjusted Water and Sewer Easement	January 30, 2025	mlk	dc
6	Adjusted Proposed Easements	November 26, 2024	mlk	dc
5	Added Proposed Easements and Mailboxes	November 1, 2024	mlk	dc
4	Adjusted Lots in Blocks 744 & 746	September 23, 2024	mlk	dc
3	Adjusted Lots in Blocks 744, 747 & 749	September 11, 2024	mlk	dc
2	Adjusted Lots in Blocks 743, 744, 747 & 750	September 10, 2024	mlk	dc
1	Added Parcel D11, AA, and Block 750	September 4, 2024	mlk	gar
0	Preliminary Plan	August 28, 2024	mlk	gar
FILE: SA242936		DWG: SA242936PPS-R9		



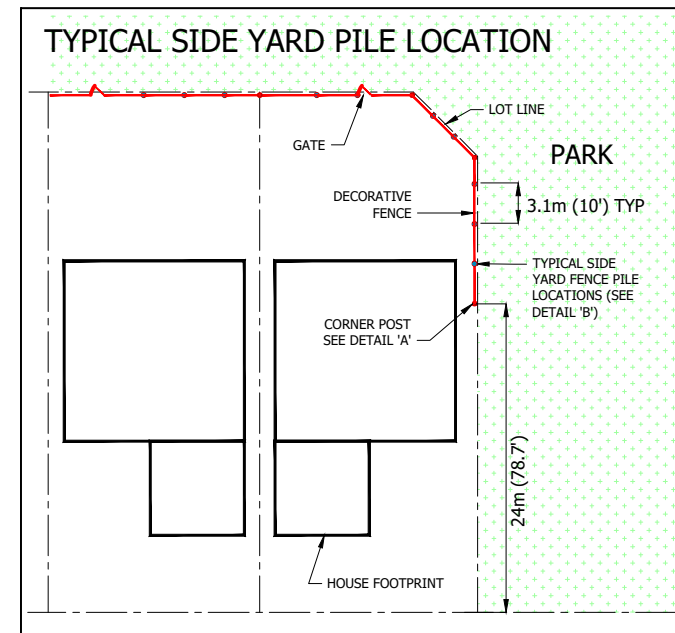
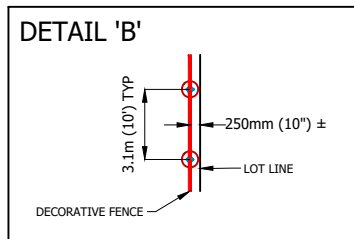
Daniel L. Codling
Saskatchewan Land Surveyor

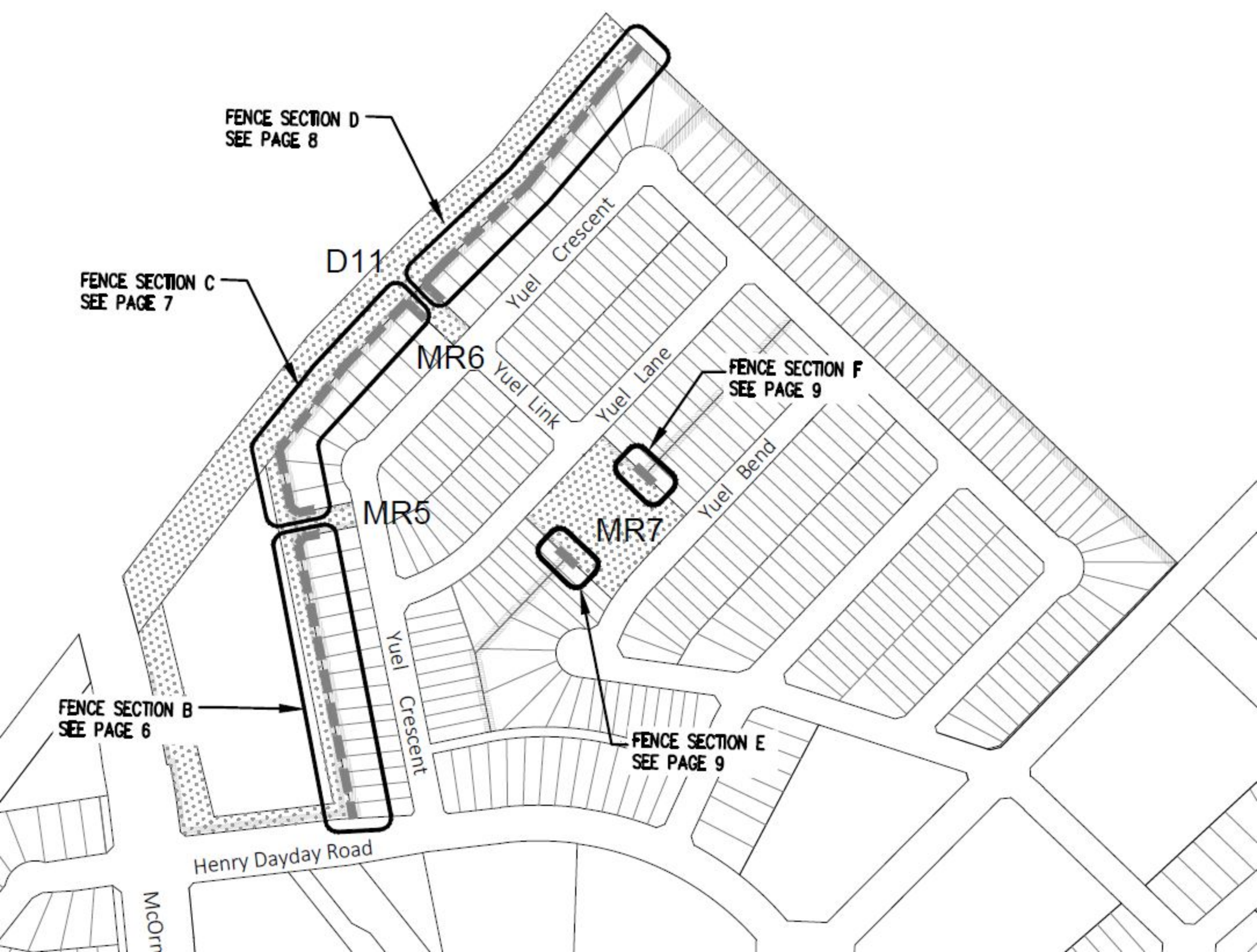
Aspen Ridge No Gate Decorative Fence Details



