

ASPEN RIDGE



Connect. Relax. Enjoy.

Pre-Designated Sites

for Residential Care Home Type II, Day Care or Pre-School

For Sale by Public Tender

Aspen Ridge Phase 7



Tender Properties

Sealed tenders addressed to the Sales Section, Saskatoon Land, 200 4th Avenue North, Saskatoon SK S7K 0K1 and plainly marked on the envelope “Tender for Purchase of Pre-designated Sites” will be received until 2:00pm Saskatchewan Time, on October 9, 2025 for the following properties:

CIVIC ADDRESS:	102 Sharma Lane
ZONING DISTRICT:	R1B
LEGAL DESCRIPTION:	Lot 38, Block 738, Plan 102415812
RESERVE BID:	\$228,400.00

CIVIC ADDRESS:	106 Sharma Lane
ZONING DISTRICT:	R1B
LEGAL DESCRIPTION:	Lot 39, Block 738, Plan 102415812
RESERVE BID:	\$228,800.00

Application Form and Checklist can be found in Appendix A.

Technical drawings, including feature plans and drainage documents, can be found in Appendix C.

Important Information

- Bids must be accompanied by a certified cheque or bank draft payable to the City of Saskatoon for ten percent (10%) of the tendered price plus GST on the deposit amount and must be submitted on the attached tender form. Should the successful bidder not purchase the property, the deposit will be forfeited.
- All bids are irrevocable for a period of fourteen (14) days from tender closing date. All tenders become the property of the City of Saskatoon until such time as a tender is awarded or rejected. The deposit cheques from unsuccessful bidders will be returned.
- No multiple bids by the same applicant for a single property will be accepted.
- Bids must be determined independently from any other bidder or potential bidder. If, in the opinion of the City, there is any appearance that a bidder has consulted another bidder or potential bidder regarding
 - prices;
 - methods, factors or formulas used to calculate prices;
 - the intention or decision to submit, or not submit, a bid; or
 - any other indication of collusion regarding bid prices,the City may, in its discretion, take any action it considers appropriate including rejecting any bid, or disqualifying any bidder from bidding on this tender or another tender.
- No conditional bids will be accepted.
- No bids less than the Reserve Price will be accepted.
- Bidders must demonstrate experience with completing projects consistent with the intended use of the property/ies.
- The successful bidder will be required to have a lawyer transfer the land title into the successful bidder's name as the individual name or company submitting the bid is who will be named on the Sale Agreement. No amendment to the original entered bid will be accepted.
- Saskatoon Land will only deal with the successful bidder, no representatives or agents.
- Bidders who are either a Councillor or official with the City of Saskatoon must identify they are employed by the municipality on the front of the sealed bid.
- Property sold "As Is".
- The City reserves the right to not accept any bid for any reason.
- Please note if after one (1) year from the date of the public tender, if the property identified in this public tender is not purchased for the purpose of a Residential Care Home Type II, Day Care, or Pre-School, it may be made available for sale over-the-counter for the purpose of a one- unit dwelling unit on a first-come, first-served basis.

Intended Site Use & Building Permit

This lot has been pre-designated by the City of Saskatoon as a potential location for [Residential Care Home Type II, Day Care, or Pre-School](#). Administrative changes within Planning & Development no longer requires a Discretionary Use permit for pre-designated sites, provided the intended use of the site falls within the uses noted in the Zoning Bylaw (9990). After the Agreement for Sale has been fully-executed, purchaser(s) may apply for a building permit relevant to the site usage.

A period of no longer than twelve (12) months will be permitted for the purchaser to obtain a building permit specific to their intended site use. If the purchaser is unable to gain approval within twelve (12) months from the close of tenders, for any reason, they shall forfeit their non-refundable deposit and the lot will be made available for purchase over-the-counter on a first-come, first-serve basis. The successful purchaser must complete the build of the structure within thirty-six (36) months of possession of the lot.

Final site grading is the responsibility of the purchaser. The purchaser is also responsible for hard surfacing of front driveways, front-yard landscaping and for top soiling and seeding or sodding all boulevard areas between their property and the roadway curb. For the successful purchaser of 102 Sharma Crescent, completion of the side yard from front property line to rear property line will also be required. These requirements are to be completed within 24 months of building permit issuance.

Aspen Ridge Architectural Controls Process

Development on these sites is subject to compliance with Saskatoon Land's Architectural Controls for Aspen Ridge Neighbourhood (Phase 7). These guiding documents provide a framework for site planning and design to promote Saskatoon Land's vision for the area and can be found on [saskatoonland.ca \(https://www.saskatoon.ca/business-development/land-development/aspen-ridge-architectural-controls\)](https://www.saskatoon.ca/business-development/land-development/aspen-ridge-architectural-controls). The requirements for highly visible lots are also explained in Appendix B.

Prior to plan preparation, or any stage during plan development, Saskatoon Land is available to meet to view draft plans and discuss the architectural control requirements. Any questions should be directed to Saskatoon Land at (306)975-5263.

A copy of the site plan, dwelling elevations, landscaping plan and application form must be sent to Saskatoon Land's architectural control email address at landarchcontrols@saskatoon.ca. The Architectural Control application form can be found on the website noted above and must be included with the submission. Saskatoon Land will analyze the plans for compliance with the architectural controls. Saskatoon Land reserves the right to take up to five (5) days to review and comment on plans after any submission.

After plans have been reviewed, the successful party will be contacted by Saskatoon Land to discuss plan changes, if any, which may be required. The successful purchaser will not be able to apply for a building permit until receiving final approval from Saskatoon Land.

Once the architectural control review is completed, the successful purchaser can apply for a building permit by providing the City's Building Standards Division with a copy of the Sale Agreement and architectural controls approval letter along with the required building permit forms and plans. Once the building permit is submitted, Saskatoon Land will cross check the building permit plans with the plans that were previously submitted to and approved by Saskatoon Land.

If the purchaser makes changes to its plans following approval from Saskatoon Land, a second approval will be required in order to ensure that the design still meets all architectural controls.

To ensure compliance with the Aspen Ridge Architectural Controls, the successful purchaser(s) will be required to provide a separate letter of credit in the amount of \$7,500. This amount will be refunded upon verification that all architectural requirements have been met.

Services

Services are at the perimeter of the site only, and include curb and sidewalk, boulevard, street paving, street lighting, street signing, water mains, sanitary sewer mains, trunk sewer levies and primary water main levies. Any costs associated with service connections or private crossings are not included in the tendered price and are the responsibility of the successful purchaser.

Easements

Please see Utility Feature Plan (Appendix C) showing the easements. The successful purchaser(s) will be required to grant the utility agencies any additional easements at no cost.

Sale Agreement

The successful purchaser must enter into a Sale Agreement within 30 days of the conditional Award of Tender. Failure to enter into the Sale Agreement within the prescribed time period will be deemed in default of the terms of the tender and the bid deposit will be forfeited. Items of note for the Sale Agreement are as follows:

- 1) Application for Building Permit must be submitted prior to the Closing Date noted in the Agreement for Sale. Proof of submission must be provided to Saskatoon Land before title transfer is complete.
- 2) Site plans must be submitted to Saskatoon Land prior to the Closing Date noted in the Agreement for Sale.
- 3) Payment in full and title transfer must be requested within sixty (60) days of the effective date of the agreement. Failure to provide this will result in loss of the sale, cancellation of the agreement, and forfeit of non-refundable deposits.
 - a. Should an extension be requested, interest at the rate of 8% per annum will be charged for any amounts owing after the initial 60-day term.

