



Kensington

Modern living, traditional style

Multi-Unit/Mixed-Use Parcels

Open Market Sales Package for Parcels S, U, T and V



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Open Market Information

Land for Sale by Open Market Approach (Figure 1)

<i>Civic Address:</i>	To Be Determined
<i>Zoning District:</i>	B1B
<i>Legal Description:</i>	Parcel S, Plan Number 102350540
<i>ISC Parcel No:</i>	203839993
<i>Reserve Bid:</i>	\$614,250
<i>Site Area:</i>	0.25 ha (0.62ac) +/-

<i>Civic Address:</i>	To Be Determined
<i>Zoning District:</i>	B1B
<i>Legal Description:</i>	Parcel U, Plan Number 102350540
<i>ISC Parcel No:</i>	203839971
<i>Reserve Bid:</i>	\$614,250
<i>Site Area:</i>	0.25 ha (0.62ac) +/-

<i>Civic Address:</i>	To Be Determined
<i>Zoning District:</i>	RM3
<i>Legal Description:</i>	Parcel T, Plan Number 102350540
<i>ISC Parcel No:</i>	203840007
<i>Reserve Bid:</i>	\$1,828,750
<i>Site Area:</i>	0.85 ha (2.09ac) +/-

<i>Civic Address:</i>	To Be Determined
<i>Zoning District:</i>	RM3
<i>Legal Description:</i>	Parcel V, Plan Number 102350540
<i>ISC Parcel No:</i>	203839960
<i>Reserve Bid:</i>	\$1,828,750
<i>Site Area:</i>	0.85 ha (2.09ac) +/-

Open Market Submission

Offers should be submitted in a sealed envelope clearly marked “*Open Market Sale - Purchase of Multi-Unit/Mixed-Use Property*” and addressed to:

Sales Section
Saskatoon Land
201 Third Avenue North
Saskatoon SK S7K 2H7

Offers will be received until 2:00pm on **Thursday, January 26, 2023**. Please refer to the Purchaser Application Form (Attachment 1) and Document Checklist (Attachment 2) for the full list of required information.



Figure 1 Village Square Multi-Unit/Mixed-Use Sales Map

Purchase Process

Step 1: Purchase Request

- Visit Saskatoon Land's website saskatoonland.ca to review property information.
- Contact Saskatoon Land at 306.975.3278 regarding any questions or further information.

Step 2: Submission

- Submit the Purchaser Application Form (Attachment 1) and Document Checklist (Attachment 2) to Saskatoon Land.
- Ensure that your offer addresses all the terms and conditions outlined.

Step 3: Review

- Offers are reviewed by Saskatoon Land.
- The successful proponent is contacted by a Saskatoon Land representative. Negotiations regarding the purchase price and other terms and conditions of the sale can then occur.

Step 4: Approval

- The transaction is brought forward for corporate approval.
- Modifications to the transaction may be made during the approval process. The successful applicant will be notified of such modifications.
- A 10% non-refundable deposit of the purchase price is due within ten (10) days of offer acceptance.

Step 5: Architectural Approval

- Proposed building permit plans will be reviewed by Saskatoon Land for compliance with Saskatoon Land's Architectural Controls for Multi-unit Dwelling Districts. The first submission must be received by Saskatoon Land within 8 weeks of offer acceptance.
- Proponents will have a total of 18 weeks from the date of offer acceptance to obtain final architectural approval from Saskatoon Land.

Step 6: Agreement

- Negotiations are finalized and a Sale Agreement is Executed between Saskatoon Land and the successful purchaser. The Sale Agreement must be executed within 30 days of final negotiations.
- Final payment is due no later than 60 days from the date of final architectural approval or as agreed to between the vendor and purchaser.
- The successful purchaser may apply for required permits to begin construction upon receipt of payment in full and upon architectural approval by Saskatoon Land.

Step 7: Closing Obligations

- Purchaser complies with all Terms and Conditions set forth by the Sale Agreement.

Architectural Controls

Building plans for Parcels S & U will be reviewed for consistency with Attachment 5 (Village Centre Architectural Controls). Building plans for Parcels T & V will be reviewed for consistency with Attachment 6 (Multi-Unit Dwelling District Architectural Controls). The purchaser will not be able to apply for a building permit until receiving final approval from Saskatoon Land. Once the Architectural Evaluation is complete, the purchaser may apply for a Building Permit by providing the Building Standards Division with a copy of the building plans. These plans will be cross checked to the plans which were submitted to and approved by Saskatoon Land. If the builder makes changes to their plans following approval from Saskatoon Land, a second approval will be required to ensure that the design still meets all architectural controls.

The architectural controls provide a framework for site planning and design to promote Saskatoon Land's vision for the area. It is strongly recommended that purchasers contact Saskatoon Land early in the design stage to avoid significant revisions at the building permit stage.

The following information is required for the Architectural Controls Evaluation:

1. A site plan to scale, showing buildings, roads, parking, loading, fences, and the landscaping concept;
2. Floor plans of all floors for each building to scale;
3. All exterior elevations of each building to scale indicating location of materials and colours;
4. Building section of each building to scale indicating building height, roof slopes, and features; and
5. Specifications and colours for all exterior building materials of each building and for site development.
6. There will be no appeal process for purchasers who wish to challenge the decision of Saskatoon Land in its interpretation of the architectural controls.

Please note that Saskatoon Land's Architectural Controls are independent of the City of Saskatoon's development permit review processes which include a Zoning Bylaw conformance check. Questions regarding conformance to the City of Saskatoon's development permit requirements should be directed to the appropriate civic departments.

Site Information

Zoning

Parcels S & U are zoned B1B (Neighborhood Commercial Mixed-Use District) while Parcels T & V are zoned RM3 (Medium Density Multiple-Unit Dwelling District) in City of Saskatoon Bylaw No. 8770 (Zoning Bylaw). Refer to Attachment 3 (B1B District) and Attachment 4 (RM3 District) for further information. Purchasers and interested parties are advised to consult with the Planning and Development Division at 306-975-2645 for permitted uses and other details regarding applicable zoning provisions.

Services

Sites are fully serviced and include curb, boulevard, street paving, street lighting, water mains, sanitary sewer mains, trunk sewer levies and primary water main levies. Services are provided adjacent to the site and typically located in adjacent rights of way. Any costs associated with service connections or private crossings are not included in the agreed price and are the responsibility of the successful proponent. Final site grading is the responsibility of the successful purchaser and must be approved by the City of Saskatoon, Transportation & Utilities Department. The successful purchaser is also responsible for the topsoil, seeding, irrigating and maintenance of boulevards adjacent to their property to the edge of the sidewalk and between the sidewalk and the curb.

Easements

Refer to Attachment 8 for easement locations. The successful purchaser is required to agree to grant the utility agencies any further easements which may be required at no cost. Please note, Saskatoon Land does not guarantee the accuracy of the attached sales map. For accuracy, please refer to the Registered Survey Plan and Registered Descriptive Utility Feature Plan. It is solely the responsibility of the successful purchaser to be aware of any easements or rights-of-way that may restrict uses of the land. It is strongly advised that purchasers are to check the certificate of title for all affecting registered easements and restrictions before designing the site and applying for a development permit.

Representation, Warranties and Environmental Conditions

The properties are being sold “as is”. An Environmental Assessment report for the neighbourhood area was completed in 2008 and can be provided to the successful purchaser upon request. Any further subsurface environmental investigations to evaluate for soil conditions on the site will be at the purchaser’s own expense.

Terms and Conditions

1. Deposit/Closing Date/Possession/Adjustment Date:
 - a. 10% non-refundable deposit due within ten (10) days of offer acceptance or as agreed to between the vendor and the purchaser.
 - b. Sixty (60) days following acceptance of the Saskatoon Land proposal letter or as agreed to between the vendor and the purchaser.
2. Conditions Precedent:
 - a. Approval of the sale by the Chief Financial Officer, City of Saskatoon.
3. Special Terms and Conditions:
 - a. The property is sold “as is” and the purchaser shall assume all responsibility and liability including any environmental matters existing as of the closing date.
 - b. Real Estate Commissions, if applicable, to be paid based on the following as outlined in Council Policy No. C09-015, Real Estate Commissions – Sale of City-owned Land:
 - 5% for the first \$1 million;
 - 3% for any amounts above \$1 million to \$2 million; and
 - 1% for any amounts above \$2 million to a maximum payment of \$150,000.
 - c. Development on these sites will be required to meet Saskatoon Land’s Architectural Controls for Multi-unit Dwelling Districts and Development Controls where applicable.
 - d. Possession of the site will not be granted until completion of the Architectural Evaluation.
 - e. The purchaser further agrees to grant the City of Saskatoon, Saskatchewan Telecommunications, Saskatchewan Power Corporation, SaskEnergy Incorporated, and any utility agency any easements which may be required at no cost.
 - f. Purchasers are required to demonstrate experience with completing multi-unit/mixed-use projects.

Sales Agreement

The successful purchaser must enter into a sale agreement within 30 days of the conditional Award of Open Market Sales Approach. Failure to enter into the Sale Agreement within the prescribed period will be deemed in default of the terms of the Open Market Sales Approach and the deposit will be forfeited.

The successful purchaser will be granted possession of the property after payment in full (a certified cheque, bank draft or solicitor’s trust cheque) has been received. Payment in full must be secured no later than 60 days from the closing of the offering. The City of Saskatoon will provide a Transfer Authorization to the purchaser’s solicitor upon receipt of the balance of the purchase price. Property taxes will be adjusted as per the possession date.

Potential purchasers can make offers below or above the list price. Saskatoon Land will review all offers and contact interested parties that have been selected for further negotiation. If multiple offers are submitted for the same parcel, Saskatoon Land will continue negotiations with the party in compliance of the outlined conditions and with the highest presented offer, provided that the offer coincides with fair market value.