NOTES:

- DO NOT DISTURB fence piles during basement excavation
- Centerline of fence is APPROXIMATELY 250mm (10") ± inside of lot. THE ACTUAL DISTANCE MAY VARY
- SIDEYARD FENCE SITUATION: Please determine exact location of fence prior to finalizing house width





FENCE SECTION D
SEE PAGE 8

FENCE SECTION C
SEE PAGE 7

D11

MR6

FENCE SECTION F
SEE PAGE 9

MR5

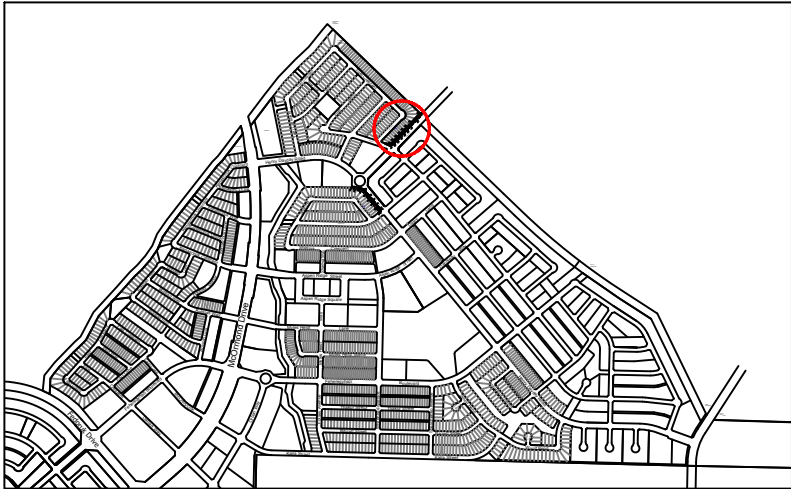
MR7

FENCE SECTION B
SEE PAGE 6

FENCE SECTION E
SEE PAGE 9

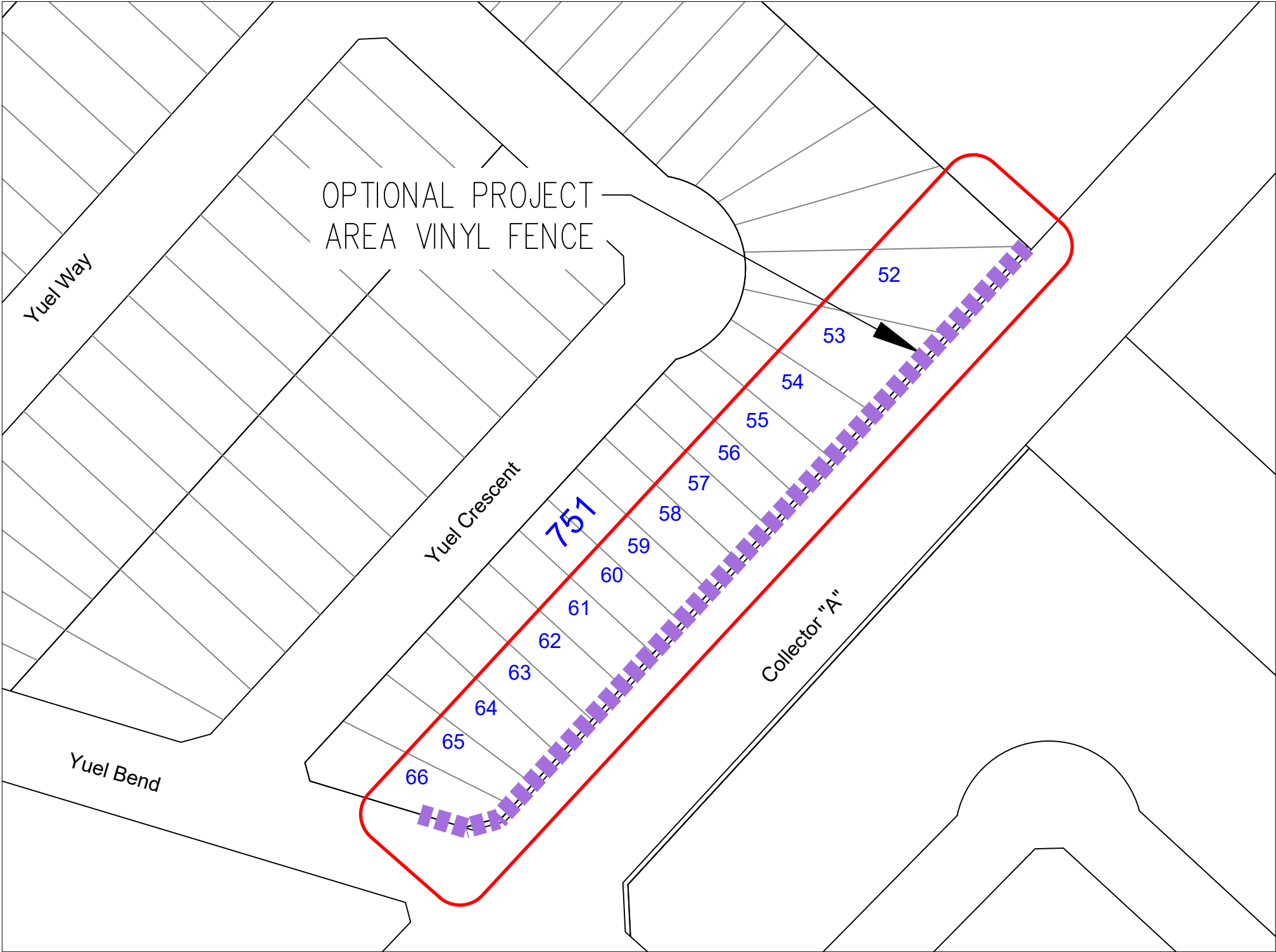