- b. To request an extension of up to four (4) months, a non-refundable deposit of 5% of the purchase price will be required along with the written request to extend. This will only be applicable to extend the closing date. A maximum of one (1) extension may be granted.
- 4) Final payment and transfer request will not be permitted unless the building permit has been applied for and proof of such received by Saskatoon Land.
 - a. Payment must be provided in the form of a certified cheque, bank draft, or solicitor's trust cheque along with:
 - i. A written statement acknowledging acceptance of the environmental condition of the property; and
 - ii. A Letter of Credit OR certified cheque/bank draft in the amount of ten percent (10%) of the purchase price to be returned once the framing inspection has been completed.
- 5) Properties must be built, as evidenced by the provision of the Certificate of Completion, within three (3) years of the possession date.
 - a. Possession of the lot will be granted upon successful completion of the closing terms.
 - b. The Letter of Credit will be forfeited if the successful bidder does not build as outlined in the approved building permit for a Residential Care Home Type II, Day Care, or Pre-School.

If construction is not completed within the specified timeframe, the purchaser may become ineligible to acquire pre-designated lots offered by Saskatoon Land in the future.

Taxes will be adjusted at the possession date.

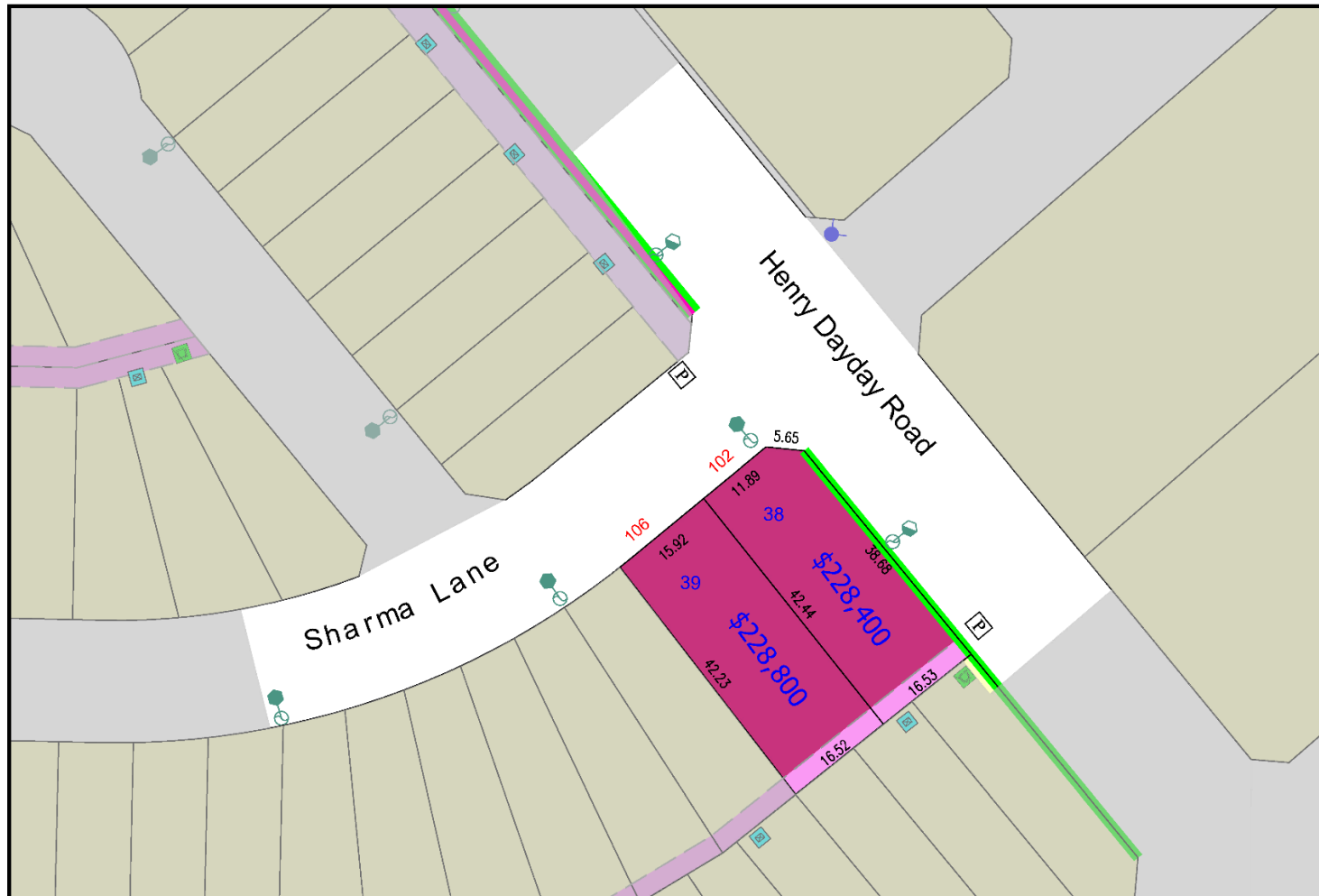
There will be no exceptions as to the conditions of this tender.

Please consult our office or the website prior to the tender closing date for any amendments to this package.

Sales Map



Residential Care Home Type II, Pre-School and Child Care Centre Lots 102 (Lot 38) & 106 (Lot 39) Sharma Lane



Legend:

- Single Family
- Residential Care Home
- Easement 3m
- Vertical Curb
- Civic Addresses
- Lot Number
- Mail Boxes
- Fire Hydrant
- Transformer(2.0m x 2.0m)
- Utility Pedestal (2.75m x 2.0m)
- Light Standard
- Lot Price



City of Saskatoon
Saskatoon Land - July 2025

Note: The Land Branch does not guarantee the accuracy of this plan. To ensure accuracy, please refer to the Registered Plan of Survey. This plan is not a legal plan. Lot dimensions and the location of other features are provided for information only and are subject to change without notice. For verification please check with the appropriate authority. Do not scale.



APPENDIX



Pre-Designed Site Tender Document Checklist

To be considered, the following must be completed and submitted:

Completed Purchaser Application Form

Certified cheque or bank draft for 10% (+GST) of the proposed purchase price

Provided examples of experience with the intended use of the parcel.

Sealed tenders plainly marked "Tender for Purchase of Pre-designated Sites" must be delivered to:

Saskatoon Land
Attn: Sales Section
200 4th Avenue N
Saskatoon SK S7K 0K1

Tenders will be received until 2:00pm Saskatchewan time on October 9, 2025.

Pre-Designated Site Tender Purchaser Application Form

The completion of this form in no way obligates the applicant to purchase the property in question and is not in any way binding upon The City of Saskatoon. It is for information purposes only.

Saskatoon Land will review all submissions for the above-noted tender and contact the successful applicant.

Saskatoon Land reserves the right to amend or abandon any tender without accepting any applications. Saskatoon Land has the ability to reject any offer for any reason prior to acceptance or approval.