Attachments



Multi-Unit Open Market Sale Purchaser Application Form

Please complete this form if you are interested in purchasing land from Saskatoon Land, City of Saskatoon. This information you provide is not an offer or a contract and does not constitute an interest in land. The purpose of this form is to provide information to Saskatoon Land regarding a desire to purchase property. The completion of the form in no way obligates the applicant to purchase the property in question and is not in any way binding upon The City of Saskatoon. It is for information purposes only. Saskatoon Land will review the form and contact you to confirm whether or not Saskatoon Land will consider your application for negotiation. Saskatoon Land reserves the right to negotiate with only those parties it determines, in its sole discretion. Saskatoon Land reserves the right to amend or abandon any property listing without accepting any Purchaser Application Form. Saskatoon Land has the ability to reject any offer for any reason prior to acceptance or approval.

Property Requested:

Legal

Civic Address:

ISC Parcel #:

Purchase Price Offered: \$

Contact Information:

Name to appear on title:

Contact Person:

Telephone No.:

Fax No.:

Email Address:

Street Address:

City, Province, Postal Code

GST Registration Number:

Lawyer Information:

Name & Firm:

Telephone No.:

Fax No.:

Email Address:

Street Address:

City, Province, Postal Code

The property is sold "as is". No warranties or guarantees apply. All sales are subject to administrative approval. The City reserves the right not to enter into a sales agreement.



Multi-Unit Open Market Sale Document Checklist

To be considered, a submission must be complete and include the following:

- ☐ Completed Purchaser Application Form.
- ☐ Saskatchewan Corporate Search carried out within the last 30 days for the corporation that is to appear on title.
- ☐ Demonstrated experience in completing similar projects.
- ☐ The purchaser has read and acknowledges the Terms and Conditions identified for this property.

Please submit your completed Document Checklist and Purchaser Application Form to:
Colleen Hassen at colleen.hassen@saskatoon.ca.

or by courier or personal delivery addressed to the above party at:
Saskatoon Land
201-3rd Avenue North
Saskatoon, Saskatchewan
S7K 2H7
306-975-3278

City of Saskatoon Zoning Bylaw

10.2 B1B – Neighbourhood Commercial – Mixed Use District**10.2.1 Purpose**

The purpose of the B1B District is to facilitate mixed use development which may include a limited range of commercial and institutional uses, as well as medium density residential uses, that are generally compatible with residential land uses and which are intended to serve the needs of residents within a neighbourhood.

10.2.2 Permitted Uses

The Permitted Uses and Minimum Development Standards in a B1B District are set out in the following chart:

B1B District	Minimum Development Standards (in Metres)					
	Site Width	Site Area (m ²)	Front Yard	Side Yard	Rear Yard	Building Height (Max.)
10.2.2 Permitted Uses						
(1) Restaurants ₂	7.5	225	0	0.4	7.5	14.5
(2) Dwelling units or multiple unit dwellings in conjunction with and attached to any other permitted use ₁	7.5	225	0	0.4	7.5	14.5
(3) Retail stores ₂	7.5	225	0	0.4	7.5	14.5
(4) Personal service trades and health clubs	7.5	225	0	0.4	7.5	14.5
(5) Offices and office buildings	7.5	225	0	0.4	7.5	14.5
(6) Financial institutions	7.5	225	0	0.4	7.5	14.5
(7) Bakeries	7.5	225	0	0.4	7.5	14.5
(8) Shopping centres	7.5	225	0	0.4	7.5	14.5
(9) Medical clinics	7.5	225	0	0.4	7.5	14.5
(10) Dry cleaners	7.5	225	0	0.4	7.5	14.5
(11) Art Galleries	7.5	225	0	0.4	7.5	14.5
(12) (Repealed – Bylaw No. 9819 – April 25, 2022)						
(13) Photography studios	7.5	225	0	0.4	7.5	14.5
(14) Veterinary clinics	7.5	225	0	0.4	7.5	14.5
(15) Small animal grooming	7.5	225	0	0.4	7.5	14.5
(16) Accessory buildings and uses	Refer to General Provisions Section 5.7					
(17) Homestays	Refer to General Provisions Section 5.51					
(18) Short-term rental properties	Refer to General Provisions Section 5.52					

(Revised – Bylaw No. 9701 – May 25, 2020)

(Revised – Bylaw No. 9683 – August 31, 2020)

(Revised – Bylaw No. 9819 – April 25, 2022)

City of Saskatoon Zoning Bylaw

10.2.3 Discretionary Uses

The Discretionary Uses and Minimum Development Standards in a B1B District are set out in the following chart:

B1B District	Minimum Development Standards (in Metres)					
	Site Width	Site Area (m ²)	Front Yard	Side Yard	Rear Yard	Building Height (Max.)
10.2.3 Discretionary Uses						
(1) Day cares and preschools	7.5	225	0	0 ₄	7.5	14 ₅
(2) Lounges in conjunction with and attached to a restaurant ₃	7.5	225	0	0 ₄	7.5	14 ₅
(3) Private schools	7.5	225	0	0 ₄	7.5	14 ₅
(4) Residential care home – Type II ₁	7.5	225	0	0 ₄	7.5	14 ₅
(5) Residential care home – Type III ₁	7.5	225	0	0 ₄	7.5	14 ₅
(6) Special care home ₁	7.5	225	0	0 ₄	7.5	14 ₅
(7) Special needs housing ₁	7.5	225	0	0 ₄	7.5	14 ₅

(Revised – Bylaw No. 9695 – April 27, 2020)

(Revised – Bylaw No. 9819 – April 25, 2022)

10.2.4 Notes to Development Standards

- 1 Dwelling units, multiple unit dwellings, residential care homes, special care homes, and special needs housing shall not be located at grade.
(Revised – Bylaw No. 9695 – April 27, 2020)
- 2 The maximum building floor area of each restaurant or retail store on a site shall not exceed 325m² unless the building has a minimum of two storeys and is of mixed use, in which case the maximum building floor area of each restaurant or retail store may be increased to 465m².
(Revised – Bylaw No. 9791 – December 20, 2021)
- 3 The floor area of a lounge shall not exceed 50% of the public assembly floor area of the adjoining restaurant or 100 square metres, whichever is less.
- 4 Where a B1B District abuts any R District without the intervention of a street or lane, a side yard shall be provided of a width of not less than 1.5 metres for the side yard abutting the R District.
- 5 The maximum building height shall not exceed 14 metres, and shall not exceed 3 storeys.

City of Saskatoon Zoning Bylaw

10.2.5 Signs

- (1) Except as provided in subsection (2), the regulations governing signs in the B1B District shall be those contained in Signage Group No. 2 of **Appendix A - Sign Regulations**.
- (2) Overhanging signs shall be permitted on the front face of a building in the B1B District.

10.2.6 Parking

- (1) The regulations governing parking and loading in a B1B District are contained in **Section 6.0**.
- (2) Notwithstanding any other provision of this bylaw respecting parking in a front yard, where a site has access to a lane, no parking shall be permitted in the front yard.
- (3) The number of parking spaces required in the B1B District may be reduced by the number of parking spaces provided on the street which will primarily serve the subject property. The determination of the number of on-street parking spaces to be credited to the subject property shall be at the discretion of the Development Officer.

10.2.7 Gross Floor Space Ratio

- (1) The gross floor space ratio shall not exceed 2.5:1.

10.2.8 Landscaping

The regulations governing landscaping in a B1B District are contained in **Section 7.0**.

(Revised – Bylaw No. 9789 – December 20, 2021)

10.2.9 Garbage Pickup Area

- (1) A space to be used exclusively for garbage storage and pickup, having minimum dimensions of 2.7 metres by 6.0 metres, shall be provided on each site to the satisfaction of the General Manager, Utility Services Department. The required loading and garbage pickup spaces may be combined where considered appropriate by the Development Officer.

City of Saskatoon Zoning Bylaw

10.2.10 Outdoor Storage

- (1) No goods, commodities or other form of materials shall be stored outdoors.

10.2.11 Grade Level Corner Building Cuts

- (1) On corner sites or where sites flank a registered lane, buildings with a front yard setback of 3.0 metres or less shall provide a corner cut at grade level so as to provide an unobstructed corner site triangle of not less than 3 metres.

City of Saskatoon Zoning Bylaw

8.12 RM3 - Medium Density Multiple-Unit Dwelling District**8.12.1 Purpose**

The purpose of the RM3 District is to provide for a variety of residential developments in a medium density form as well as related community uses.