Henry Dayday Road

McOm



ASPEN RIDGE LOCATION MAP
SCALE: NTS

OPTIONAL
WORK



YUEL FENCE SITE PLAN
SCALE: 1:1000

LEGEND:

PROPOSED FENCE (400M INSIDE PROPERTY LINE)

PROJECT AREA

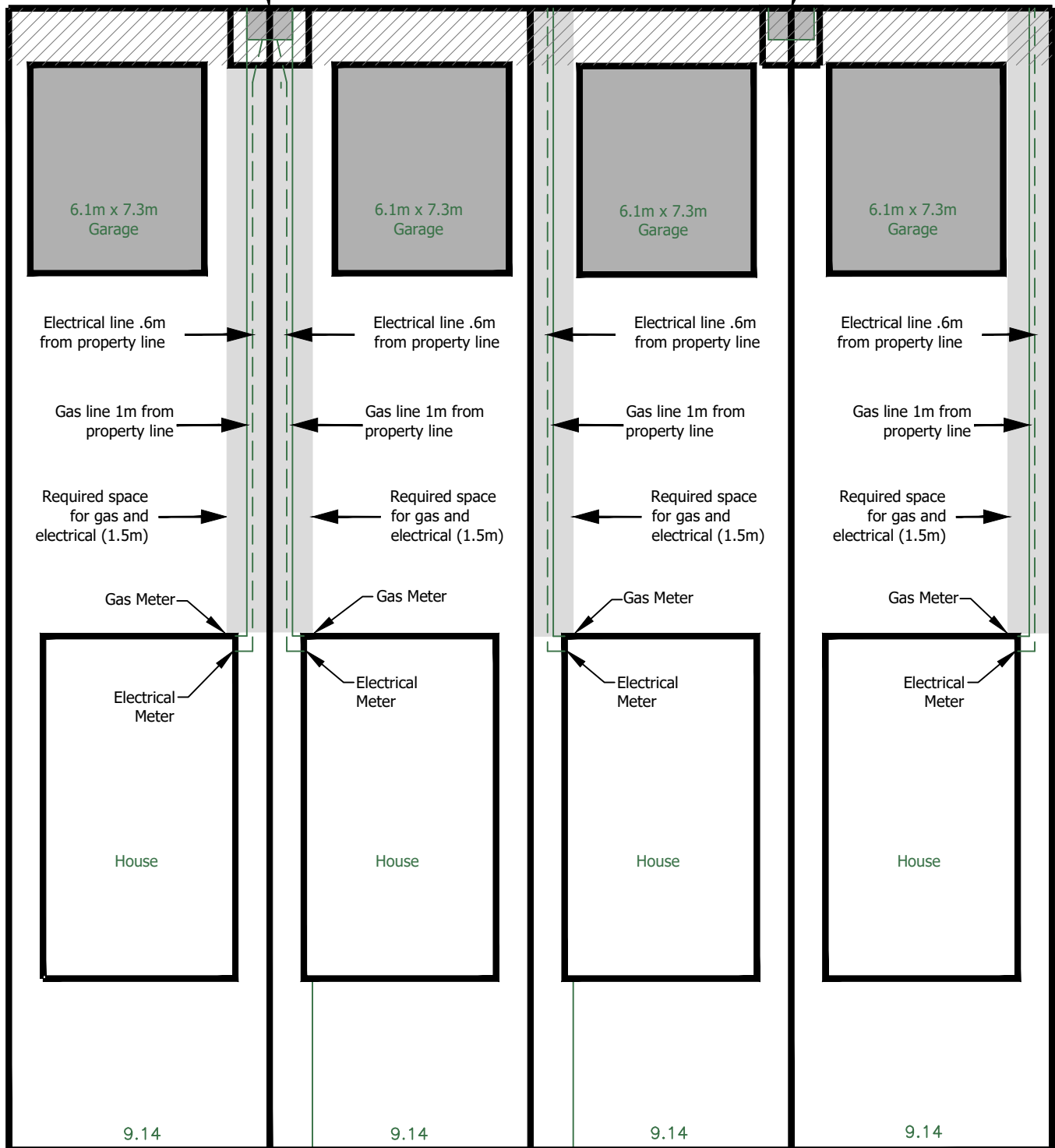
LOT AND BLOCK NUMBER

Note: The information contained on this map is for illustrative purposes only and should not be used for legal purposes. All the information was compiled from available sources and the line work is subject to change without notice.