Property Information:

Civic Address

Legal Address

Purchase Price Offered (before GST)

Intended Use of Parcel

i.e. Residential Care Home Type II, Day Care, Pre-school

Contact Information:

Company Name

(or name to appear on title)

Contact Person

Phone Number

Email Address

Mailing Address

City, Province, Postal Code

GST Registration Number

(if applicable)

Lawyer Information:

Lawyer Name

Law Firm

Law Firm Phone Number

Law Firm or Lawyer Email Address

Law Firm Street Address

Law Firm City, Province, Postal Code

The property is sold "as is". No warranties or guarantees apply. All sales are subject to administrative approval. The City reserves the right not to enter into a sales agreement.

Highly Visible Lots

102 Sharma Crescent Lot 38 Block 738, Plan 102415812

These controls are in addition to the controls noted in the previous sections. The intention of these controls is to avoid the monotony and large expanses of blank walls on side facades that are highly visible from streets. The lot that is subject to these highly visible lot controls is 102 Sharma Crescent.

The following requirements listed are an absolute minimum. Saskatoon Land reserves the right to require further treatment to any facade to satisfy the intentions of the Phase 7 Architectural Controls. Prior to plan preparation, or any stage during plan development, Saskatoon Land is available to meet to view draft plans and discuss the architectural control requirements.

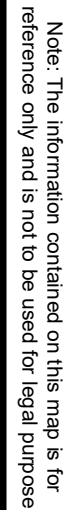
In addition to the front facade requirements, any dwelling elevation which flanks a street:

- Requires a secondary exterior dwelling material with visually different texture when compared to the primary material.
 - The secondary material must cover no less than one third (33%) of the elevation defined as the total area of elevation from ground to under the eaves. For the purpose of this calculation, window and door areas shall be subtracted.
 - A third material may also be used provided that a different colour is added not in the adjacent tone/shade to the primary and secondary material used.
 - The second and third materials, when combined, must cover no less than one third (33%) of the subject elevation.
 - Horizontal banding of the base of the dwelling is discouraged as landscaping and fences tend to hide the material.
- Requires the windows and doors to occupy no less than 5% of the elevation defined as the total area of elevation from ground to under the eaves.
- For corner lots that also want a rear garage, the garage elevation which flanks a street will require a second exterior material that is comparable to the materials used on the dwelling. The second material must cover no less than 20 square feet of the garage side closest to the lane or must band the top of the garage. If the garage door faces the street, the garage door requires architectural details. For 102 Sharma Crescent a curb crossing permit through the City's Transportation Department would need to be approved before a secondary rear garage could be constructed.
- Garage doors facing streets are required to meet the controls listed in the Architecturally Significant Garage Doors section of the controls.
- Added architectural details such as doors and/or windows are encouraged for garage elevations that flank streets.

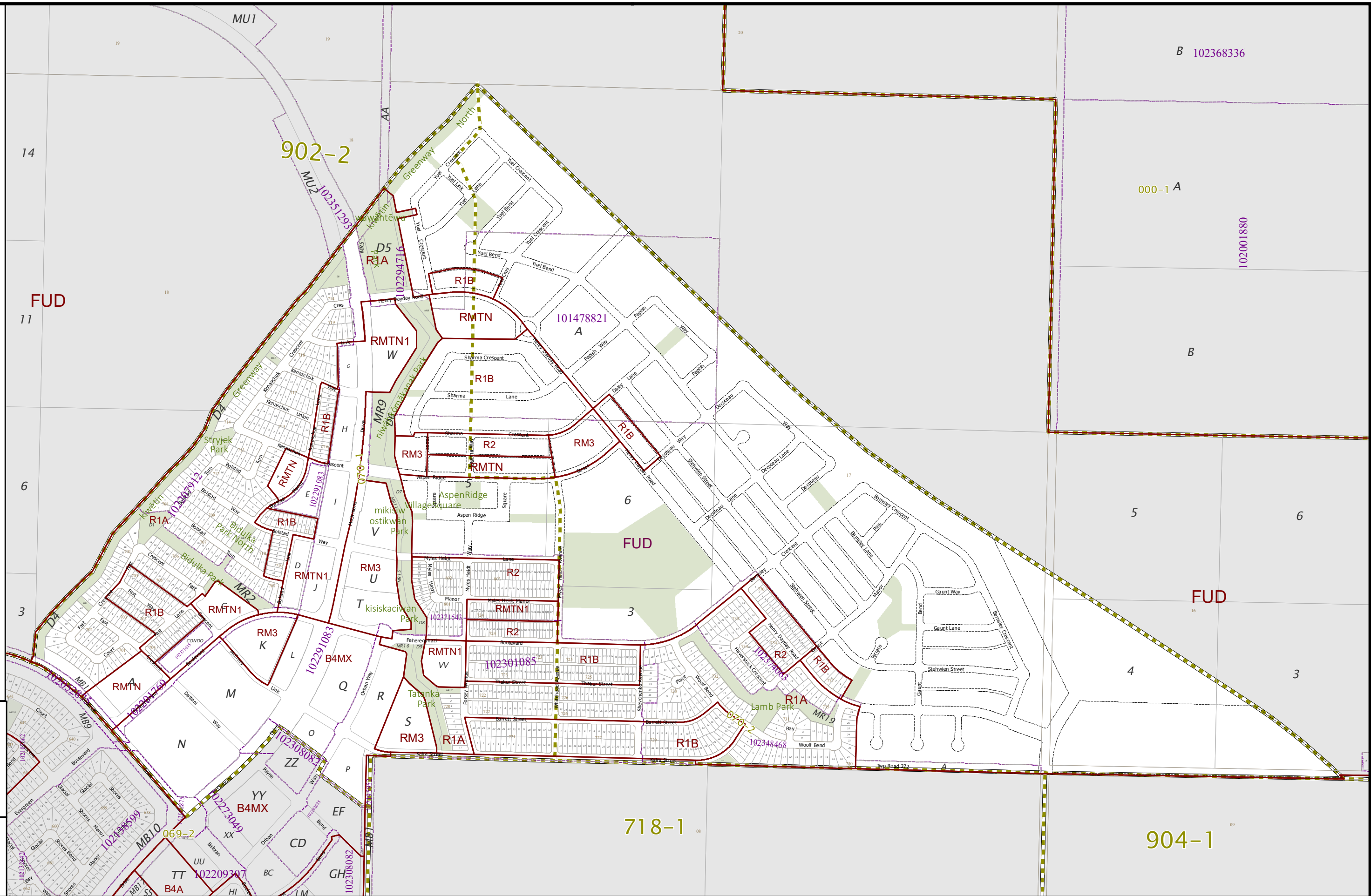
Depending on the quality of the submitted plans, especially those that satisfy only the “minimum” requirements, the Saskatoon Land Design Review Committee may require more architectural details such as the following:

- Accented wall build-outs or other interruptions in wall planes.
- Window and door accents.
- Break-ups in roof massing or roof lines such as dormers or cross gables.
- Other accents or placement of additional materials and/or colour.