8.12.2 Permitted Uses

The Permitted Uses and Minimum Development Standards in an RM3 District are set out in the following chart:

RM3 District	Minimum Development Standards (in Metres)									
	Site Width	Site Depth	Site Area (m ²)	Front Yard	Side Yard	Rear Yard Interior Site	Rear Yard Corner Site	Building Height (Max.)	Site Coverage (Max.)	Amenity Space Per Unit (m ²)
8.12.2 Permitted Uses										
(1) All uses permitted in the R2 Zoning District, subject to the development standards contained in the R2 Zoning District										
(2) Multiple-unit dwellings - containing three to six dwelling units	15	30	550	6	1.5	6	6	12	40% ₂	18
(3) Multiple-unit dwellings - containing seven or more dwelling units	21	30	630	6	3 ₁	6	6	12	40% ₂	18
(4) Dwelling groups	30	30	900	6	3 ₅	6 ₅	6 ₅	12	40% _{2,4}	18
(5) Converted dwellings with a maximum four dwelling units	3.75/unit	30	225	6	0.75	7.5	4.5	8.5	40% ₃	18
(6) Boarding houses	15	30	450	6	0.75	7.5	4.5	12	40% ₃	18
(7) Boarding apartments	21	30	630	6	3 ₁	6	6	12	40% ₂	18
(8) Custodial care facilities - Type II	15	30	450	6	0.75	7.5	4.5	12	40% ₃	-
(9) (Repealed – Bylaw No. 9819 – April 25, 2022)										
(10) Convents and monasteries - Type I	15	30	450	6	0.75	7.5	4.5	12	40% ₃	-
(11) Convents and monasteries - Type II	15	30	450	6	0.75	7.5	4.5	12	40% ₃	-
(12) Hostels - Type I	15	30	450	6	0.75	7.5	4.5	12	40% ₃	-
(13) Special care homes	21	30	630	6	3 ₁	7.5	4.5	12	40% ₃	18
(14) Residential care homes - Type II	15	30	450	6	0.75	7.5	4.5	12	40% ₃	-
(15) Residential care homes - Type III	21	30	630	6	3 ₁	7.5	4.5	12	40% ₃	-

(Revised – Bylaw No. 9819 – April 25, 2022)

City of Saskatoon Zoning Bylaw

8.12.3 Discretionary Uses

The Discretionary Uses and Minimum Development Standards in an RM3 District are set out in the following chart:

RM3 District	Minimum Development Standards (in Metres)									
	Site	Site	Site	Front	Side	Rear	Rear	Building	Site	Amenity
	Width	Depth	Area	Yard	Yard	Interior	Corner	Height	Coverage	Space Pe
			(m ²)			Site	Site	(Max.)	(Max.)	Unit (m ²)
8.12.3 Discretionary Uses										
(1) Day cares and preschools	7.5	30	225	6	0.75	7.5	4.5	12	40% ₃	-
(2) Community centres	15	30	450	6	3 ₁	7.5	4.5	12	40% ₃	-
(3) Parking stations	7.5	30	225	6	Refer to Section 6.0					
(4) Short-term rental properties	Refer to General Provisions Section 5.52									
(5) Private schools	15	30	450	6	3 ₁	7.5	4.5	12	40% ₃	-
(6) Ambulance stations	15	30	450	6	3 ₁	7.5	4.5	12	40%	-
(7) Special needs housing	21	30	630	6	3 ₁	6	6	12	40% ₂	18
(8) Custodial care facility - Type III	15	30	450	6	0.75	7.5	4.5	12	40% ₃	-
(9) Hostels - Type II	15	30	450	6	0.75	7.5	4.5	12	40% ₃	-

(Revised – Bylaw No. 9683 – August 31, 2020)

(Revised – Bylaw No. 9819 – April 25, 2022)

8.12.4 Notes to Development Standards

- 1 On a corner site where the side yard adjoins the street, the side yard setback shall be a minimum of 4.5 metres.
- 2 Site coverage may be increased to 50% where more than 50% of the required parking is provided underground or enclosed as part of the principal building.
- 3 Site coverage may be increased for attached covered entries, patios and decks, three season rooms or attached enclosed swimming pools by the percentage of the area covered by such structures, but the total site coverage shall not exceed 50%.
(Revised – Bylaw No. 9833 – July 25, 2022)
- 4 Site coverage for dwellings in dwelling groups may be increased for attached covered entries, patios and decks or three season rooms by the percentage of the area covered by such structures, but the total site coverage shall not exceed 50% or 60% where the additional site coverage is used for enclosed parking.
(Revised – Bylaw No. 9833 – July 25, 2022)
- 5 For dwellings in dwelling groups, a side yard of not less than 3 metres in width throughout and a rear yard of not less than 3 metres in width throughout shall be provided for an attached covered patio or deck or an attached raised patio or deck.

City of Saskatoon Zoning Bylaw

8.12.5 Signs

The regulations governing signs in an RM3 District are contained in **Appendix A - Sign Regulations**.

8.12.6 Parking

The regulations governing parking and loading in an RM3 District are contained in **Section 6.0**.

8.12.7 Gross Floor Space Ratio

- (1) The gross floor space ratio shall not exceed 1.5:1.

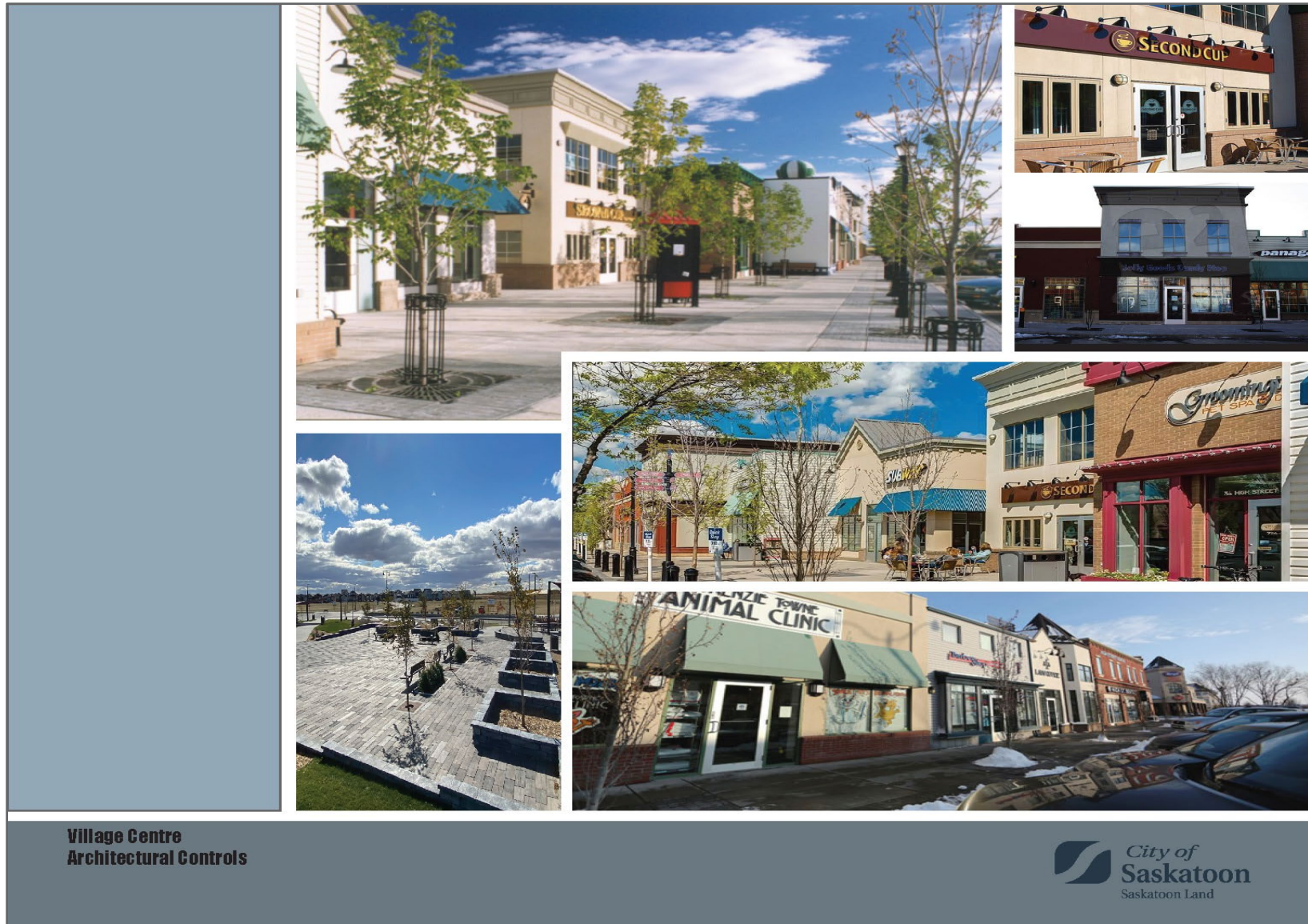
8.12.8 Landscaping

The regulations governing landscaping in an RM3 District are contained in **Section 7.0**.

(Revised – Bylaw No. 9789 – December 20, 2021)

8.12.9 Special Provision for Marquees or Canopies

- (1) For all permitted buildings except one and two-unit dwellings, a marquee or canopy shall be permitted to project into front and side yards; provided however, that the outer edges of such marquee or canopy shall not be located closer than 1.5 metres to any front or side site line. A marquee or canopy may be cantilevered out from the building but may not be constructed or supported within such yards by walls or by more than required or normal structural supports.



OBJECTIVES

Village Centre Architectural Controls

Saskatoon Land's Village Centre Architectural Controls are intended to provide a guiding document to facilitate an enhanced level of commercial and mixed-use development in the Village Centre in Saskatoon Land neighbourhoods. These guidelines shall be used to assist in forming the basis of detailed site planning and building design for the Village Centre area. Saskatoon Land's objectives for the Village Centre area are outlined below.



- Creating a high-quality, commercial or mixed-use pedestrian-oriented amenity for residents of the neighbourhood and other nearby neighbourhoods.
- Facilitating the development of a vibrant commercial or mixed-use focal point within the Village Centre area.

These guidelines are intended to supplement the City of Saskatoon's (City) Zoning Bylaw. All developments will be governed by the City's zoning regulations.

In the event there are contradictions between these two documents, the Zoning Bylaw shall take precedence.

EXTERIOR BUILDING MATERIALS & COLOUR

The use of a variety of different exterior building materials and colour are encouraged along street-facing building elevations to facilitate a vibrant pedestrian-oriented streetscape.

For developments that include multiple CRUs (commercial retail units), the use of varied material types and colour schemes for each unit is encouraged to give the appearance that each unit was developed separately.

Developments that include multiple CRUs which utilize consistent colour and material detailing for all units will also be permitted at the discretion of Saskatoon Land.



This example uses a combination of exterior building materials and colour schemes giving the appearance that each CRU was developed separately.