Electrical Pedestal
SaskPower Easement Each Lot
1.375m x 2m

6 metre wide rear lane (paved)

Transformer (approx. one
perblock) SaskPower Easement
Each Lot 1m x 2m



LEGEND



2m EASEMENT

Street Right-of-Way

Servicing From Lane SaskPower and SaskEnergy Underground Lines

Notes:

- This drawing is intended as a guide only. For more accurate information please contact the respective utilities and the City of Saskatoon Building Standards Branch.
- For the purpose of this illustration, each lot is shown as 9.14m wide and 40m deep.
- A garage, or other accessory building may not be built over the gas line or electrical service.
- The Land Branch takes no responsibility regarding the legality of the building layout on your lot.

Joint Servicing Initiative

January 2015



■ Background of the Joint Servicing Initiative

To support the thriving economy currently being experienced in Saskatchewan; SaskEnergy, SaskPower and SaskTel are working on refining and broadening the process of a “joint service installation” approach for urban residential home builders.

This process will provide a timely, cost-effective and coordinated service to home builders that includes the installation of gas, electric and communications in a common trench from the main line to the dwelling. This collaborative approach will achieve efficiencies for the installation of the urban service lines and address challenges associated with space constraints for new lots.



■ What You Need to Know About Joint Trench Lots

Joint Trench Lots are for shallow utility services in urban residential areas (single family homes) where the electric, gas, and communication lines are all installed in a common trench. Currently joint trench installation is only being done in Regina, Saskatoon, Warman, Martensville and Dalmeny.

If you have purchased a lot in any of these locations, a contract crew will be installing all shallow utilities in one trench from the main line at the back of the lot to the dwelling.

To prepare for the installation of your shallow utilities please refer to the Site Check Readiness list on the following page.



Index:

- Background
- Joint trench lots
- Site Check Readiness
- Procedures for applying for services

Site Check Readiness

To ensure installation of your service is completed when scheduled, your site must be ready for the crew on the date you indicate on the application (site ready date). Along with your application, please submit a plot plan for the address or addresses you are applying for.

Site readiness includes the following:

1. Provide a plot plan that indicates the location of the residence within the property.
2. House number must be visible from the street.
3. In order to secure the natural gas bracket, a 24" x 10" pressure treated board must be in place that does not contravene any natural gas codes.
4. You must maintain a .9 metre (3 ft) clearance around the natural gas service regulator with any exhaust vents, opening windows or doors. Please refer to your mechanical contractor for appropriate codes of other intake clearances.
5. The area around the house is backfilled and the lot is to within 150 mm (6") of finished grade. To ensure proper installation routing, customers are asked to ensure that property pins are in place and marked for easy locating by our field staff.
6. Utility access within the site must meet the following requirements:
 - i) Access is required for equipment to get into the yard(s) where the work needs to occur (trencher, mini hoe, etc.), clear of buildings, fences, decks, etc.
 - ii) A clear path is maintained for the trench route from the metering points to the takeoff points. The width needs to be enough to operate small trenchers and mini hoes at a minimum in ideal soil conditions, and larger equipment when frozen or rocky conditions exist. The trench is to be at least 0.6 metres (2 ft) off of the parallel property line (for fencing) and at least 0.6 metres (2 ft) wide to ensure separation of facilities in the trench. Further width is often required at surface to slope trench during installation for safe trenching rules. This will require approximately 2 metres (6.5 ft) clear access along the property line to the meter (electric and gas) boards to allow for construction of the facilities.
 - iii) Be aware that any pads or foundations near this route may slump with settling of the trench.
7. The trench is from the pedestal or pole to the meter location(s) (typically the closest corner from the pedestal or pole to the house). This service route must be clear of debris or obstructions, such as dirt piles and lumber.
 - i) SaskEnergy and SaskPower reserve the right to determine the meter location due to physical impediments that may restrict access for personnel and equipment. Alternate meter locations must be pre-approved prior to construction.
8. If separate trenches are utilized, the natural gas trench (SaskEnergy) must be at least 1 metre (3 ft) in distance from the SaskPower trench.
9. In instances where both gas, electric and communication cables are installed in the same trench (currently only in Regina, Saskatoon, Warman, Martensville and Dalmeny), you must leave a 1.2 metre (4 ft) corridor adjacent to the property line for utilities. If the minimum of 1.2 metres is not maintained, an encroachment over the gas service may occur and you will be responsible for reparation and subsequent cost.
10. Your electrician has attached an energization sticker on the meter socket indicating the service is ready for connection. The sticker ensures:
 - i) An electrical permit has been obtained
 - ii) The main panel is connected and in the open (off) position
 - iii) The service is grounded and ready to be connected to SaskPower's electrical system
11. To facilitate your service connection, please notify SaskPower once your electrician has affixed the energization sticker.