ASPEN RIDGE PHASE 7 SUPPORTING DOCUMENTS PACKAGE

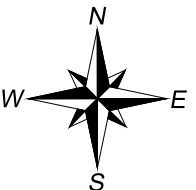


Bylaw 8770



ASPEN RIDGE LAND USE CONCEPT PLAN

NORTHEAST
SWALE



- LOW DENSITY
- LOW DENSITY MULTI-UNIT
- LOW/MEDIUM DENSITY MULTI-UNIT
- MEDIUM DENSITY MULTI-UNIT
- LOW-DENSITY MIXED-USE
- MEDIUM-DENSITY MIXED-USE
- POTENTIAL SCHOOL SITE
- MUNICIPAL RESERVE
- BUFFER STRIP
- SWALE
- GREENWAY
- LANDSCAPED DRAINAGE OPEN SPACE
- URBAN HOLDING AREA
- FUTURE INTERCHANGE
- POSSIBLE ROADWAY EXTENTION
- CONCEPT PLAN BOUNDARY
- SASKATOON FREEWAY ALIGNMENT
- SASKATOON FREEWAY OVERLAY
- CITY LIMITS
- Ⓜ POTENTIAL CELL TOWER LOCATION
- RCH POTENTIAL RESIDENTIAL CARE HOME SITE

* ST - STREET TOWNHOUSE
GT - GROUP TOWNHOUSE

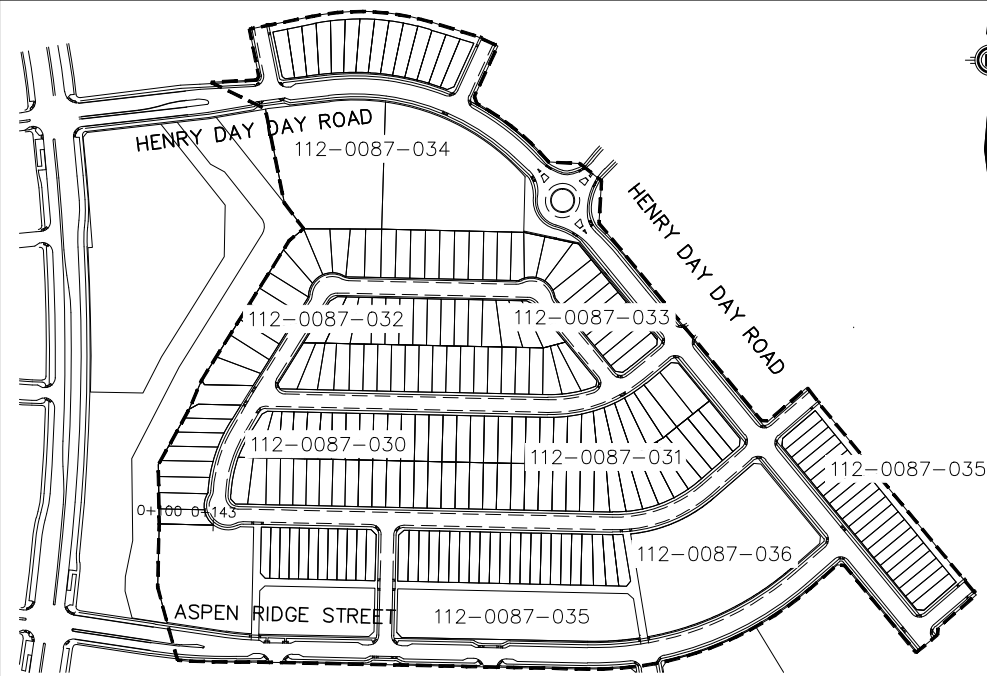
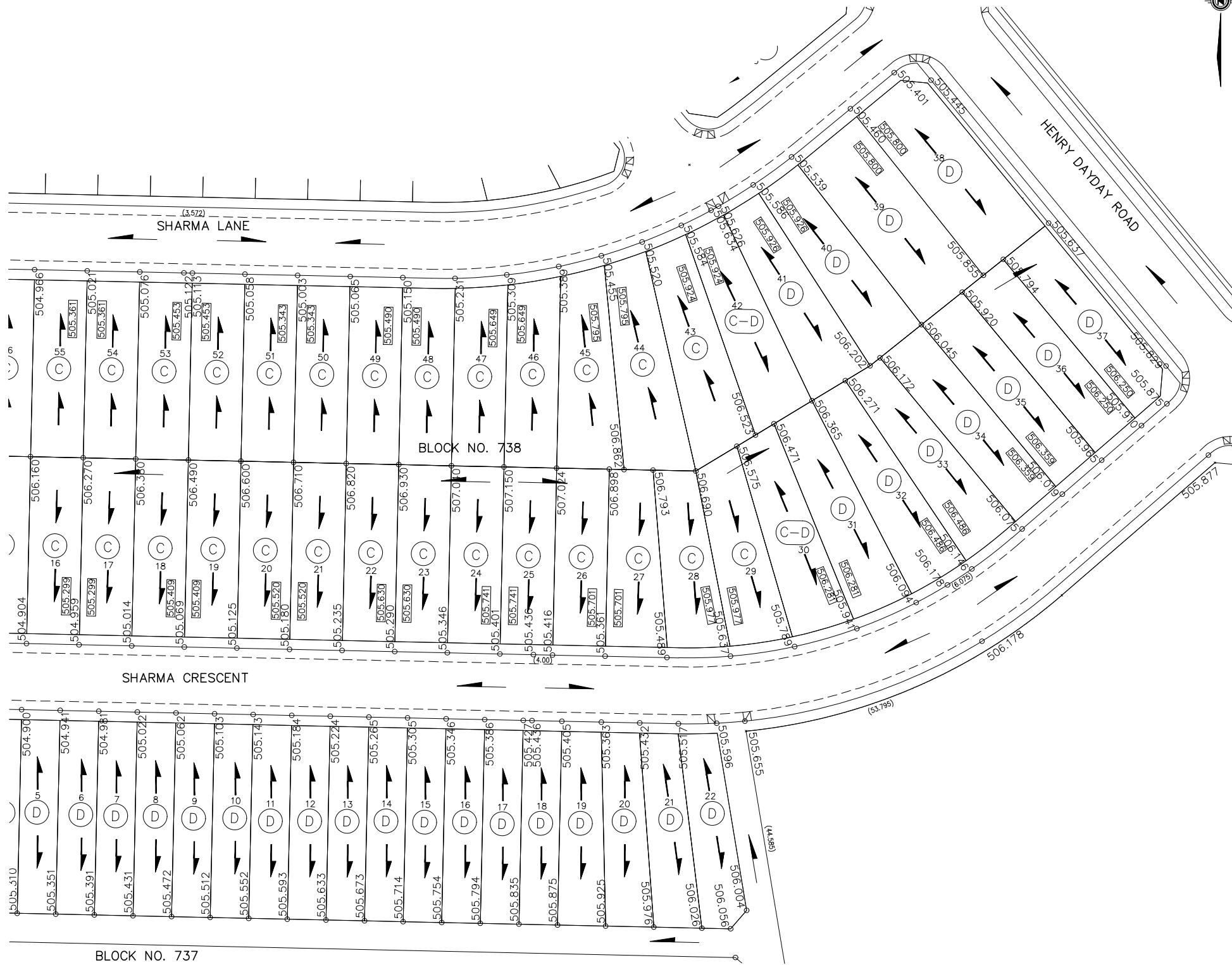
ORIGINAL ASPEN RIDGE
CONCEPT PLAN
APPROVED JUNE 23, 2014