This example utilizes three different exterior building materials and three primary colours.



This example utilizes stucco with cedar trim accents and a three tone colour scheme.

BUILDING MASSING

Building massing must avoid long, continuous blank wall surfaces along street-facing building elevations. Building massing must create visual interest by using varied roof lines, heights, pitches and intermittent variances in plan and elevation to encourage shadow lines and to assist in breaking down the apparent mass and scale into well proportioned volumes.



This example demonstrates the use of varied roof lines and dormers which helps to break down the massing of the building.



This example utilizes several canopies and awnings which helps to break down the massing of the building.

BUILDING SETBACKS & ORIENTATION

Buildings must be street-oriented and shall generally be setback no more than 3 metres from the front property line.

Buildings may be setback further than 3 metres from the front property line where pedestrian amenity areas have been included, such as front patios, plazas or seating areas.



Buildings should be positioned close to the front property line to help define the street edge, creating a comfortable pedestrian environment.



Pedestrian amenity areas are encouraged to facilitate a vibrant pedestrian environment.



The use of patio areas are encouraged along street edges to help animate the public realm.

FENESTRATION, WINDOWS & DOORS

Buildings should incorporate frequent door and transparent window openings.

Blank walls without fenestration at street level or upper levels will not be permitted on building elevations that are visible from public space.

Primary building entrances must face primary fronting streets or flanking streets between the mixed-use sites or Village Centre parks. Secondary entrances may be provided off of the rear of the building.



Building entrances are all oriented to the street edge, complementing the park spaces, which is the neighbourhood's pedestrian focal point.



This example utilizes frequent upper and grade level window openings, which provides a high degree of visual interest.



SITE LANDSCAPING

Boulevard landscaping and construction of the sidewalk adjacent to the site along all streets will be the responsibility of the successful purchaser.

Landscaping and sidewalk work must be completed to City standards and generally be consistent with the Village Square park.



Village Square Park

PARKING AREAS

All off-street parking is encouraged to be provided at the rear of the building(s).

Off-street parking located along the side wall of a building may be permitted, provided that the parking area is appropriately buffered from the street.

In general, the use of curbed landscaped islands at the mid-points of each parking aisle or the end of each aisle are encouraged.



Curbed landscaped islands help buffer the presence of off-street parking spaces, while creating a more comfortable pedestrian environment.



Attachment 5 Continued



Architectural Controls for Multi-Unit
Dwelling Districts 2013

City of Saskatoon Land Branch
306-975-3278 | 201 3rd Ave N | Saskatoon, SK



PREPARED BY
The City of Saskatoon
Land Branch



September 2013

Attachment 6 Continued

1.0 Introduction

This document outlines the general architectural design requirements for the Multiple-Unit Dwelling Districts being developed by the City of Saskatoon.

Architectural Controls concern the position of buildings on sites, the proportion, scale and massing of buildings, the application of materials and colours to exterior walls and roofs, and the choice and location of windows and doors.

An architectural style is not prescribed. Instead, projects should satisfy the overall human scale architectural vocabulary as outlined in these architectural controls. Varying architectural interpretations are encouraged.

These Architectural Controls are intended to supplement the City of Saskatoon Zoning Bylaw No. 8770. Developments are expected to be governed by Bylaw No. 8770 in combination with the Architectural Controls. In the event that there are contradictions between these two documents, Zoning Bylaw No. 8770 will govern.

The intent of this document is:

1. To promote architectural detailing; not to prescribe style;
2. To influence the application of more than one colour palette; not to prescribe colour; and
3. To influence the application of more than one material; not to prescribe material.

2.0 Proportion, Scale, and Massing

INTENT: New developments should be well proportioned, integrate with neighbouring buildings, and incorporate design elements that break down perceived proportion, scale and massing of building elements to create human-scaled pedestrian-environments and enjoyable streetscaping.

- Developments should utilize existing or “natural” grade, to assist them in blending with adjacent developments. Grade alterations can create negative impacts on adjacent properties.
- All multi-family buildings should be positioned to enhance the streetscape by creating what may be described as a street wall.
- All building volumes must incorporate intermittent variances in plan and elevation to encourage shadow lines on the building and to assist in breaking down the apparent mass and scale into well proportioned volumes. This includes building elevations that are adjacent to or visible from public streets, public parks, and adjacent developments.
- Construct buildings to define the edges of, and to face onto, any public park and/or accessible open spaces.



Above: The above image demonstrates a building facade that interfaces well with the street, creating a pedestrian friendly space.

STREET WALL

A Street Wall refers to the alignment of building facades that face the street. A well designed street wall creates a welcoming pedestrian environment through defining a walkable, pedestrian friendly space.

IN GENERAL...

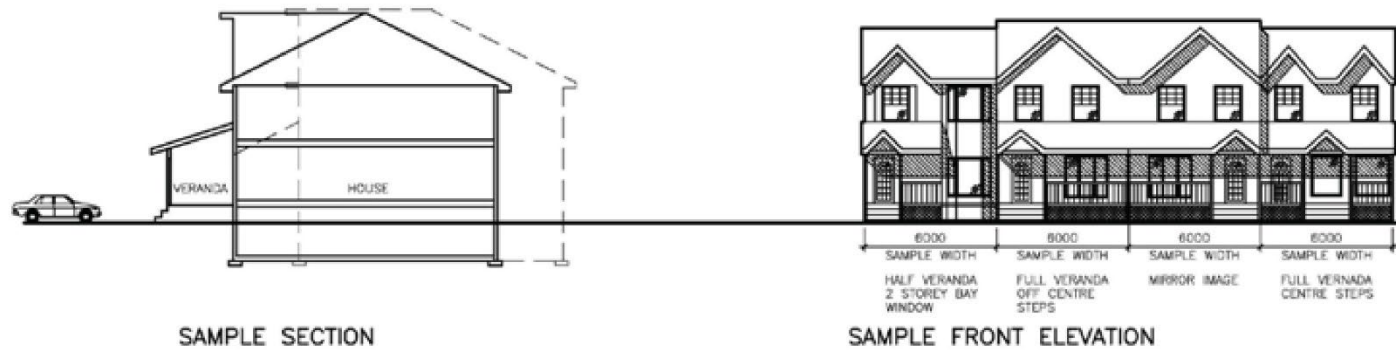
- The majority of the principal building(s) main façade should be located so it is parallel to a straight public street or tangent to a curved public street.
- Open space is permitted between the principal building(s) fronting a public street provided that the total linear amount of building façade exceeds the total linear amount of open space as measured along the same property line.
- The sides of groupings of principal and accessory buildings are permitted to front onto public streets, providing the total linear amount of side elevations are less than the total linear amount of principal building facades fronting the same street. Where side elevations front onto a public street, the side elevations must receive the same architectural treatment as the principal facade.



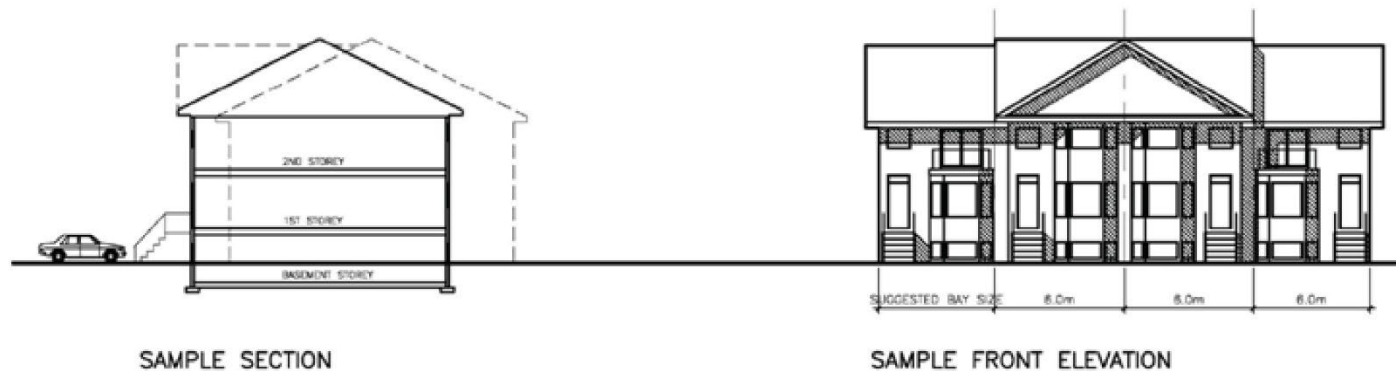
Left: This building demonstrates an unacceptable building facade facing a public street. Additional design treatments are required.



Above: Buildings that are aligned with adjacent streets ensure a site configuration that creates streets with pleasing streetscapes and enhances the image and feel of the neighbourhood.



Proportion, Scale and Massing: Projects must incorporate sensitive design elements that break the overall scale and mass of buildings into human scale components through the use of a variance in plan and wall planes.



3.0 Walls & Materials

INTENT: To create a visually pleasing streetscape and reduce visual monotony, a variety of materials are to be used as well as materials that compliment those used in adjacent developments.

- A minimum of two major exterior cladding materials, excluding fenestration, are required for any elevation of a principal or accessory building adjacent to or visible from a public street, a public park, or adjacent development, the proportions of which must be sensitively designed.
- In the case of most materials, except for vinyl siding or cement board siding, the use of two discernible colours, two discernible textures, or combinations thereof of the same material are acceptable as meeting the requirements. In the case of vinyl siding or cement board siding, consideration will be given to two significantly different material patterns in a case where a relatively smaller proportion of a third material (greater than 30% of a third material) is used. For example, a material application may be accepted if visible building elevations were proposed to contain 3 materials - 30% stone and 70% vinyl siding whereby straight horizontal overlapping vinyl panels were heavily accented with vinyl “fish scale” panels.
- Required architectural detailing applies equally to all building elevations including where the side and rear of a principal building or an accessory building is adjacent to or visible from, any public street, public park, or adjacent development.
- Walls clad in a single material are not permitted.
- Durable high quality materials should be utilized for cladding on all building faces.
- Wall cladding materials are required to extend to a minimum of 1.2 metres (4 feet) along side building elevations that do not face public streets, public parks, or adjacent developments.
- Where properties share a common property line, each property must have different materials or combinations of materials.