Urban Applications for Services

SaskEnergy and SaskPower have been working on a process to streamline our customers application experience. Beginning February 17, 2015, you will be able to make application for gas and electric urban services by utilizing either one of the Crowns' websites. The information will be shared between the two Crowns using a secure file transfer protocol.

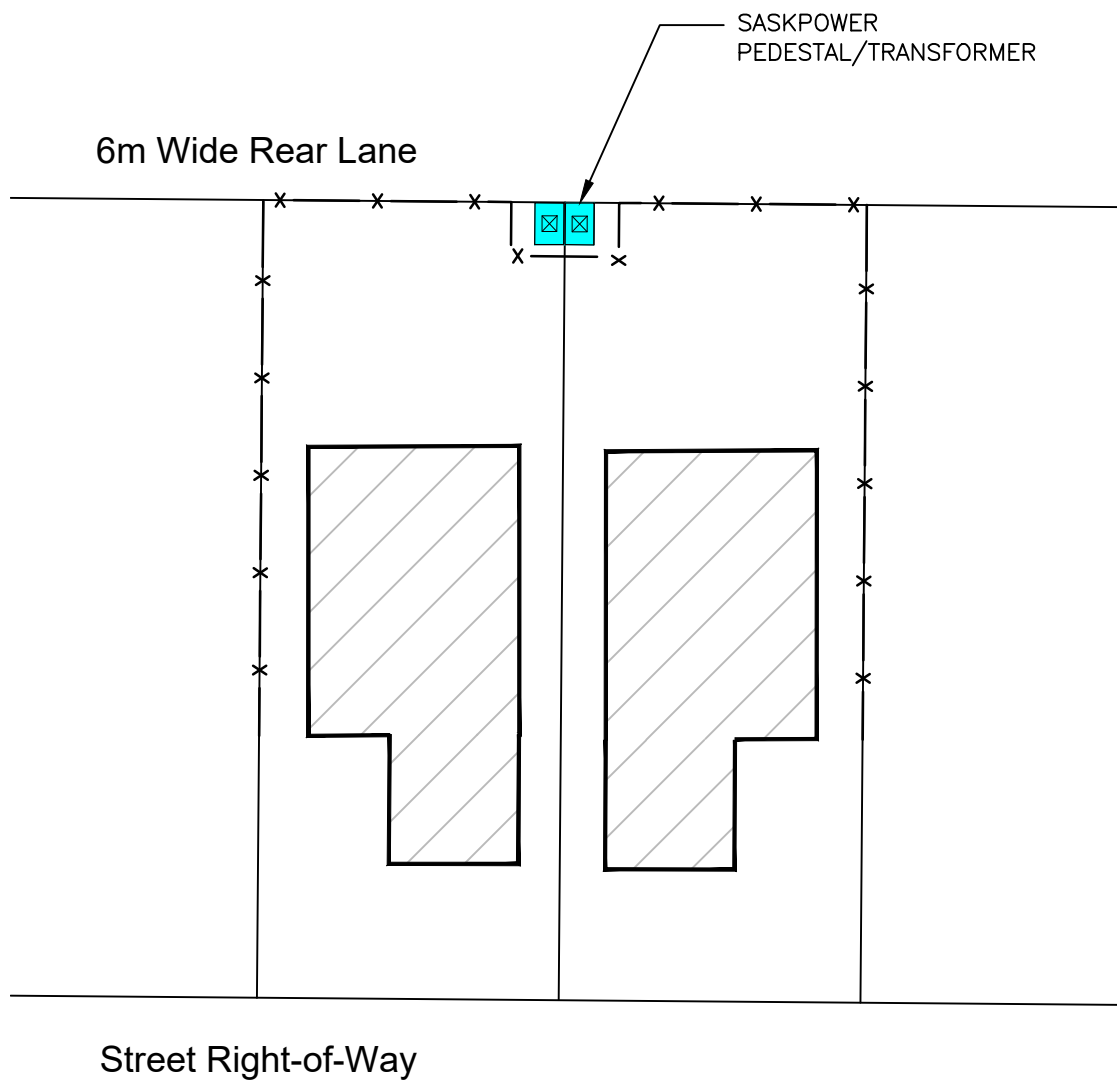
We encourage you to make application via SaskPower's website rather than SaskEnergy's. This will enable the Crowns to eliminate some manual processes that would otherwise occur when applying via SaskEnergy's website.

When you know the date that your property will be ready for servicing, you can make application to either SaskEnergy or SaskPower by the following methods:

- If you use SaskEnergy's application, please apply online at saskenergy.com
- If you use SaskPowers application, please apply online to saskpower.com or call 1-888-SKPOWER (1-888-757-6937) and select Option 4.
- For your telephone and cable providers (SaskTel, Shaw or Access) the conduit will be installed in the joint trench along with SaskPower and SaskEnergy. It is the responsibility of the homeowner to apply for telephone and cable service to one of these providers.

Even though Joint Installation is only being offered in Saskatoon, Regina, Warman, Martensville, and Dalmeny all urban applications for service will be shared between the crowns.