LAST AMENDED
DECEMBER 20, 2023



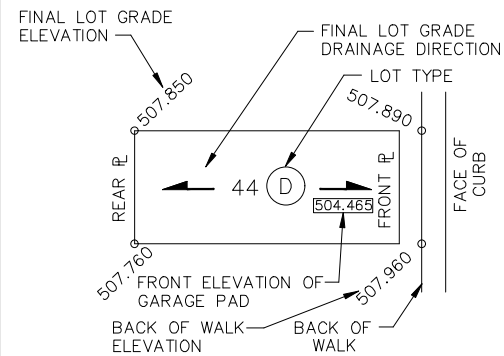
NOTE: The information contained on this map is for reference only and should not be used for legal purposes. All proposed line work is subject to change. This map may not be reproduced without the expressed written consent of the Long Range Planning, Mapping Section.

DRAWING NOT TO BE SCALED
March 6, 2024



KEY PLAN

LOT DRAINAGE LEGEND

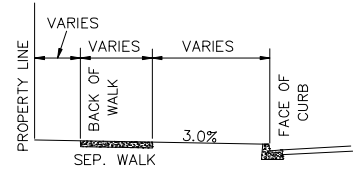


- NOTE:
1. FRONT AND SIDE FLANKAGE LOT GRADES REPRESENT THE DESIGN ELEVATION AT THE BACK OF WALK (B.O.W.)
 2. DIMENSIONS SHOWN IN BRACKETS ARE BETWEEN GRADE CHANGES.

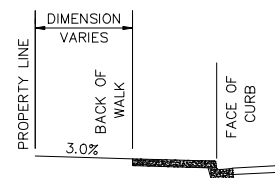
LOT DRAINAGE DETAILS

LOT TYPE 'D' - SEE DRAWING 102-0022-017
LOT TYPE 'E' - SEE DRAWING 102-0022-019

SEPARATE CURB & WALK



COMBINED CURB & WALK

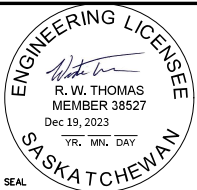


CURB & WALK LEGEND

- ROLLED CURB & WALK
- VERTICAL CURB & WALK
- ROLLED CURB ONLY
- VERTICAL CURB ONLY
- CONCRETE WALKWAY
- EASEMENT POINT NO.
- PROPERTY LINE
- DRAINAGE ARROW
- DRIVEWAY
- PHASE BOUNDARY

CONST.
PROJECT NO. 502-0087-308r001_CWL

PLAN DESCRIPTION/REVISION	DATE	BY	SEAL
1 ISSUED FOR CONSTRUCTION	2023-OCT-13	JVS	



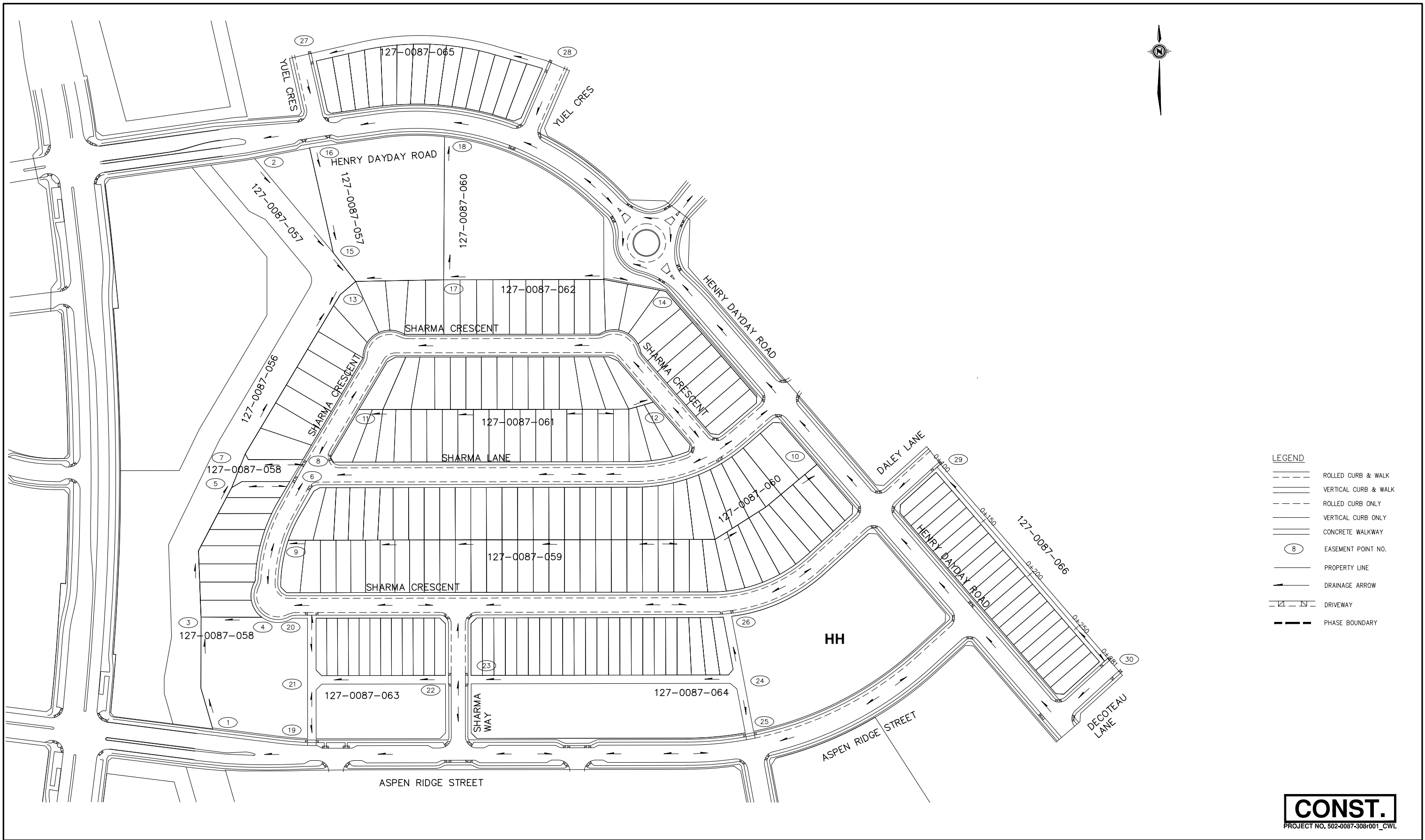
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SIGNATURE	SIGNATURE
NAME	NAME
DATE	DATE
DRAWN BY JVS DATE 2023-OCT-13	DWG STDS CHECKED BY DATE