Above: Each of the above images demonstrates a minimum of two exterior cladding materials with sensitively designed proportions.

4.0 Color

INTENT: Variety of colour is necessary for multi-family projects to create lively streetscapes and to prevent the creation of visual monotony.

Dwelling Group or Street Townhouse

Style Buildings: Colour should vary from building to building within developments. A minimum of two exterior colour schemes for each multi-family parcel must be implemented. A minimum of two major colours are required to be utilized in the colour scheme of each building facade adjacent to or visible from any public street, public park, or adjacent development (excluding roof colours and colours utilized for minor architectural components such as soffit and fascia, window and door trim etc). A minimum of four colours should be utilized on any one building colour scheme. This includes the roof colour and the colours of minor architectural components. In order to qualify, colours must be visible from any street.

Apartment Style Buildings:

One exterior color scheme is permitted per site that has more than one building. A minimum of two major colours should be utilized on each building facade adjacent to or visible from any public street, public park, or adjacent development (excluding roof colours and colours utilized for minor architectural components such as soffit and fascia, window and door trim etc). A minimum of four colours should be utilized on any one building. This four colour minimum includes the roof colour and the colours of minor architectural components. In order to qualify, colours must be visible from any street.

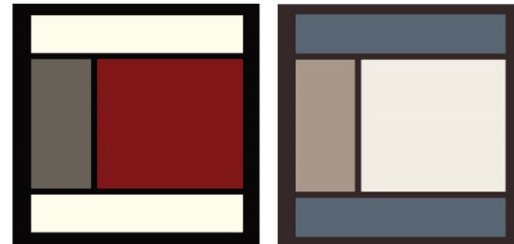
General Requirements:

- Accessory buildings should be treated in a complimentary fashion to the principal buildings on the same site. Where different multi-family parcels share a common property line, each parcel must have different color schemes.
- A minimum number of colors is prescribed to ensure more than one color is used on each façade.
- Readily discernible shades of one colour when viewed from any street may be considered two separate colours.



Above: Street townhousing utilizing a variety of colors

Below: Example color palates meeting the minimum of four colours within a colour scheme.



COLOR SCHEME EXAMPLE



Color Scheme #1



Vinyl Shingles: Foundry #827
Alternative: Foundry #821 "Sandalwood",
"Colonial Grey",
Matching trim.



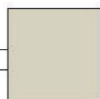
Roof: IKO "Harvard Slate" similar



Stucco: Imasco 318A-6A
"Renaissance Clay"



Soffits: Gentek 431 "Bright White"
Doors & Windows Similar.



Vinyl Siding: Gentek #010
"Canyon Clay"
Accent paint to match.



Cultured Stone: Owens Corning
Del Mare LedgeStone "Palermo"

Color Scheme #2



Vinyl Shingles: Foundry #827
Alternative: Foundry #821 "Sandalwood",
"Colonial Grey",
Matching trim.



Roof: IKO "Harvard Slate" similar



Stucco: Imasco 830-1P
"Serenity"



Soffits: Gentek 431 "Bright White"
Doors & Windows Similar.



Vinyl Siding: Gentek #631 "Storm"
Accent paint to match.



Cultured Stone: Owens Corning
Del Mare LedgeStone "Palermo"

5.0 Fenestration - Windows & Doors

INTENT: Fenestration should be oriented to streets and/or public spaces, complement the architectural vocabulary, and satisfy functional and climatic issues. Abundant glazing at street level is encouraged for community surveillance and to enhance street lighting at night.

- Readily discernible trim must be utilized around highly visible doors and windows.
- Blank walls without fenestration at street level or upper levels will not be permitted on facades adjacent to or visible from public streets, public parks, or adjacent development.
- If glazing tints are used, they should reflect the choice of colours of wall and roof claddings. Reflective coatings are not permitted.
- If imitation shutters are utilized, they are required to be proportioned to give the impression that they are functional and capable of covering the entire window.
- Developments are encouraged to have main entrances facing public streets.

6.0 Roofs

INTENT: Roofs should be designed to form an integral part of any project and complement the overall architectural design. Where exposed roof surface areas are large, it is mandatory to incorporate sensitive design elements that break down perceived proportion, scale and massing of the roof to create human-scaled surfaces.



- The exposed roof area when calculated perpendicular to a vertical viewing plane should not exceed 40% of the total projected wall and roof area. Alternatively, large roof areas should be broken down into smaller volumes by varying the roof planes, or by introducing sensitive design elements such as dormer windows.
- Sloped roofs should have a minimum overhang of 450 mm or 18 inches. Fascia boards should be a minimum 150 mm or 6 inches. Permitted claddings for sloped roofs include pre-finished steel standing seam roofs complete with snow and ice stops, asphalt shingles, cedar shingles/shakes, granular faced aluminum shingles, clay or concrete tile roofing and glazing.
- All chimneys visible from any street should be enclosed within a chimney chase. The form, style, materials and color of the chimney chases should be consistent with the overall architectural character.
- While roof pitch is not prescribed, special consideration must be given to the integration of the roof with the building architecture.

Top Left: Use of dormers to break up a large roof plane.

Middle Left: Use of varying roof planes to break up viewing plane.

Bottom Left: Example of flat roof.

7.0 Relationship to Streetscape

INTENT: Multi-unit building facades facing public streets should help define the streetscape through thoughtful design and sensitive architectural treatments.



Above: Good examples of buildings interfacing with public street.

- Create a street wall with the majority of the staggered main facade located parallel to straight streets or tangent to curved streets.
- Wherever possible, front and side elevations should front onto public streets. In event that it is not possible, sensitive design treatments may be required in order to create a visually pleasing streetscape.
- Any facade abutting and/or highly visible from a public street, public park or adjacent development shall receive the same architectural treatment as the “front” facade.
- Property lines adjacent to streets must be fully landscaped.
- Street or group townhousing units that are visible from a public street are required to include a significant entry treatment.
- In general, private exterior open space in the form of verandas, porches, balconies, patios, and/or roof terraces are strongly encouraged for as many residential units as possible.
- For Dwelling Groups, main entrances to each unit do not have to face a public street, however, secondary entrances facing public streets should be architecturally well defined.
- In general, connections to existing public space and amenities from multi-unit buildings are encouraged (i.e. walkways linking to sidewalks and/or park pathways).

FENCING

Fencing is not required. In the event that a fence is desired, the below guidelines should be considered:

- If a front yard fence is constructed of wood, steel, aluminum, or wrought iron, the amount of solid area of the fence sections shall not exceed 50%.
- Fence piers or fence sections constructed of natural stone, manufactured stone, brick, or some other masonry application may be 100% solid.
- In the case of street or group townhousing, a front yard fence is required to have an access opening or gate to the street from each front door. Where a solid fence fronts onto a public street and encloses an open space between a principal and accessory building, the cladding materials requirements for principal and accessory buildings shall relate to the fence.



Above: Examples of acceptable front yard fencing

8.0 Variety

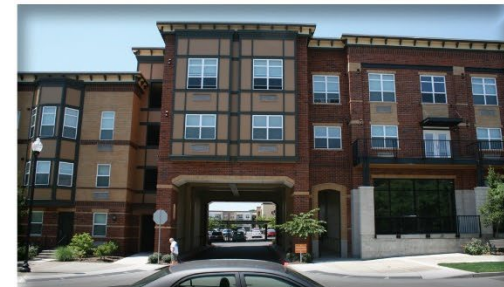
INTENT: A variety of architectural styles, spaces, colours, materials and uses are encouraged within the Neighbourhood.

- Where properties share a common property line, or are in close proximity to each other, each property is encouraged to demonstrate architectural variety to decrease visual monotony.
- Repetition of architectural styles on separate development sites that are in close proximity to each other is strongly discouraged.

9.0 Parking, Loading, and Service Areas

INTENT: Balance the need to improve the pedestrian environment with the demand for parking. Parking should not dominate the streetscape or individual sites.

- For all developments, required parking is not permitted in front yards. Required parking must be located within or under the development or in a rear yard or side yard and suitably screened from adjacent public streets, public parks, or adjacent development.
- Access to all multi-family parcels (not individual dwellings) is acceptable from public streets.
- Where possible, dwelling group sites may orient garages across the street from single family housing with front garages, subject to approval during the Development Review Process addressing technical site and other City Policy considerations.



Above: Example of parking suitably screened from public view by locating it in the interior of building site.

10.0 Site and Building Exterior Lighting

INTENT: Buildings and sites should be illuminated for security and ambience. Night lighting encourages activity, but any potential for “light pollution” is to be avoided.

Lighting on any site and on/in any portion of a building shall be arranged and shielded such as that it does not become a hazard or annoyance. Lighting should not in any way compromise the appropriate function of adjacent properties.

11.0 Mechanical/Electrical

INTENT: Screen mechanical and electrical equipment that is normally left within view of the street on sites and on rooftops. Noise generated by this equipment must be considered such that adjacent occupancies are not impacted.

Excluding any existing utility, mechanical and electrical equipment on a site or on a building must be adequately screened from adjacent street level.

12.0 Landscaping

INTENT: To encourage professionally designed solutions to link to streetscapes and public spaces with the Neighbourhood.