LEGEND

— x — FENCE LOCATION – UTILITY PEDESTALS AND TRANSFORMERS MUST BE ACCESSIBLE FROM REAR LANE AND BE LOCATED OUTSIDE FENCE AS SHOWN

Servicing From Lane
SaskPower and SaskEnergy
Underground Lines

Notes:

- This drawing is intended as a guide only. For more accurate information please contact the respective utilities and the City of Saskatoon Building Standards Branch.
- A garage, or other accessory building may not be built over the gas line or electrical service.
- The Saskatoon Land takes no responsibility regarding the legality of the building layout on your lot.

Water and Sewer Connection Requirements

Please refer to the Design and Development Standards Manual, Section 7, Part 3

This manual can be found on the City of Saskatoon website (www.saskatoon.ca)

- Click on Business & Development along the top
- Under Development Regulation - Click on Specifications and Standards
- Click on Design & Development Standards Manual

If the dwelling needs to be less than 1.5 meters from the property line and the entire frontage of dwelling is garage, there are a few alternatives that could be done on future installations to meet City Specification and Standards for similar buildings/situations:

- A water and sewer connection can be installed less than 1.5 meters from the side property line if both adjacent lot owners agree to registering an easement on the adjoining property.
- The water and sewer connection could be installed under the garage, given that the following is met:
 - For the sewer connection the licensed water and sewer contractor installs the sewer up to the front of the garage only, and the sewer connection under the garage is installed by a licensed plumbing contractor to meet plumbing code requirements. As part of the sewer plumbing installation, the piping materials, connections, cleanouts, and air testing need to meet the plumbing code.
 - The water connection can be installed by the licensed water and sewer contractor under the garage up to the foundation, or the licensed water and sewer contractor can stop installing the water connection at the garage front where they stopped installing the sewer and leave enough polyethylene pipe for the plumbing contractor to complete the water installation at the same time as the sewer connection installation under the garage.

The main reason for the 1.5 meter side yard requirement is for future maintenance. When connections require maintenance or replacement in the future there needs to be enough room for the excavation without effecting the adjacent property, unless an easement on that adjoining property is in place.

Meewasin Northeast Swale

The Meewasin Northeast Swale is an ancient river channel formed by glacial activity that took place thousands of years ago. This remarkable feature runs adjacent to the South Saskatchewan River and is approximately 2800 hectares in size. The Swale is a grassland ecosystem of rare native prairie and wetland areas. It is an important wildlife corridor, with over 200 plant species and 180 bird species.

The Swale acts as a natural filter for both air and water and mitigates flooding in adjacent neighbourhoods. It promotes physical health and well-being, encourages community engagement and stewardship, and contributes to the vitality and productivity of the community.

The development of The Swale is a once-in-a-lifetime opportunity to enhance the legacy of our region by integrating this important natural system into the fabric of our city.

To help protect the Meewasin Northeast Swale (Swale), here are some important things to remember:

- **The Swale is a nocturnal preserve** - Light from adjacent neighbourhoods affects wildlife and plants in the Swale by altering their daily cycle of light and dark. Aspen Ridge neighbours can help keep the night sky dark by using Dark Sky Compliant lighting; such as downward facing outdoor lighting with cutoffs, no brighter than necessary, on a motion sensor, and turned off when not in use. Visit www.darksky.org for more information about Light Pollution and the Dark Skies Movement.
- **The Swale is home to abundant wildlife** - Many grassland birds, birds of prey (e.g. owls and hawks), waterfowl, deer, coyotes, frogs, snakes, badgers, ground squirrels, and a variety of other fascinating creatures live in the Swale. Please respect the wildlife and allow them a safe distance. Feeding wildlife can lead to dependence on handouts and nuisance animals. Keep garbage and compost in animal proof containers to discourage wildlife and neighbourhood pets.
- **The Swale is native prairie with many rare and unique plants** - Native prairie is highly susceptible to invasion from exotic plants that will outcompete for space and resources. Please consider planting native and non-invasive plants in your yard. Planting seed and fruit bearing shrubs can help to provide food and shelter for birds in your yard. See the Native Plant Society's document "Native Plant Material and Services Supplier List" for recommendations of sources for native plant please visit: http://www.npss.sk.ca/docs/2_pdf/Native_Plant_Source_List_2013_-_revised.pdf.
- **Chemicals have an impact on Swale flora and fauna** - Please consider the use of fertilizer, herbicides or pesticides cautiously and use environmentally friendly alternatives, when possible, to reduce impacts on the native vegetation, wildlife, and wetlands.
- **For Swale management, call Meewasin** - The native vegetation may look wild and unkempt at times, but even dead trees provide food and shelter for wildlife so please resist conducting any maintenance activities of your own in the Swale or Greenway. Contact Meewasin with any safety concerns regarding vegetation as they regularly conduct resource management activities on site to help keep the Swale healthy and rich with biodiversity.
- **Trails are designed to protect sensitive areas** - Please use only marked trails. These trails have been carefully planned to respect wildlife and sensitive areas. Avoid damaging vegetation and please do not pick wildflowers. Dogs must be on leash in the Recreation Zone and picked up after. There are no dogs allowed in the Ecological Core. Please help protect the rare and endangered species in the Swale.