ASPEN RIDGE LOT GRADES - PHASE D1B

LOT GRADES
SHARMA LANE & SHARMA CRESCENT

ENGINEERING MANAGER	Dec 21, 2023
SCALES: HOR. 1:1000	DATE
VERT.	
SHEET NO.	PLAN NO.
	112-0087-031r001



- LEGEND
- ROLLED CURB & WALK
 - VERTICAL CURB & WALK
 - ROLLED CURB ONLY
 - VERTICAL CURB ONLY
 - CONCRETE WALKWAY
 - 8 EASEMENT POINT NO.
 - PROPERTY LINE
 - DRAINAGE ARROW
 - DRIVEWAY
 - PHASE BOUNDARY

CONST.
PROJECT NO. 502-0087-308r001_CWL

				<table><tr><td>CHECKED BY:</td><td>CHECKED BY:</td></tr><tr><td>SIGNATURE</td><td>SIGNATURE</td></tr><tr><td>NAME</td><td>NAME</td></tr><tr><td>DATE</td><td>DATE</td></tr><tr><td>DRAWN BY JVS DATE 2023-OCT-20</td><td>DWG STDs CHECKED BY DATE</td></tr></table>		CHECKED BY:	CHECKED BY:	SIGNATURE	SIGNATURE	NAME	NAME	DATE	DATE	DRAWN BY JVS DATE 2023-OCT-20	DWG STDs CHECKED BY DATE			ASPEN RIDGE LOT GRADES - PHASE D1B		 ENGINEERING MANAGER	
CHECKED BY:	CHECKED BY:																				
SIGNATURE	SIGNATURE																				
NAME	NAME																				
DATE	DATE																				
DRAWN BY JVS DATE 2023-OCT-20	DWG STDs CHECKED BY DATE																				
						EASEMENT SITE PLAN		Dec 21, 2023													
								DATE													
								SHEET NO. PLAN NO.													
								127-0087-055r001													
1 ISSUED FOR CONSTRUCTION		2023-OCT-13 JVS																			
PLAN DESCRIPTION/REVISION		DATE BY																			

PHASE 1
D1B AREA GRADING

LEGEND:

- 0.25

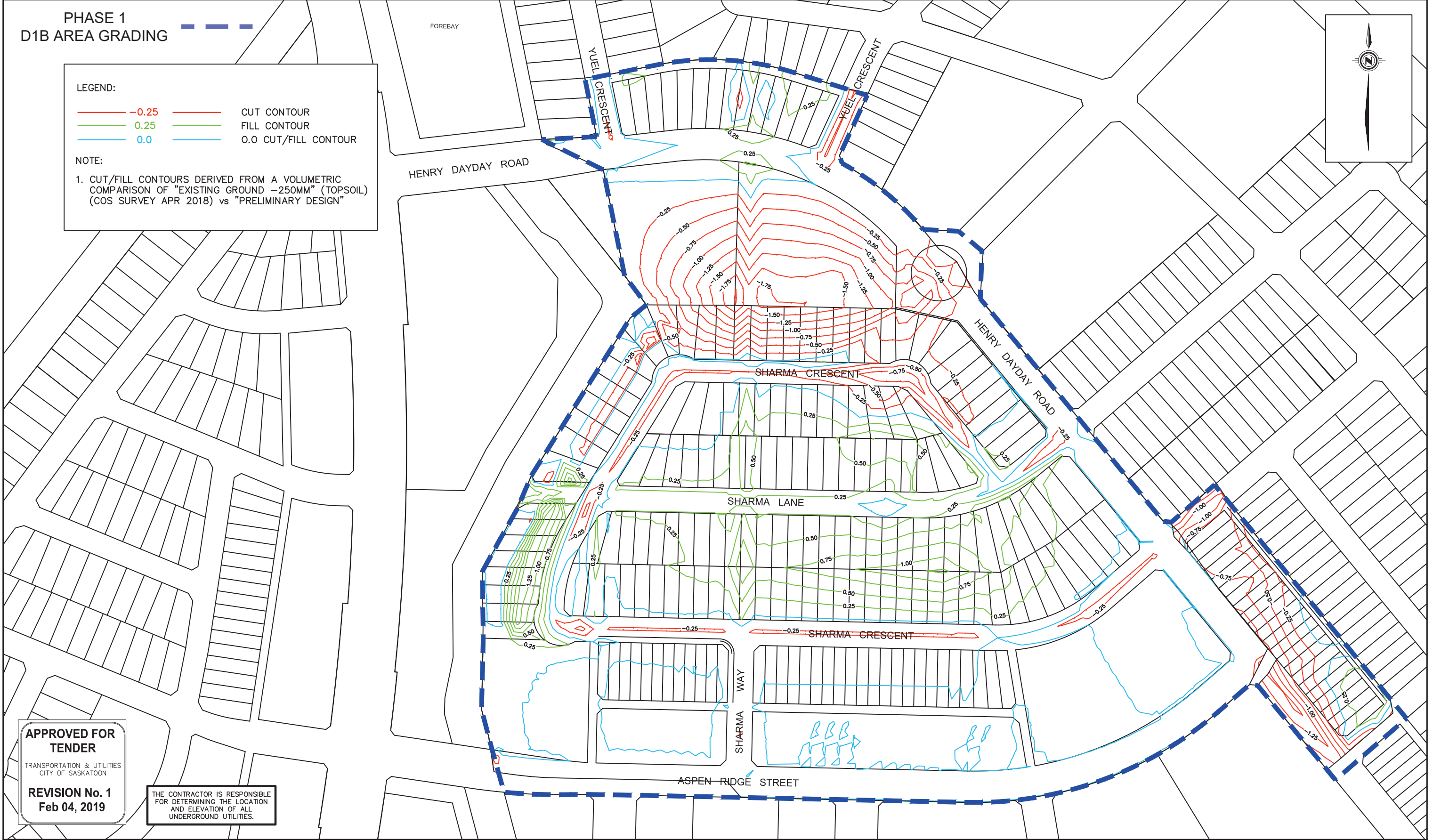
0.25

0.0
- CUT CONTOUR

FILL CONTOUR

0.0 CUT/FILL CONTOUR

NOTE:
1. CUT/FILL CONTOURS DERIVED FROM A VOLUMETRIC COMPARISON OF "EXISTING GROUND -250MM" (TOPSOIL) (COS SURVEY APR 2018) vs "PRELIMINARY DESIGN"



APPROVED FOR
TENDER
TRANSPORTATION & UTILITIES
CITY OF SASKATOON

REVISION No. 1
Feb 04, 2019

THE CONTRACTOR IS RESPONSIBLE
FOR DETERMINING THE LOCATION
AND ELEVATION OF ALL
UNDERGROUND UTILITIES.

11				
10				
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8				
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4				
3				
2				
1	ISSUED FOR TENDER	2019-FEB-04	EDH	
	PLAN DESCRIPTION/REVISION	DATE	BY	SEAL

CHECKED BY:	CHECKED BY:
DATE	DATE
DRAWN BY:	DATE



**City of
Saskatoon**
Transportation & Utilities Department

ASPEN RIDGE LAND DEVELOPMENT PHASE D1B
AREA GRADING

CUT & FILL CONTOURS

CHIEF ENGINEER	
SCALES:	
HOR. 1:2500	DATE
VERT. 1:2500	
SHEET NO.	PLAN NO.
	113-0087-325r001

PHASE 1
D1B AREA GRADING



LIFT STATION

FOREBAY

HENRY DAYDAY ROAD

YUEL CRESCENT

YUEL CRESCENT

SHARMA CRESCENT

SHARMA LANE

SHARMA CRESCENT

SHARMA WAY

ASPEN RIDGE STREET



APPROVED FOR
TENDER

TRANSPORTATION & UTILITIES
CITY OF SASKATOON

REVISION No. 1
Feb 04, 2019

THE CONTRACTOR IS RESPONSIBLE
FOR DETERMINING THE LOCATION
AND ELEVATION OF ALL
UNDERGROUND UTILITIES.