- Open space must be landscaped. All developments submissions must be accompanied by general landscape concept plans (not Landscape Rendering).
- In the case of soft landscaping that is visible from any public street, lane or park, grass may only be used for 75% of the soft landscaping provided on any site. This must be demonstrated on plan either graphically or in text format.
- Landscapes must be designed to be self-sustaining in the local climate or an adequate irrigation system is to be provided.
- Coniferous trees must be a minimum of 1800mm height and deciduous trees must have a minimum caliper of 50mm at the time of installation.
- Landscaping is to be extended into the City boulevard where the site is adjacent to separate sidewalk and curb.

Below: Multi-family buildings front on common space that contains self-sustaining landscaping.



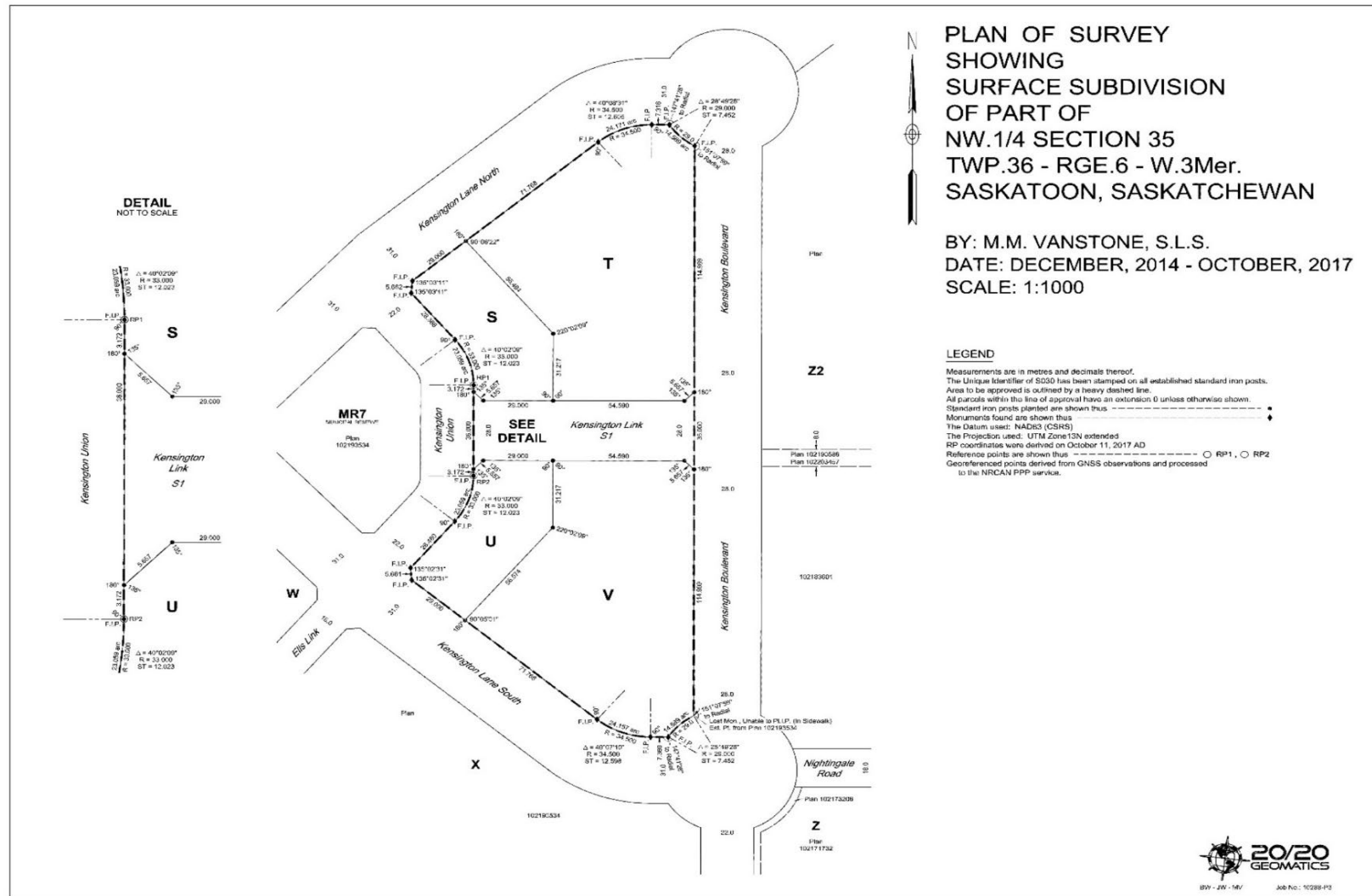
13.0 Summary of Key Architectural Considerations

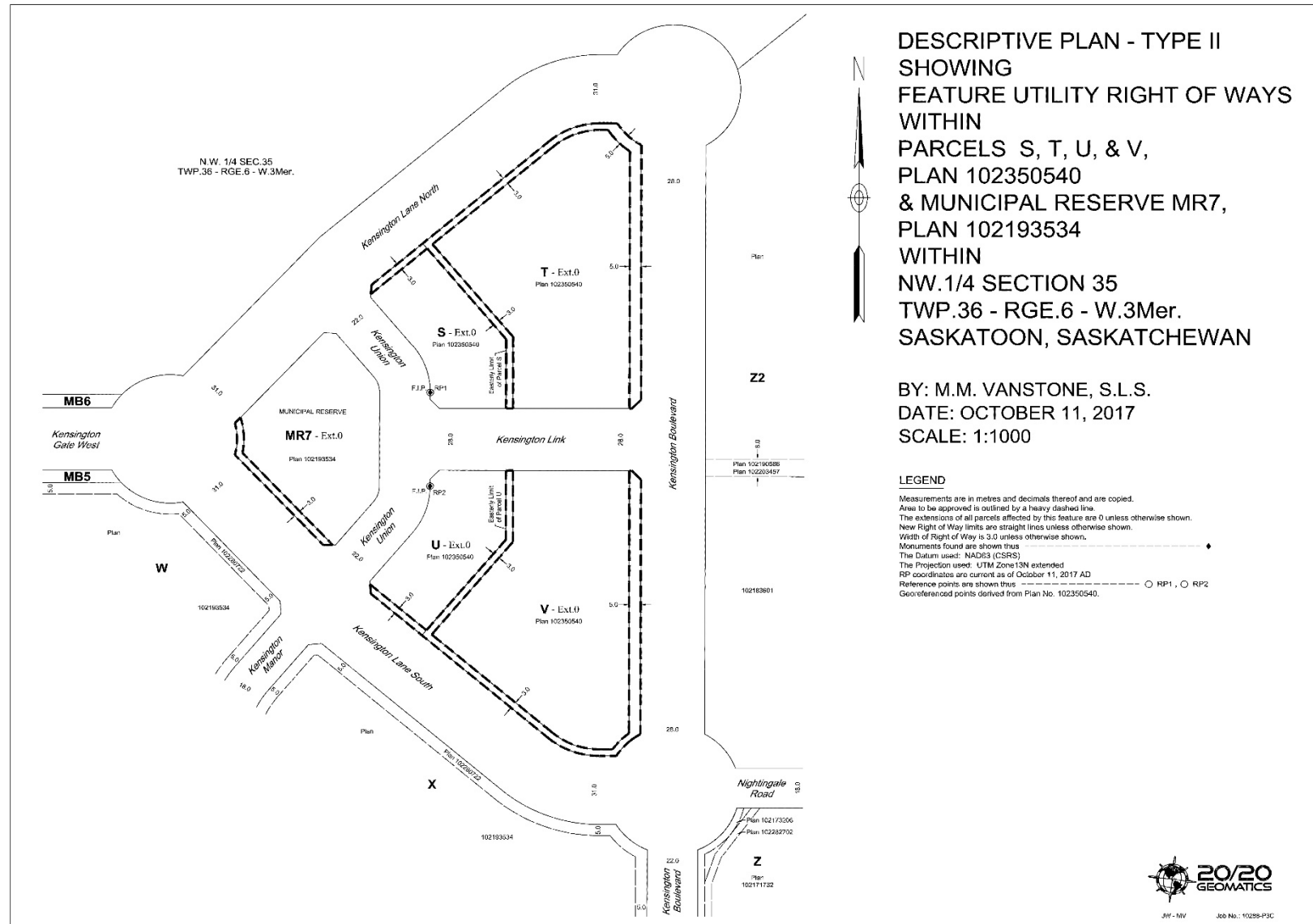
1. The intention of implementing Architectural Controls is not to control building styles but rather to reduce the potential for the visual monotony often associated with multi-family developments. This can be achieved by breaking up large volumes of uninterrupted roof planes, the breaking up the featureless planes associated with large multi-unit wall areas, the careful use of more than one cladding material, the use of trim details, and the use of several colour schemes each containing more than one or two colours.
2. On a group townhousing site, or an apartment style building site, the buildings adjacent to the front property line is required to front onto the public street. This required layout is similar to the way a street townhouse fronts onto a street.
3. Where possible, townhouse sites may orient garages across the street from single family housing with front garages. It is also subject to approval during the Development Review Process addressing technical site and other City Policy considerations.
4. Large volumes of roofs or walls need to be broken up with architectural detailing that significantly reduces large expanses of featureless plane.
5. All buildings require, at the very least, two major cladding materials.
6. Any building's colour scheme needs, at the very least, four colours of which two are major colour applications. The two major colours will be associated with the major cladding materials. The two other colours will be associated with the roof colour and minor architectural detailing such as soffit, fascia, doors, door trim, and window trim. In the case of townhousing, adjacent buildings require different colour schemes.
7. Wall cladding materials are required to extend a minimum of 1.2 metres (4 feet) along side building elevations that do not face public streets, public parks, or adjacent developments.
8. Any facade abutting and/or highly visible from a public street, public park or adjacent development shall receive the same architectural treatment as the "front" facade.
9. All mechanical equipment, garbage or recycling receptacles, must be suitably screened. Chimneys or other venting pipes must be clad in chimney chase.