Figure A-4. Conceptual Design

Meewasin Northeast Swale Master Plan
July 28, 2015

Contour interval: 0.5 m

Scale: 1:7500

0 50 100 200 300m

2013 Aerial Imagery Courtesy of City of Saskatoon

Meewasin

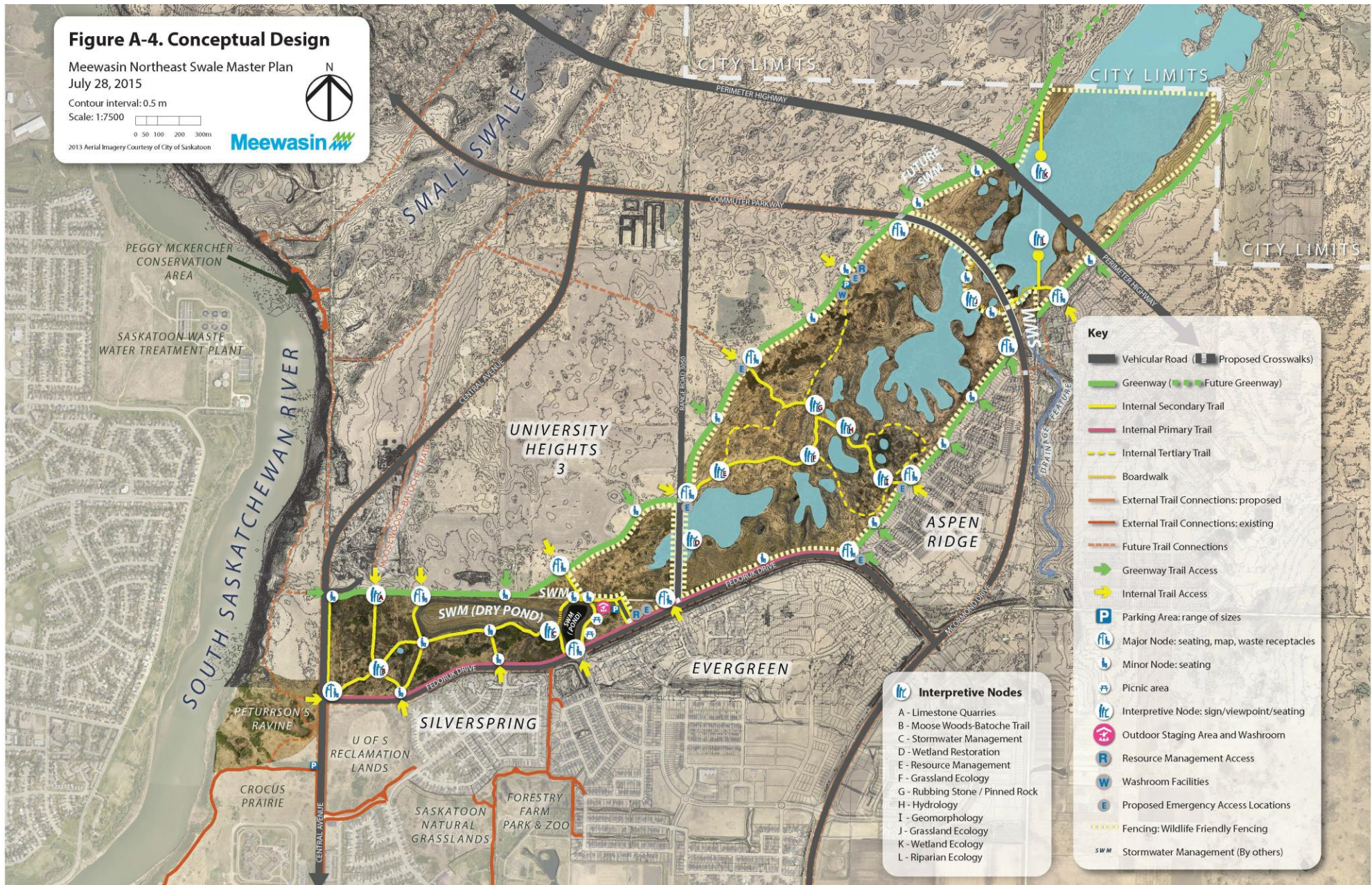
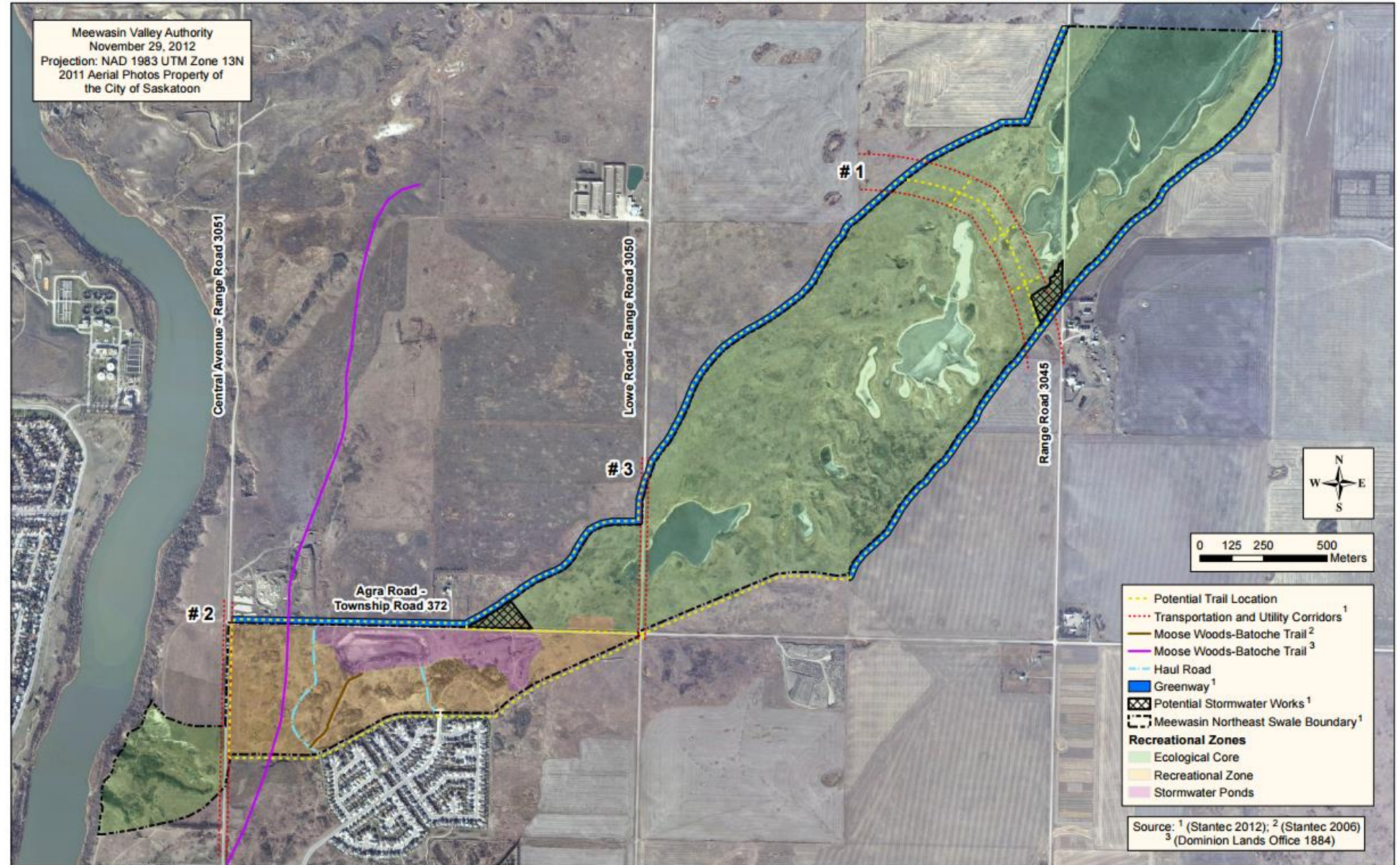