CHECKED BY:

CHECKED BY:

DATE

DATE

DRAWN BY

DATE



**City of
Saskatoon**

Transportation & Utilities Department

ASPEN RIDGE LAND DEVELOPMENT PHASE D1B

AREA GRADING

DESIGN CONTOURS

CHIEF ENGINEER

SCALES :

HOR. 1:2500

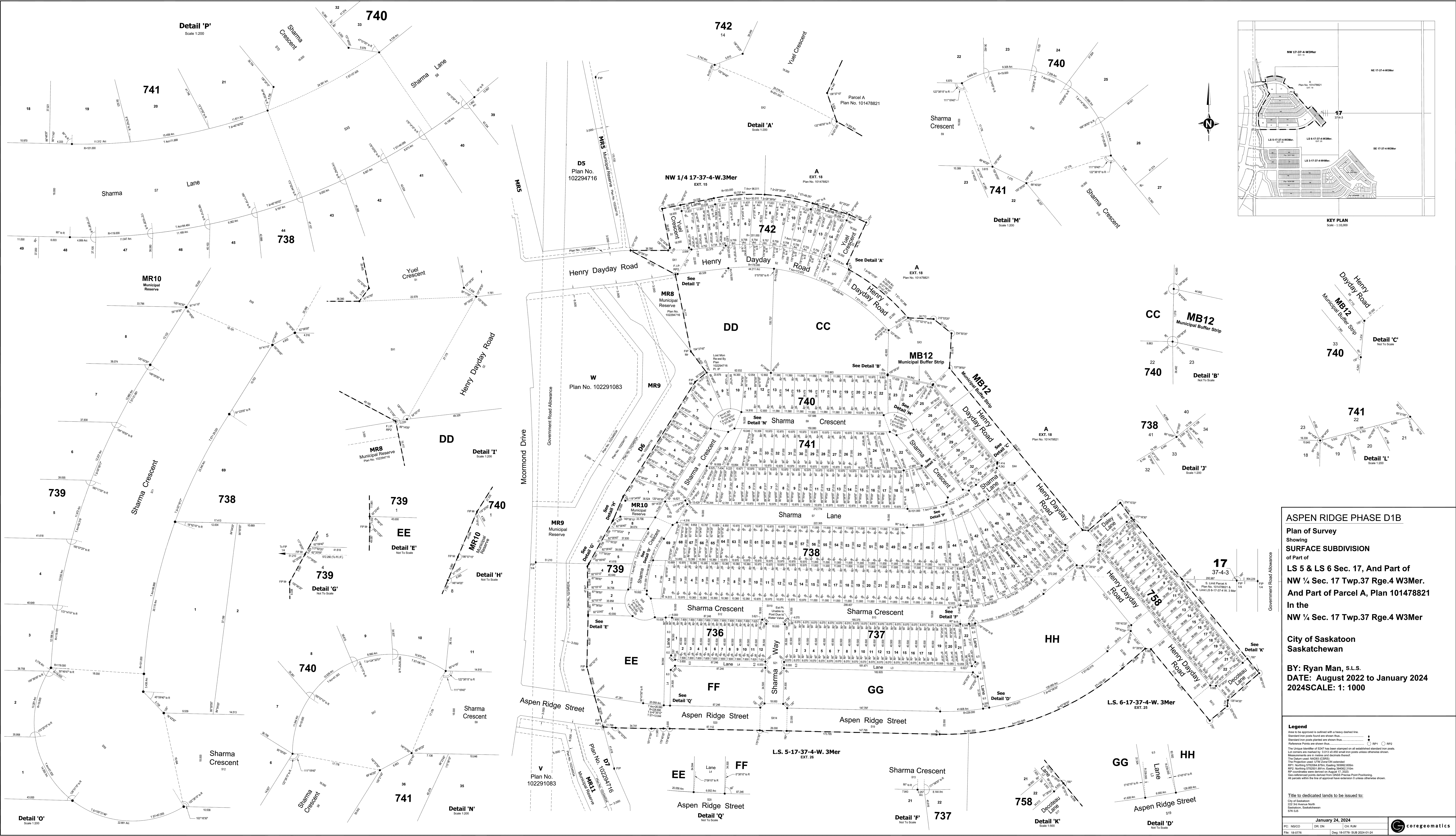
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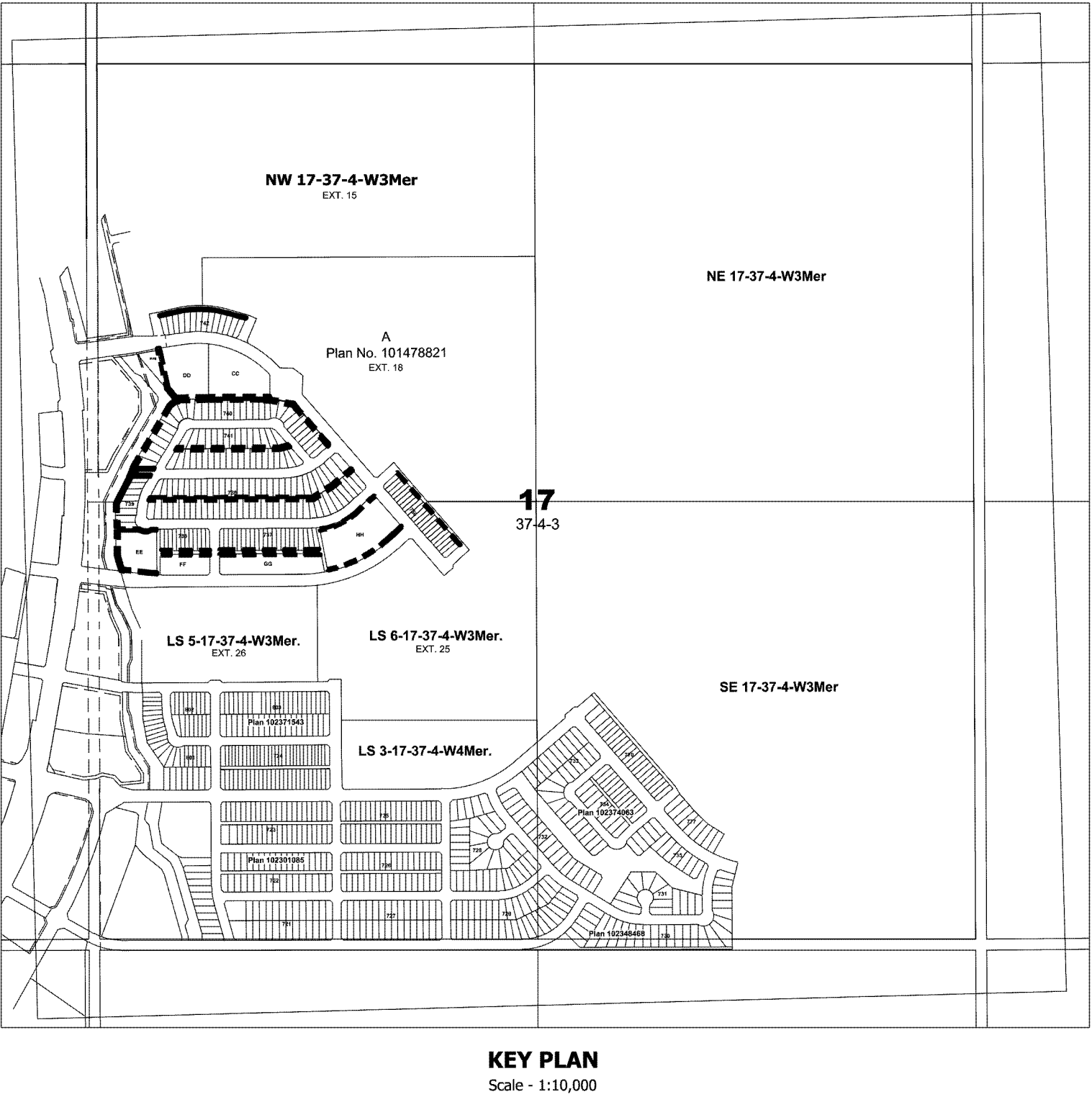
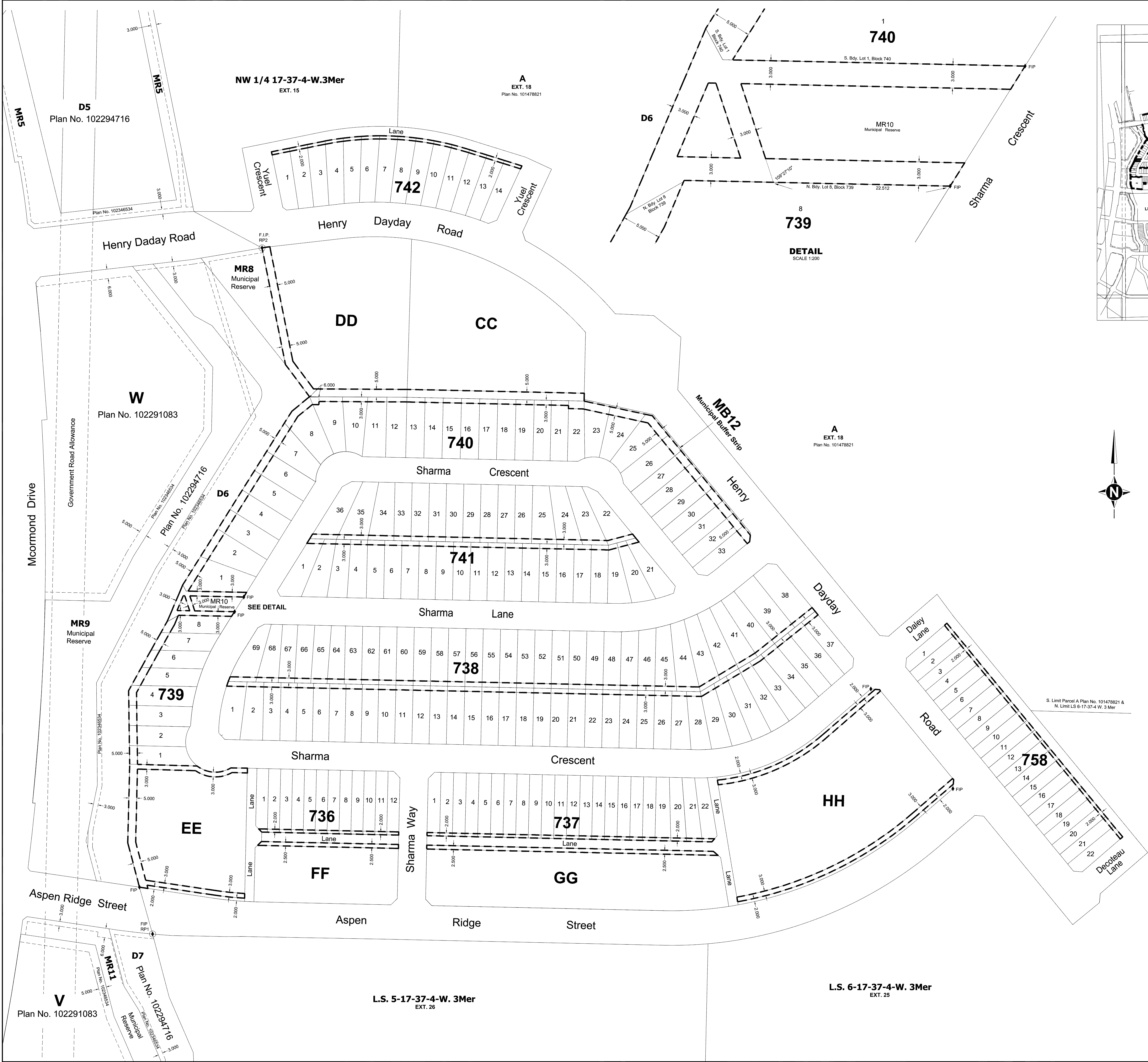
SHEET NO.