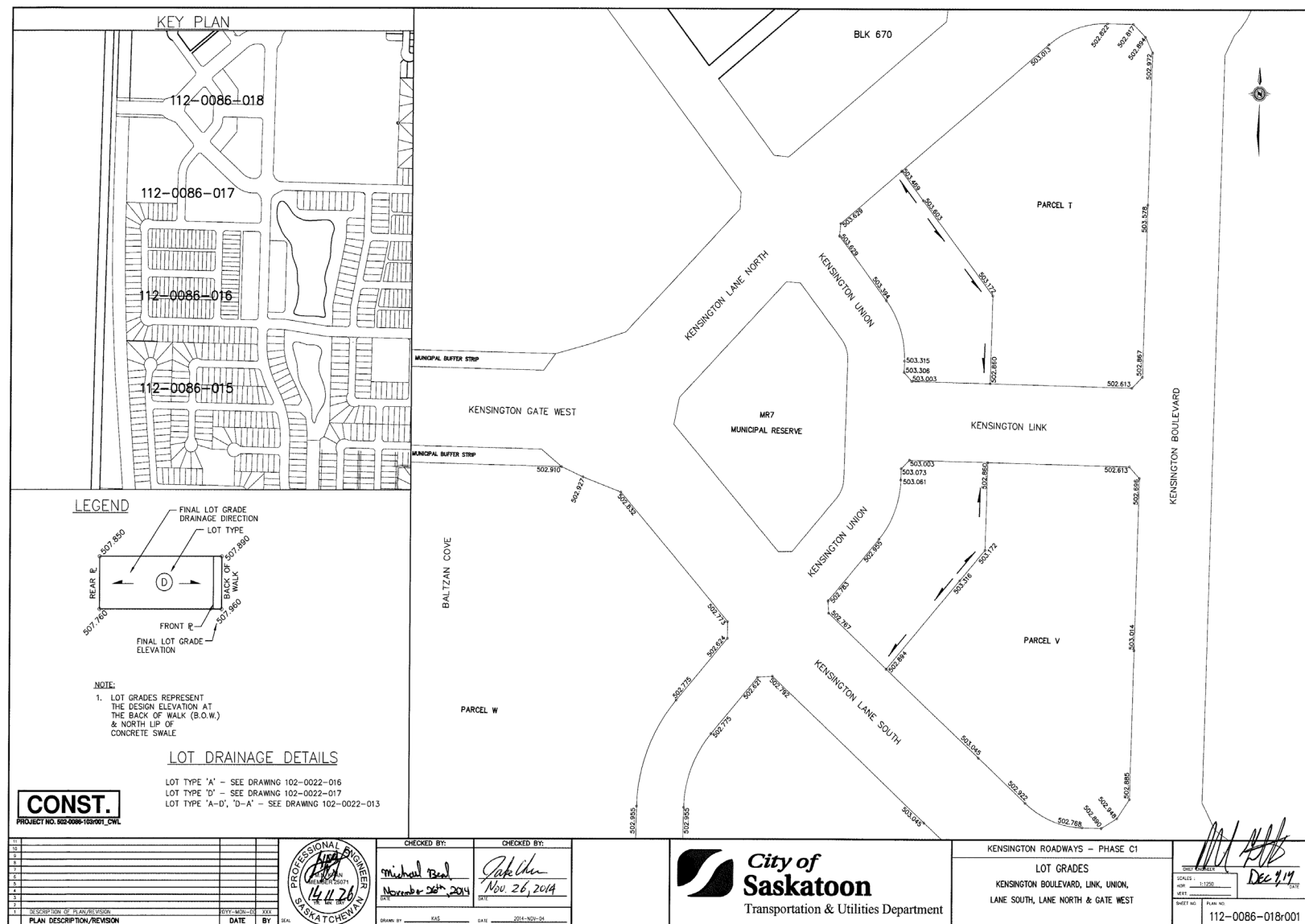
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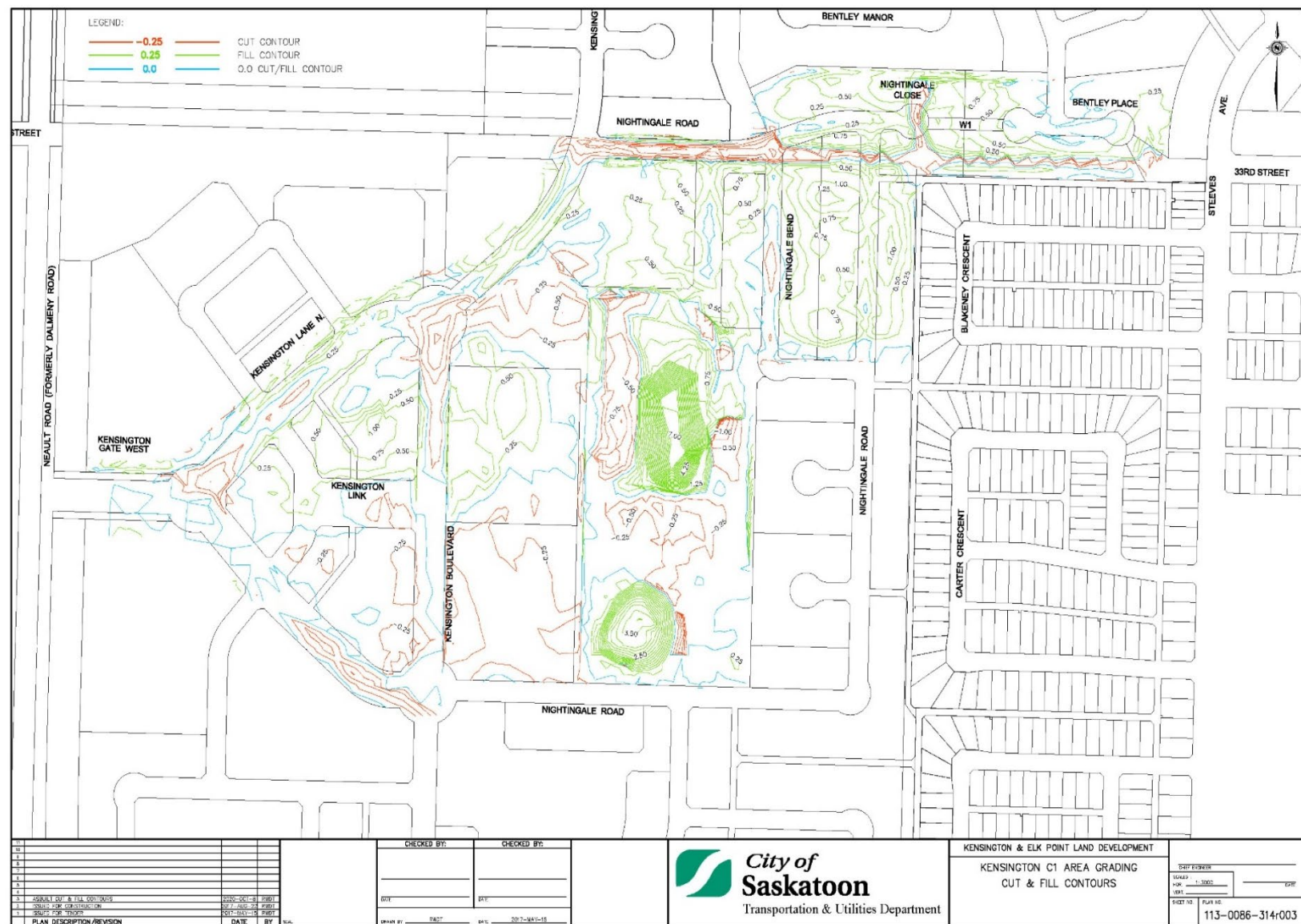