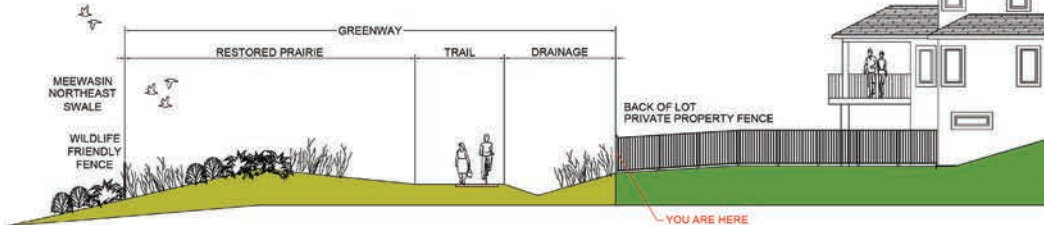
Figure A-8. Guidelines for Development of the Meewasin Northeast Swale (from the *Northeast Swale Resource Management Plan*, 2013)





Naturalized Area

The Greenway is a corridor that provides a transition between Aspen Ridge and the grasslands and wetlands of the Meewasin Northeast Swale. The Greenway consists of a drainage channel, multi-use trail, and restored prairie.



What you can do to help.

The Greenway will take a number of years to develop into a mature and stable naturalized ecosystem. On your property, we encourage you to:

- reduce the amount of sod, fertilizer, chemicals, and irrigation used
- remove invasive weeds before going to seed to reduce their potential spread
- plant your yard with native prairie wildflowers, shrubs and grasses
- do not mow or maintain the open space beyond your property
- respect the night sky – use full cutoff exterior lighting
- keep yard clean of construction and household waste
- do not feed wild animals or leave food out and screen gardens and fruit trees
- stay on the designated trails and do not create new access points

The Greenway promotes active transportation, biodiversity and water conservation.

In keeping with the sustainability goals set out for Aspen Ridge, many features of the Greenway will protect the biodiversity of the Swale:

- residential developments were setback from the Swale edge
- native prairie wildflowers, shrubs and grasses will be re-established in disturbed areas
- the need to irrigate is minimized
- mowing will be restricted to select areas and occur only once or twice per growing season
- ongoing resource management practices will be used such as prescribed burning
- constructed stormwater drainage systems will collect and manage residential runoff
- full cutoff lighting will be installed along the trail



YES! Walk or Bike
on Designated Trails



YES! Smell Flowers



YES! Watch Wildlife



YES! Take Photos



NO Motorized Vehicles
Bylaw No. 7767



NO Picking Plants
Bylaw No. 7767



NO Off-leash Dogs
Bylaw No. 7860



NO Littering
Bylaw No. 7767



For more information visit saskatoonland.ca