PLAN NO.

113-0087-324r001

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1	ISSUED FOR TENDER	2019-FEB-04	EDH
	PLAN DESCRIPTION/REVISION	DATE	BY





ASPEN RIDGE PHASE D1B

DESCRIPTIVE PLAN - TYPE II

Showing

FEATURE UTILITY RIGHTS OF WAY

Within

**Lots 1-12, Block 736 &
Lots 1-22, Block 737 &
Lots 1-4, Block 739 &
Lots 9-22 Block 758 &
Parcels EE, FF, GG & HH
Plan 102415812
In
S.W. 1/4 Sec.17 Twp. 37 Rge.4 W3Mer.
And
Lots 1-69, Block 738 &
Lots 1-9, Block 758 &
Lots 4-8, Block 738 &
Lots 1-33, Block 740 &
Lots 1-36, Block 741 &
Lots 1-14, Block 742 &
Municipal Reserve MR10 &
Parcels CC, DD and HH
Plan 102415812
In
N.W. 1/4 Sec.17 Twp. 37 Rge.4 W3Mer.**

**City of Saskatoon
Saskatchewan**

**BY: Ryan Man, S.L.S.
DATE: December 14, 2023
SCALE: 1: 1000**

Legend

Area to be approved is outlined with a heavy dashed line.
Standard iron posts found are shown thus: RP1 RP2
Reference Points are shown thus: RP1 RP2
Measurements are in metres and decimals thereof.
The Datum used: NAD83 (CSRS)
The Projection used: UTM Zone 18N extended
RP1: Northing 5782064.87m; Easting 393992.805m
RP2: Northing 5782501.891m; Easting 394082.310m
RP coordinates were derived on August 17, 2023.
Geo-referenced points derived from GNSS Precise Point Positioning.
All parcels within the line of approval have extension 0 unless otherwise shown.