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Approved: 01-Nov-2017

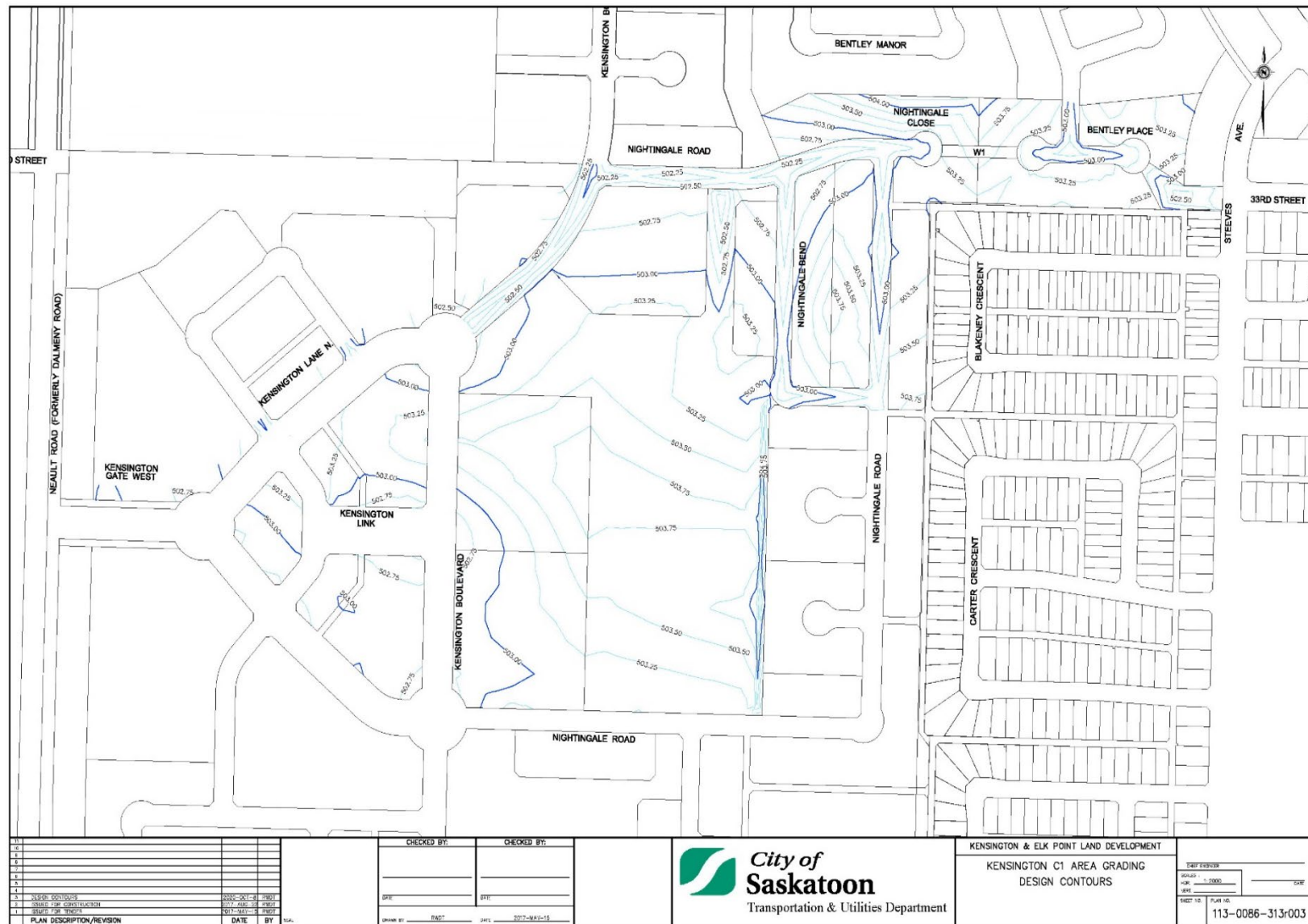


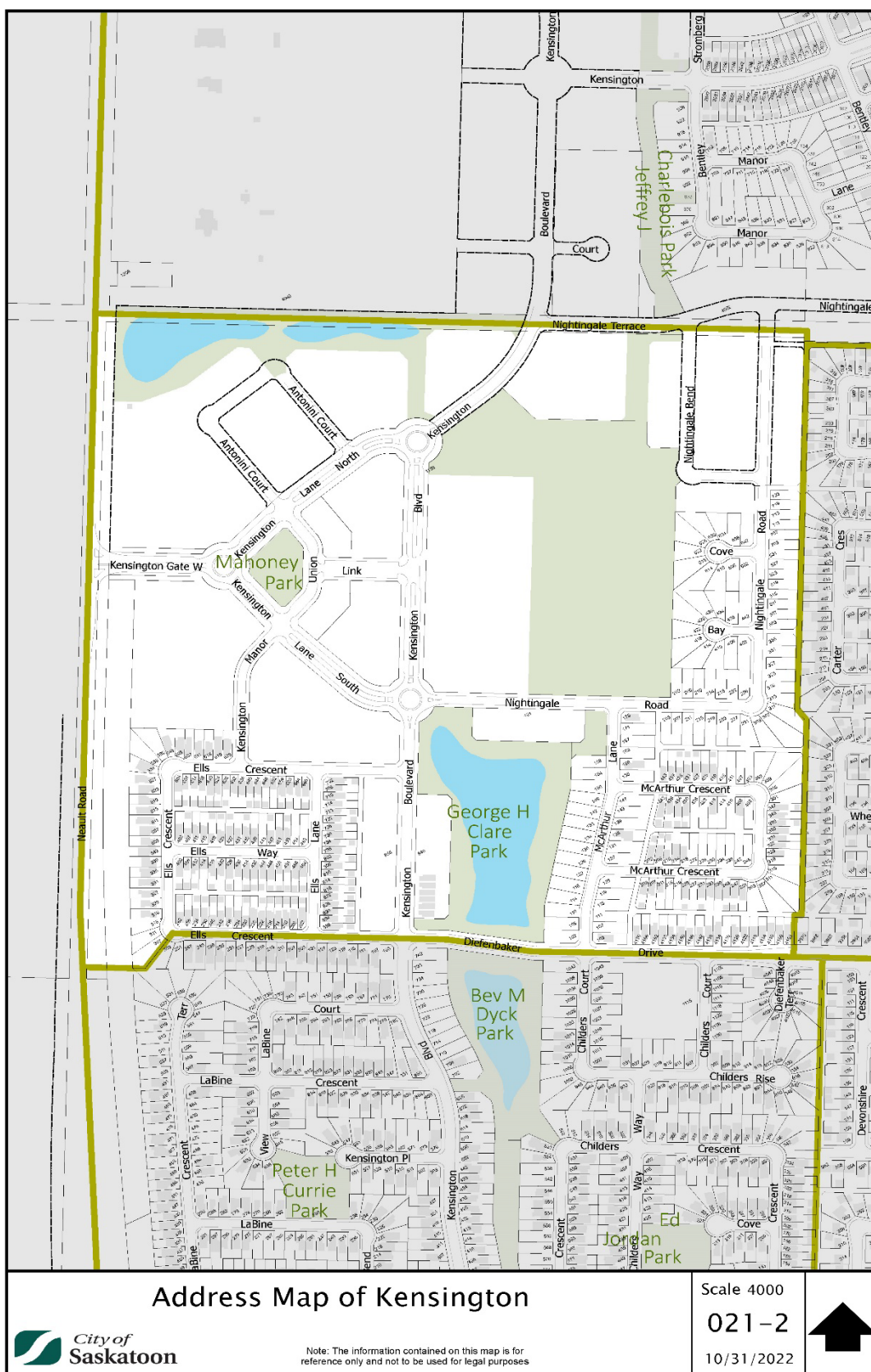


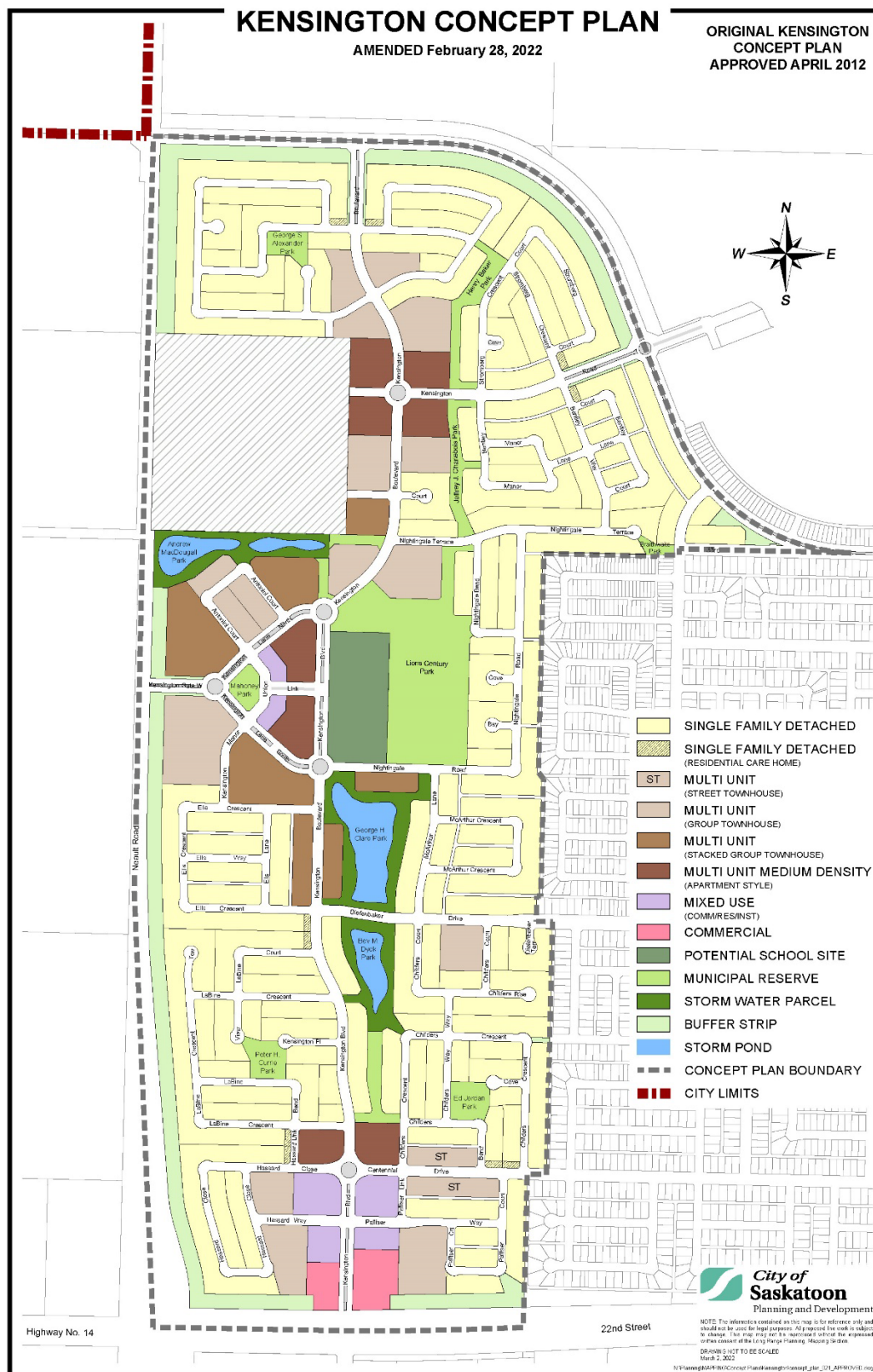




Attachment 10 Cut & Fill Contours











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